

DESIGN & ACCESS STATEMENT FOR SUBMISSION OF PLANNING APPLICATION

SITE: 146 GRAFTON ROAD LONDON NW5 4BA  
CLIENTS: MR & MRS OUDINE



No.146

STUDIO B ARCHITECTS 53 PRIORY ROAD, LONDON NW3 4NE

## EXISTING BACKGROUND

This Victorian property is a terraced house within the Gospel Oak Ward in Camden. The immediate area comprises of mixed use and a mixed stock of buildings built at various periods of time. On either side of the site there are London stock brick two-storey terraced houses. Facing the property is The Chelwood Council Estate, which is a large council estate. Behind the property is a semi industrial office complex. The construction comprises London stocks, slate roof tiles and painted timber sash and casement windows. The building is not listed nor in a Conservation Area.



CHELWOOD COUNCIL ESTATE

LIGHT INDUSTRIAL / OFFICES

**ABOVE: AERIAL VIEW OF SITE**

**BELOW: MAP SHOWING SITE SURROUNDED BY INDUSTRIAL USE AND OFFICES**





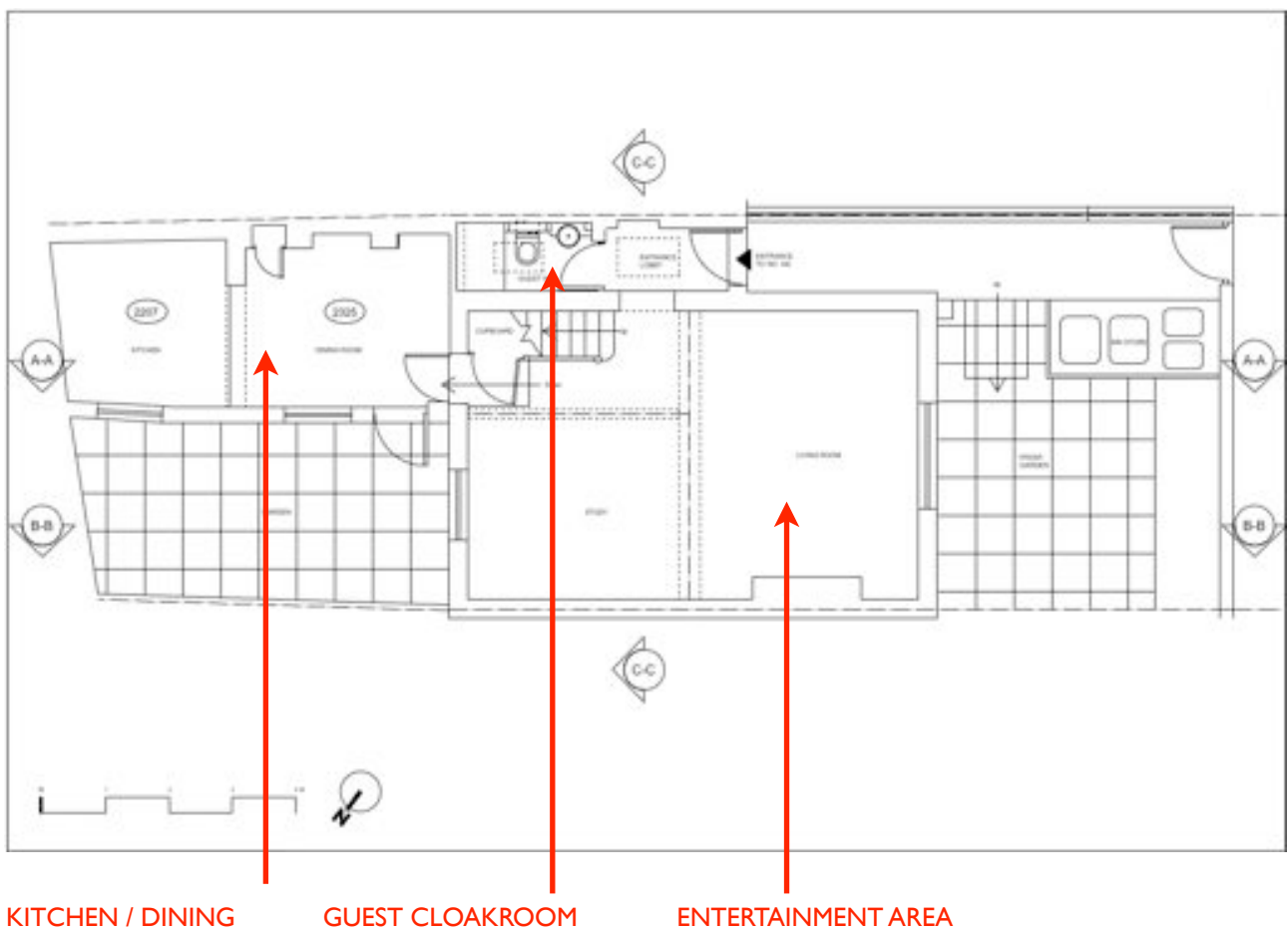
**ABOVE: OS MAP**

## EXISTING CONDITIONS

The house has not been modernised for a number of decades and currently offers sub standard living accommodation. The intention is to improve the amenities required for a growing young family and bring it up to modern standards. The proposal addresses these issues, paying attention to the context of the building, the street, amenities of neighbouring properties and accessibility.

The house has had some previous additions. The kitchen is housed in a rear extension and the upstairs family bathroom is housed in an extension above the first floor.

