



*Photograph of front of 13 Egbert Street*

## **Planning, Design and Access Statement – Revision A**

August 2014

### **Applicants:**

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13 Egbert Street  
Primrose Hill  
London NW1 8LJ**

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## **1.00 Introduction**

### **1.10 Summary of Proposal**

- 1.11 Rear single-storey infill extension at lower ground level, with dark grey powder coated metalwork.
- 1.12 Glazed door to match new extension i.e. dark grey powder coated thermally broken aluminium frame. Door to replace existing window (not original) at lower ground level.
- 1.13 Replacement balcony at first floor, with wrought iron traditional balustrade and handrail similar to existing.
- 1.14 Relocation of entrance door at lower ground to create porch under existing entrance stairs. The proposed porch to be located entirely under existing stair. Front door and side window to be hand-made high quality FSC timber.
- 1.15 Replacement of existing French doors at attic level with traditional timber sash windows, painted white to match existing. Windows to be hand-made high quality FSC timber
- 1.16 Installation of handrail 50mm diameter tubular metal handrail 300mm above existing front parapet to provide restraint from falling. Tubular handrail to be powder coated slate grey.

### **1.20 Pre-application Consultation**

#### **1.21 Meeting with Peter Higginbotham**

Planner from Camden Council was held on Wednesday 23<sup>rd</sup> July 2014 at 13 Egbert Street; sketch drawings were discussed.

#### **1.30 Pre-application response ref: 2014/4664/PRE dated 1<sup>st</sup> August 2014.**

- 1.31 *"The proposal includes;  
the erection of a single storey rear infill extension,  
creation of rear balcony at upper ground floor,  
(note: Upper ground balcony now omitted)  
replacement balcony at first floor,  
relocation of front basement door with partial infill  
replacement windows/doors at roof level together with balustrade/guard rail."*
- 1.32 *"Policies CS14, DP24 and DP25 seek to secure high quality design while developments in conservation areas will be required to preserve and enhance the character and appearance of the area."*
- 1.33 *"The proposed rear infill extension will be constructed largely of glazing and while such contemporary materials are not generally present at the subject property, the extension is modest in size and therefore considered to respect the character of the property together with the surrounding conservation area. The proposal also includes the replacement of the existing rear window with a larger glazed door. A contemporary design was*

*discussed on site, and while this may be acceptable, with no detail of what is proposed it is not possible to confirm its acceptability.”*

- 1.34 *“The proposal also includes the relocation of the front basement door and partial infilling adjacent to the existing steps. Paragraph PH42 of the Primrose Hill Conservation Area Character Appraisal states that infill of the basement area may be acceptable where this is an established characteristic but the infill structures should be recessed beneath the entrance bridge arch. While there is only one example of infilling of the basement areas in the street (at number two which is considered poor quality), the relocation of the door may be considered acceptable where it situated within the existing bridge arch, subject the detailed design of the proposal.”*
- 1.35 *“The like for like replacement of the existing doors on the existing mansard front elevation is not considered to comprise development and therefore permission will not be required. If the proposal comprises the replacement of the doors with traditional sash windows then this would require planning permission, however as this is similar to the prevailing pattern of development is likely to be considered acceptable.  
It is evident from the site visit that the existing doors at mansard level have been in place for some time together with the front terrace. Therefore the continued use of the front terrace is considered to be generally acceptable in principle.”*
- 1.36 *“The erection of a balustrade or handrail should be sited so as to be out of view in accordance with paragraph PH21 of the conservation area character appraisal. A simple bar arrangement sited behind the existing parapet is likely to be hidden from view while also a more traditional appearance. A glazing balustrade may not be considered acceptable owing to it being sited on the front elevation and therefore more visible (especially given likely reflection) than a hand-rail.”*
- 1.37 *“The property has an existing first floor rear balcony and its replacement using appropriate materials is considered acceptable in principle.  
(note: Upper ground balcony now omitted)*

*Materials should reflect or complement the existing dwelling to ensure that the character and appearance of the subject building is preserved and enhanced.”*