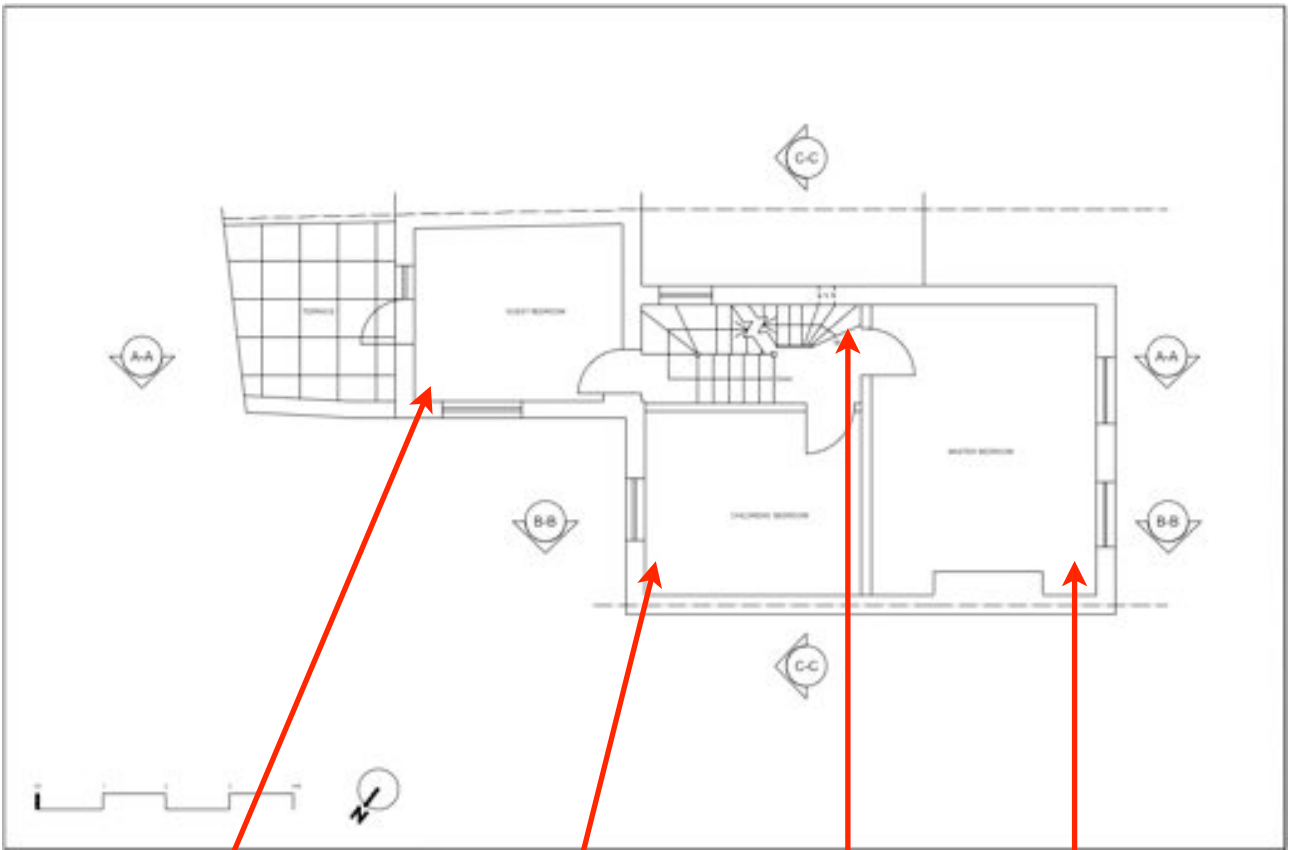
As it stands, the house offers a kitchen/dining, two reception rooms, one master bedroom and two smaller bedrooms.



## EXISTING GROUND FLOOR LAYOUT

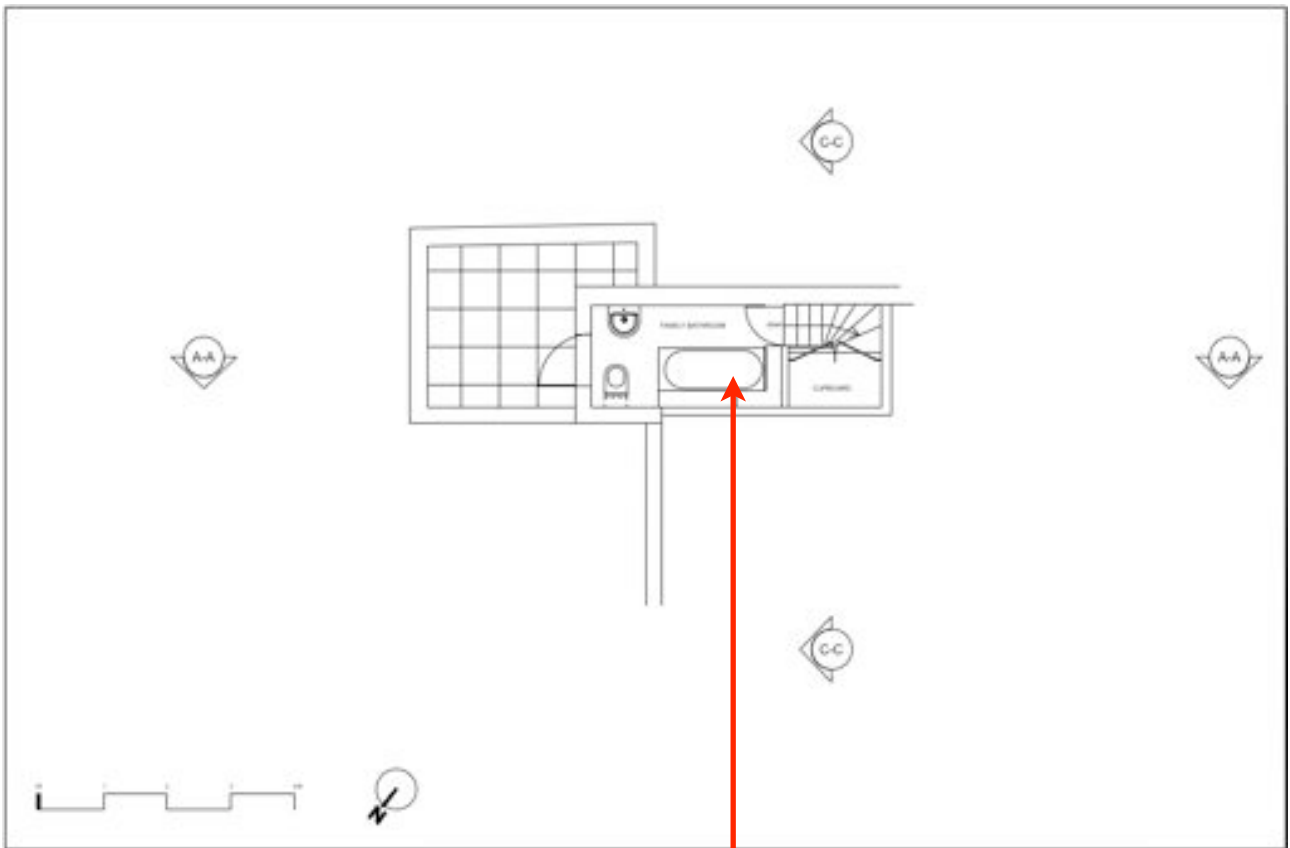
The ground floor accommodates the entertaining rooms, living room and kitchen / dining. Above this is the living accommodation. The master bedroom is found on the first floor at the front of the house. On the same landing is a small children's bedroom and there is a guest bedroom off the half landing. The occupants are starting a young family and are expecting twins. They also plan to have more children. As they come from France they frequently have their parents and other family members staying with them on visits. With this being their long term family home more living accommodation is required.





GUEST BEDROOM      CHILDRENS BEDROOM      STAIRS TO FAMILY BATHROOM      MASTERBEDROOM

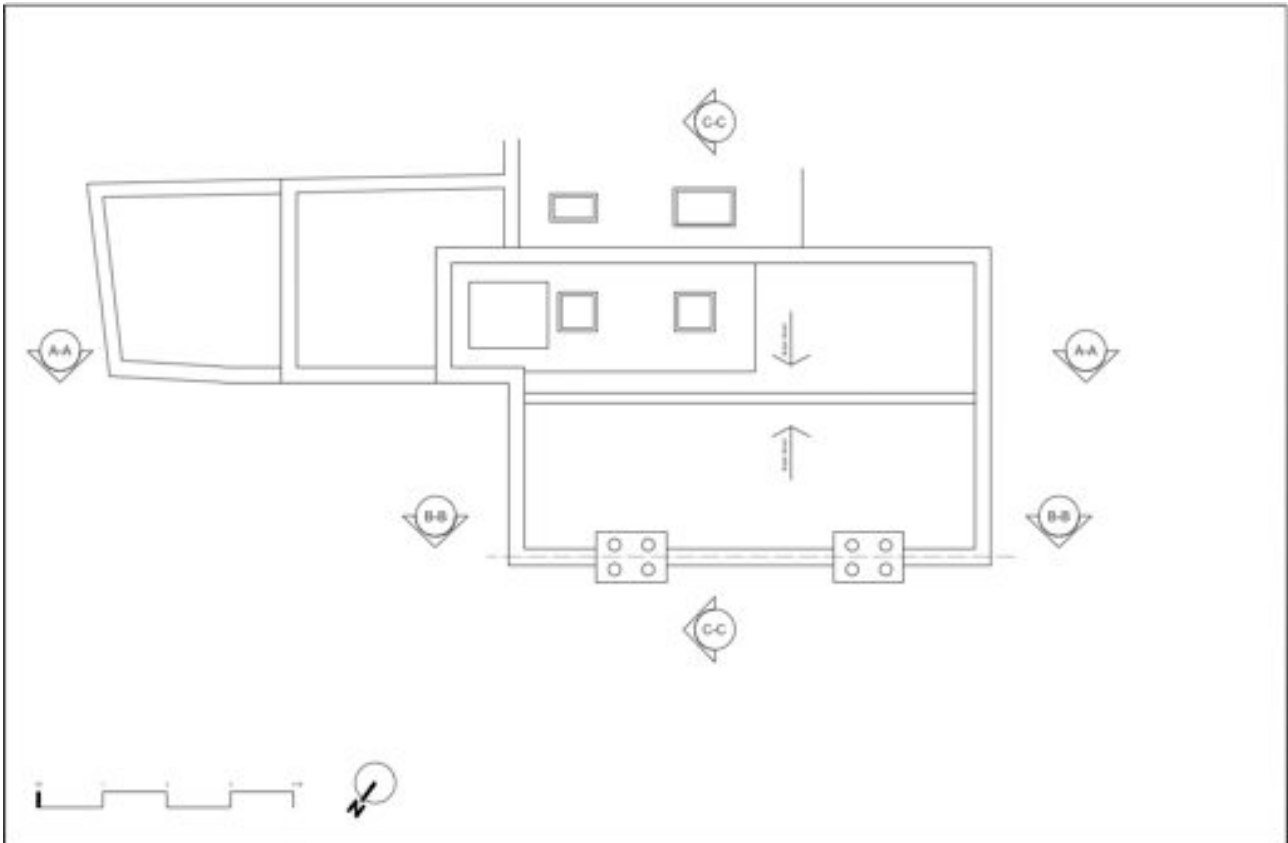
**EXISTING FIRST FLOOR LAYOUT**



FAMILY BATHROOM

**EXISTING SECOND FLOOR LAYOUT**

WC facilities can be found on the ground floor and comprise of a w.c and shower squeezed into a narrow width the size of the entrance lobby. This is used as a guest wc due to its close proximity to the living room area. Its use by family members living in the house is awkward as it means coming down one flight of stairs and entering the living room area. The one and only family bathroom is at the top of the house and is shared by all three bedroom occupants. This is not acceptable for today's standards of daily family life and for a growing family.



**EXISTING ROOF LAYOUT**

### IMMEDIATE SURROUNDINGS

NO. 146 is a terraced house with its neighbour no. 148 and they share the two storey party wall between them. The building is a two storey building with split level floor layouts off a rear half landing. The roof is a butterfly roof and is in need of major repair as it has been leaking for a number of years in spite of numerous attempts to make good the roof. To the front the parapet wall conceals the butterfly roof. There is a rear extension, housing the family bathroom and on top of which is a water tank. This is not seen from the street.

No. 150 differs in form and has a pitched roof with a gable on the side which can be viewed from the street.