- 1.38 *“Impact on adjacent occupiers  
Policy DP26 seeks to protect the quality of life of occupiers and neighbours by ensuring development does not cause harm to amenity.  
The proposed rear extension will be sited to the side of the adjoining property with the same depth and therefore not considered to impact on the occupier’s amenity.”  
(note: Upper ground balcony now omitted)*

**1.40 E-mail correspondence from Peter Higginbottom dated 18<sup>th</sup> August 2014**

1.41 *Contemporary metal-framed door in existing building structure may be 'at odds' with the character of the building, though may be acceptable.*

1.42 Correspondence about upper ground balcony, which is now omitted.

## **2.00 Background**

### **2.10 Primrose Hill Conservation Area**

13 Egbert Street is situated within the Primrose Hill Conservation Area.

The Primrose Hill Conservation Area Statement 5 was published in 2001 by the London Borough of Camden Conservation and Urban Design Team.

*The Conservation Designation Report notes that the character of the area "is made up of a series of well laid out Victorian terraces. It is residential in character, although there are a number of local industries, and it has its own shopping centres, a primary school and, because of the vicinity of Primrose Hill, is extremely well provided with open space".*

To help describe the character and appearance of the Primrose Hill Conservation Area, it is divided into four Sub Areas, based upon their differing characteristics. Egbert Street is within Sub Area 2 – Central Area.

*"Terraces usually consist of at least five buildings that are uniform in character. Each building is three storeys high with a raised ground floor, basement and lightwell surrounded by railings to the main street elevation. Principal elevations are flat fronted with pairs of sash windows defining each floor and the original roof form hidden from view by a horizontal parapet. To the rear elevation, the windows are staggered in order to serve the staircase landing, and the roof form has a butterfly profile. A number of properties also have a rear closet wing to half width and part height of the main building. Each terrace is constructed in London stock brick with decorative stucco features to the front elevation, usually painted white or cream, which serves to unify the terrace. These stucco features often include a rusticated ground floor, projecting window cills and hoods (usually to ground and first floors), moulded window surrounds, parapets and balustrades. A number of properties have projecting door hoods or porch features supported by columns."*

*"Edis Street and Egbert Street have a distinctly urban character with a high degree of enclosure. These streets are narrow with three storey terrace houses on both sides and views terminated by industrial and residential buildings"*

The houses along Egbert Street are not listed but are noted as making 'a positive contribution to the special character and appearance of the area'.

## **2.20 Primrose Hill Policy**

PH26 Rear extensions should be as unobtrusive as possible and should not adversely affect the character of the building or the Conservation Area. In most cases such extensions should be no more than one storey in height, but its general effect on neighbouring properties and Conservation Area will be the basis of its suitability.

PH30 Conservatories, as with extensions, should be small in scale and subordinate to the original building and at ground floor level only. The design, scale and materials should be sensitive to the special qualities of the property and not undermine the features of original building.

PH42 Infill of the basement area beneath the entrance bridge may be acceptable where this is an established characteristic of the building group. Infill structures should be recessed beneath the entrance bridge arch and should be simply detailed for minimum visual impact.

## **2.30 Description of 13 Egbert Street**

13 Egbert Street is an end-of-terrace house, which was built in the mid 19<sup>th</sup> century. It has a small front basement light well, enclosed by cast iron railings. At the rear there is a small garden contained by London Stock brick walls, which is at the same level as the basement.

The two terraces facing Egbert Street are quite regular at the front, with approximately 90% having attic roof additions. At the rear there is less uniformity, but the majority have two or three storey closet wings, many with single or two storey infill extensions.

The roof was a traditional London 'butterfly' roof hidden by a parapet at the front. As most of the neighbouring properties, the original roof was replaced by an attic storey about 20 – 30 years ago. The attic storey is partially concealed from the street by being set back behind a narrow balcony, accessed by French doors. The parapet is only 700mm high.

The house is constructed of London Stock brick. There were stucco mouldings and around the front windows and a cornice below the parapet, but much of the decoration has been removed by a previous owner, with just stucco outlines remaining. The front and rear elevations have original and replacement timber sash windows and replacement French doors.