**EXISTING FRONT AND REAR ELEVATION**



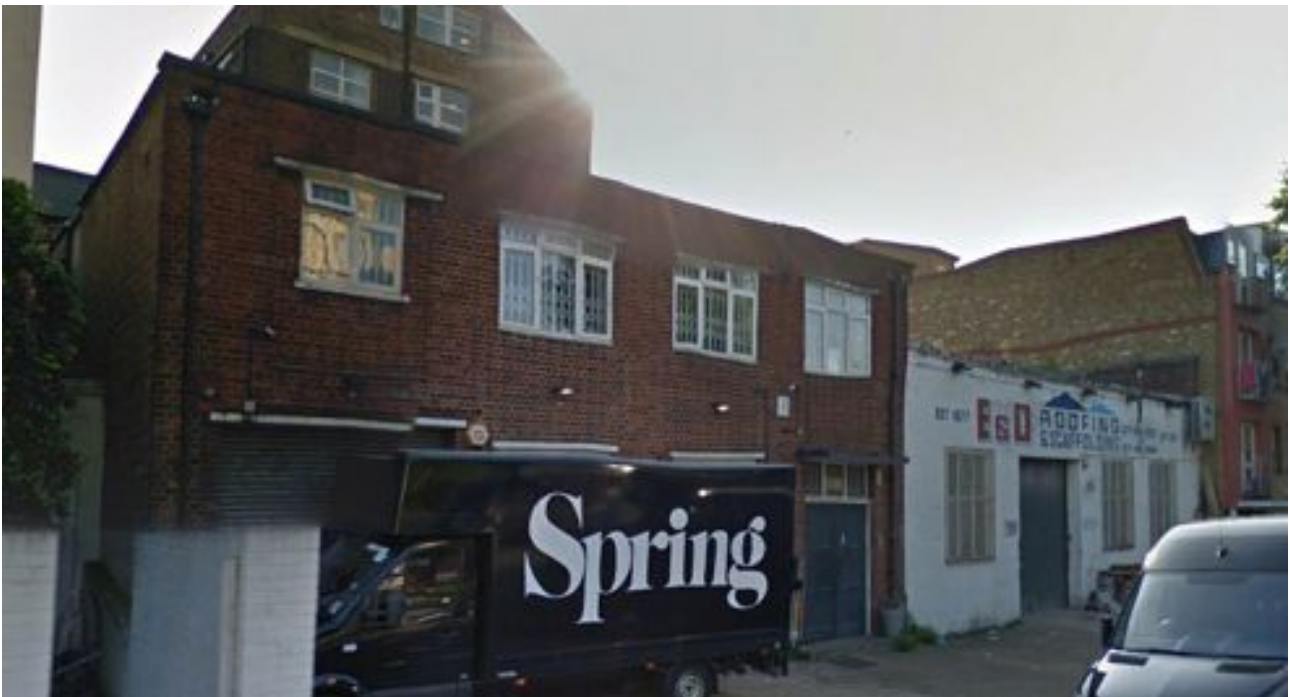
**STREET VIEW OF NO 146. FROM NORTH EAST**



**ABOVE: TERRACED MODERN BLOCK FOLLOWING NO. 150**

Beyond No. 150 is a row of modern terraced houses forming a terraced block with flat roofs. On the other side of No. 146, numbers 144, 142 and 140 are terraced houses without a break and there after there are another two, numbers 138 and 136 terminated by a gable wall at roof level. Beyond that are industrial buildings.

**BELOW: LIGHT INDUSTRIAL BUILDINGS FOLLOWING NO. 136**







NO 150

NO 146

**GABLE ROOF OF NO 150**

**CLOSE UP AERIAL VIEW OF NO. 146 OUTLINED IN RED**





CHELWOOD HOUSING ESTATE

NO. 146

**VIEW LOOKING NORTHWARDS FROM GRAFTON ROAD**

On the opposite side of the road, facing no. 146 is the large council estate, Chelwood Estate. To the rear of the building are light industrial buildings and office buildings.

**VIEW OF BUILDINGS BEHIND NO. 146**





## VIEW OF BUILDINGS BEHIND NO. 146



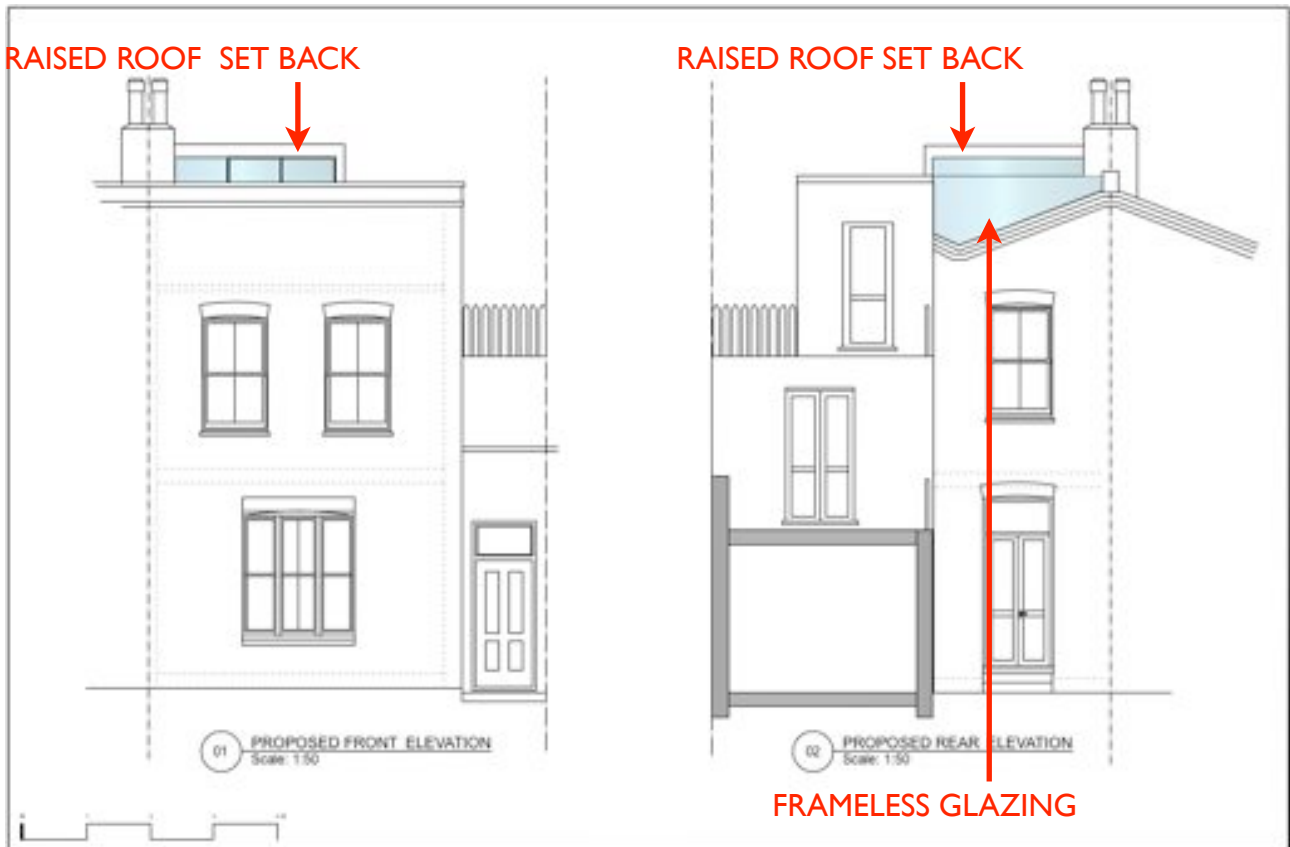
### THE PROPOSAL

It can be seen that no 146 and its terraced neighbours have elegant proportions. The proposal aims to be subsidiary to these and where visible to compliment the existing facades. On this basis, the proposal's form has been solely determined in context to the existing structure and visibility from the street and close environs. Although the buildings in front and to the rear are of no architectural significance and do not resonate with the terraced house the addition to the roof has been designed so as not to create any visual impact to the street. It has been designed so as not to be visible from the street and the extension does not create any overlooking issues.

It is proposed to replace the existing butterfly roof which is leaking with a raised flat roof. A section of the party wall shared with no. 148 is to be slightly raised between the chimney breasts. It is not raised beyond the front chimney stack to ensure that it is not visible from the street. Within the space that is created, a master bedroom with attached shower room and sink is proposed. This will reduce the pressure of having only one family bathroom and will mean the house can accommodate their children and their parents when visiting.

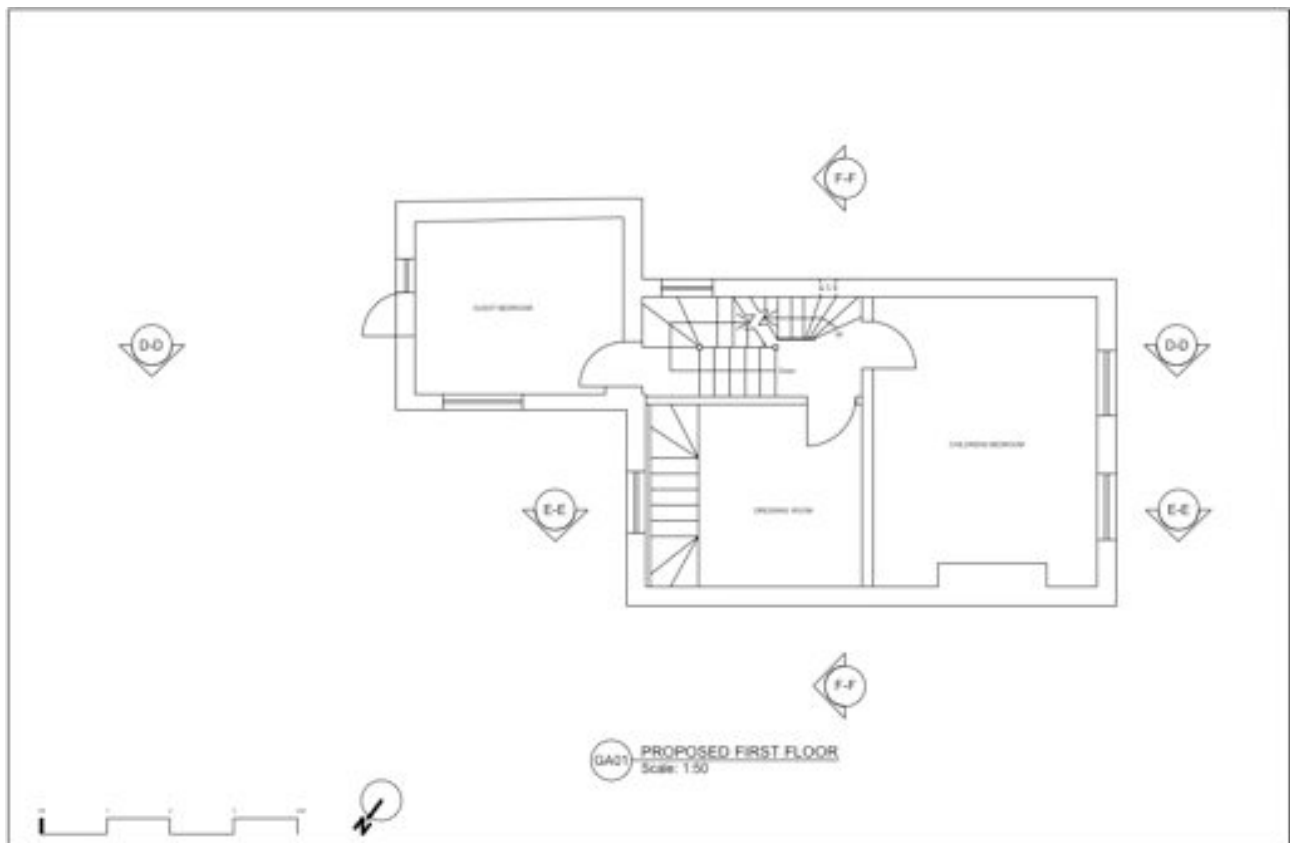
Additional storage space is to be provided by continuing the existing flat roof to the front of the house. This is kept well below the parapet wall level to the side of the house.

The proposed structure to the rear is frameless glass and would be in line with the rear external wall. The use of frameless glass is to create a visually light and elegant structure lining up with the top most part of the rear parapet wall. The glass creates an aesthetically light addition which does not compete with original brick building. Set back to this, in line with the rear chimney stack, is a raised roof which floats above vertical glazing.