The rear elevation had a two storey closet wing, which was increased to three storeys by a previous owner. It is also constructed of London Stock brick

13 Egbert Street shares a party wall with Utopia Village, which was a chemical works and now provides premises for small businesses. Although visible at the end of the street, most of Utopia Village is surrounded and concealed by terraced houses.

## **2.40 Planning History (Revised)**

2.41 2005 /3469/T - Application dated 17<sup>th</sup> August 2005: Notification for intended works to Laurel tree. There was no objection.

2.42 PE9700409R1 – Application dated 22<sup>nd</sup> December 1997: Retention of a roof extension and a single storey rear extension at third floor level, and change of use from 3 flats into one house. Full planning permission granted

2.43 H10/12/3/6297 - Application dated 3<sup>rd</sup> December 1968: Construction of an enclosure to the access to roof. Permission was granted.

2.44 H10/12/3/4514 – Application dated 15<sup>th</sup> November 1967: Conversion into two flats and one maisonette. Permission was granted

## **3.00 Design**

3.10 *Response to context: how the physical, social, economic and policy context of the development has influenced its design in relation to the other six elements?*

The new family room /conservatory infill extension is a small minimal glass box. It is clearly not original, so the history of the house can be clearly read and understood. It is designed to touch the house 'lightly'.

The extension is at garden level and is within and separate from the adjacent closet wings, It is glazed to allow day-light into the rear lower ground dining room. The glazed extension is considered have little impact on the character of the heritage asset.

3.20 *Amount: how much would be built on the site?*

The infill family room/ conservatory is proposed to be 3.6m by 2.4m = 8.6 sq m

The porch under the front steps is proposed to be 1.1 by 1.7 = 1.9 sq m

3.30 *Use: for what buildings and spaces will be used?*

The domestic use will remain unchanged and the infill conservatory extension will be used as a family room. The porch under the steps will allow internal access to the vaults under the street for the location of washing and drying machines and storage of bicycles.

3.40 *Layout: the buildings and space within the site, and the relationship to the surrounding environment?*

The layout will remain unchanged.

The family room/conservatory will relate to the garden.

3.50 *Scale: height, width and length of each proposed building and space between buildings?*

The family room/ conservatory extension at lower ground level will be single-storey and will be located between the two/three storey closet wings of this property and its neighbour.

The infill extension will not overlook neighbouring properties and will not been visible from the street.

The existing (not original) balcony at first floor level is rusty and unsafe so will be replaced.

### 3.60 *Appearance: what the finished building and space will look like?*

The infill extension is not designed as pastiche but clearly a contemporary addition, so the history of the house can be clearly read and understood. The extension cannot be seen from the street.

The replacement second floor balcony will have a balustrade and handrail similar to existing

A single slate grey handrail is proposed to run along 300mm in board of the parapet to provide restraint from falling from the balcony.

### 3.70 *Landscaping: how open space will be treated to enhance and protect the character of the area?*

Pots of plants on the site of the extension will be moved into the remaining garden.

During construction works the building contractor will be instructed to protect existing shrubs and walls.

## **4.00 Access**

Internal access to the proposed family room/ conservatory will be from the existing dining room via a level threshold.

Pedestrian and vehicle access to 13 Egbert Street will remain unchanged, with no change to parking.

The proposed porch under the existing entrance steps will provide space for bicycle storage.



## 13 Egbert Street – Design and Access Statement

### 5.00 Appendix: Photographs

#### 5.10 Photograph of rear elevation





5.20 Photograph of location of proposed glazed rear infill extension





5.30 Photograph of non-original window to be replaced by glazed door.



5.40 Photograph of location of proposed porch under entrance steps



**6.00 Appendix:** Existing and Proposed Architectural Drawings:

EGB\_00 Location Plan

EGB\_01 Existing and proposed Lower Ground Floor Plan

EGB\_02 Existing and proposed Upper Ground Floor Plan

EGB\_03 Existing and proposed Attic Plan

EGB\_04 Existing Section

EGB\_05 Proposed Section

EGB\_06 Existing Front Elevation

EGB\_07 Proposed Front Elevation

EGB\_08 Existing and proposed Rear Elevation