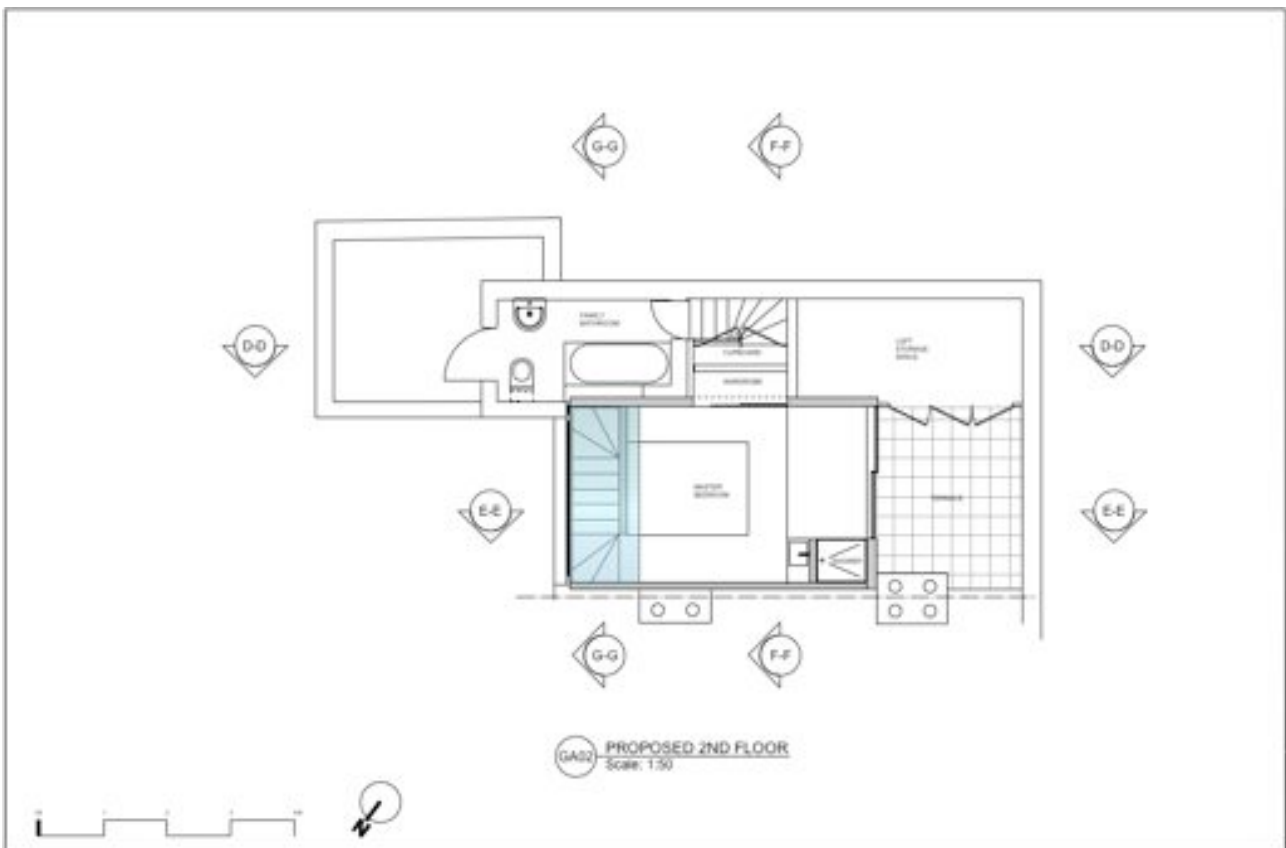
**PROPOSED FRONT AND REAR ELEVATIONS**

At the front, the extension will not be visible from the street as it is set back by 2.3 meters from the front parapet wall and is also set back 1.8 meters from the side.



**PROPOSED FIRST FLOOR PLAN**



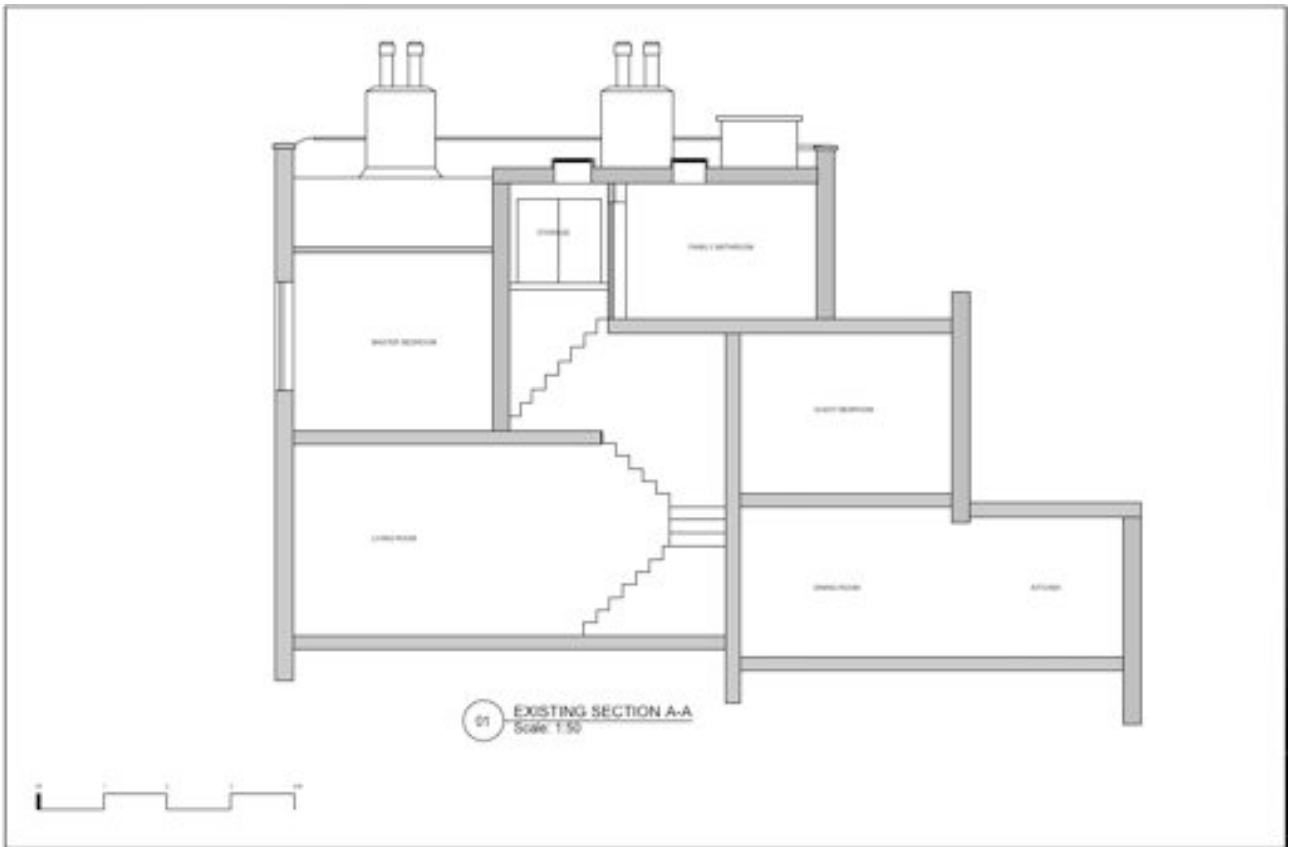


**PROPOSED SECOND FLOOR PLAN**

Careful consideration has been taken in designing the addition so as not to affect the amenities enjoyed by neighbours. The glass to the rear is to be obscured glass so as not to cause any overlooking into the industrial buildings to the rear.

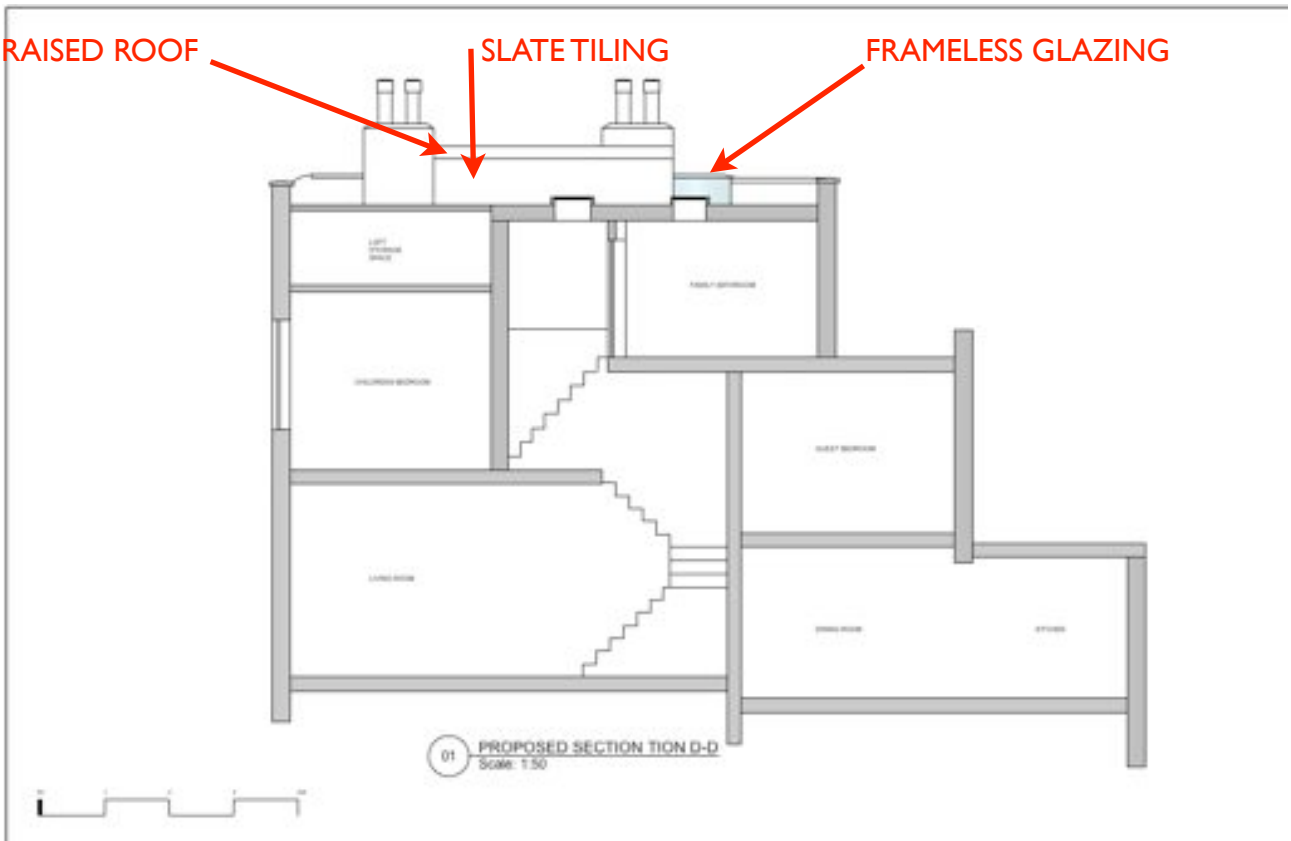
The glazing to the front of the roof extension is to be high quality slimline aluminium framed sliding doors which allows more glass and minimal framing. These open out to a southerly roof terrace - providing the only south facing open space to the house.

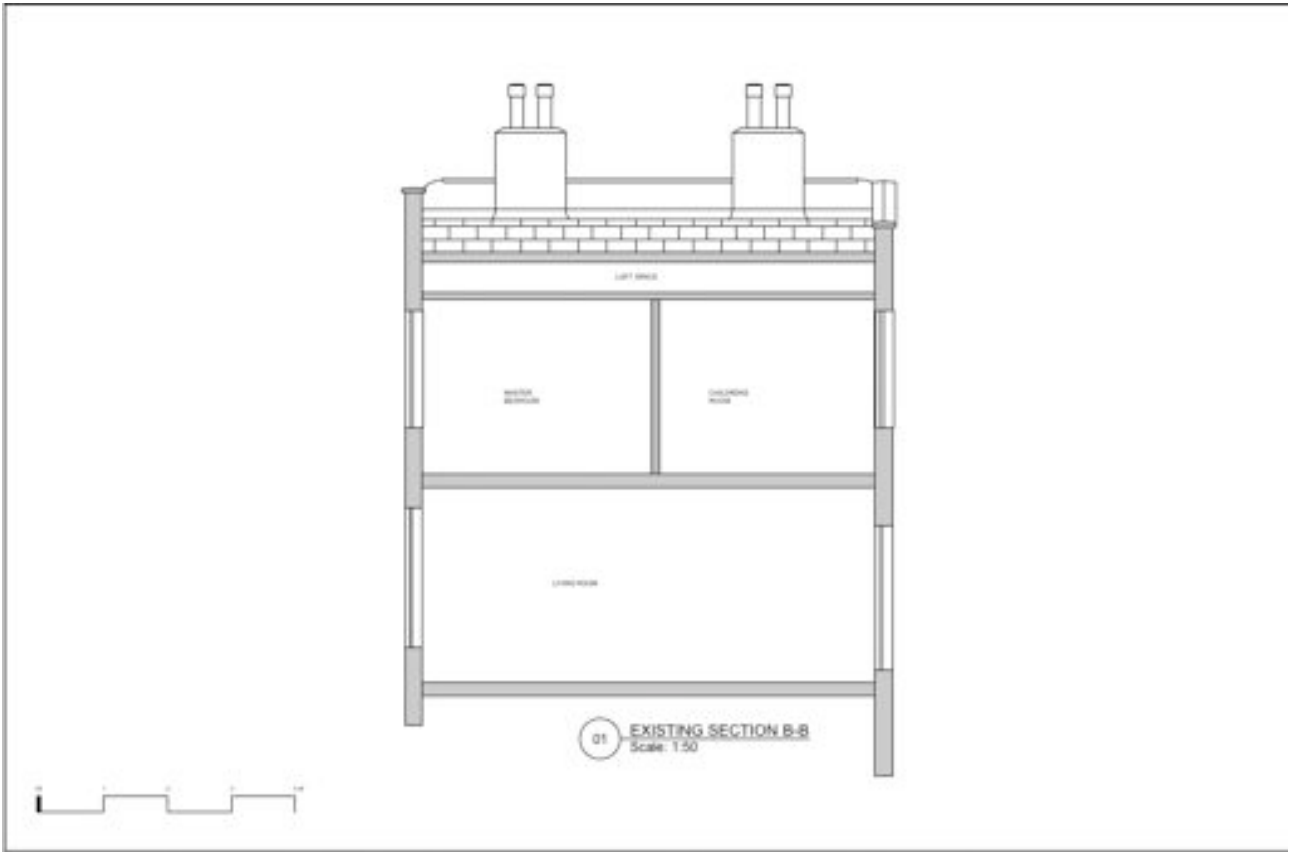
As can be seen from proposed sections, as compared to the existing sections, the height of the extension is close to the existing water tank so will not impact the street scene retaining the character of the existing building and adjacent terraced houses. The addition has been designed to be as discreet as possible and the height has been determined on this basis. The side of the extension, although not impacting the street, is tiled with slate tiles so as to match conventional roofing materials.



**ABOVE: EXISTING SECTION A-A**

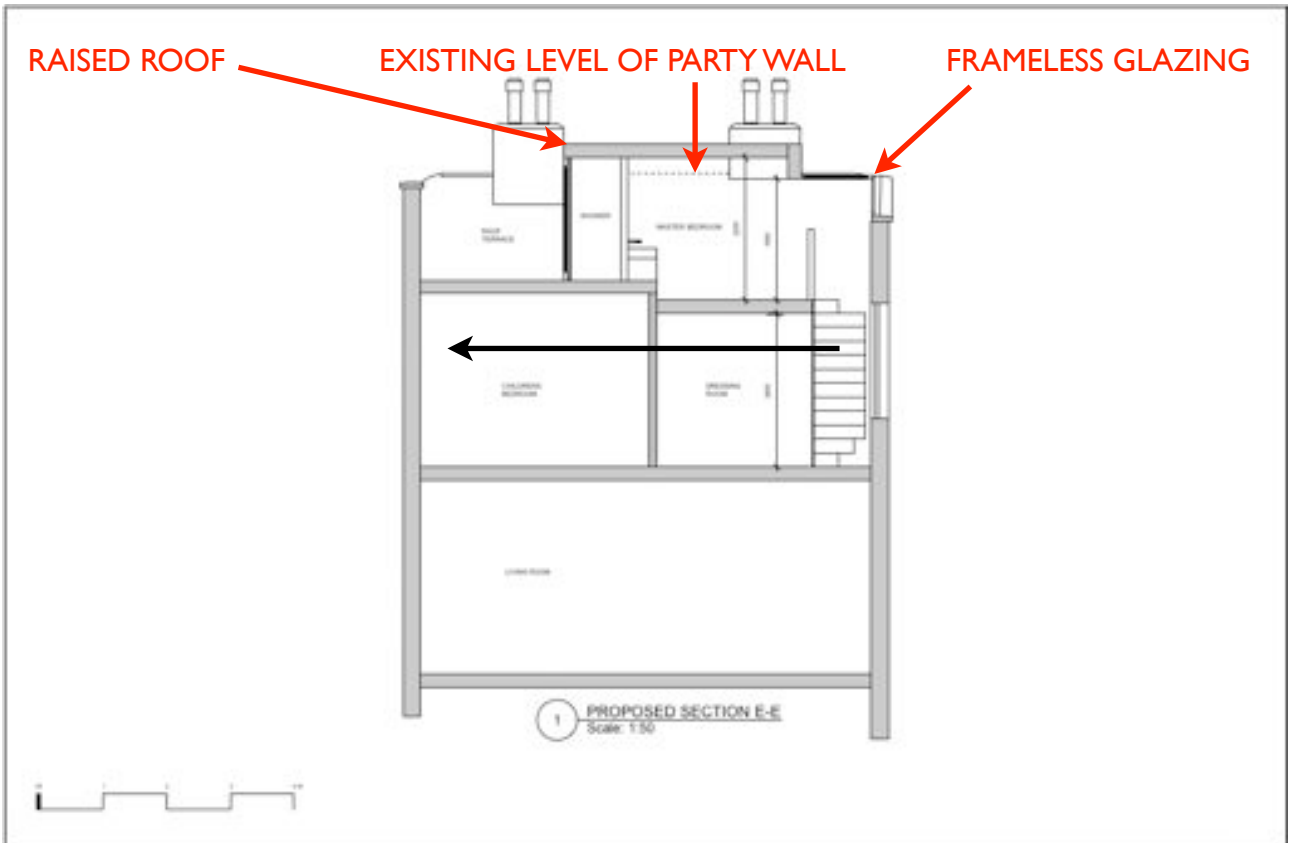
**BELOW: PROPOSED SECTION D-D**

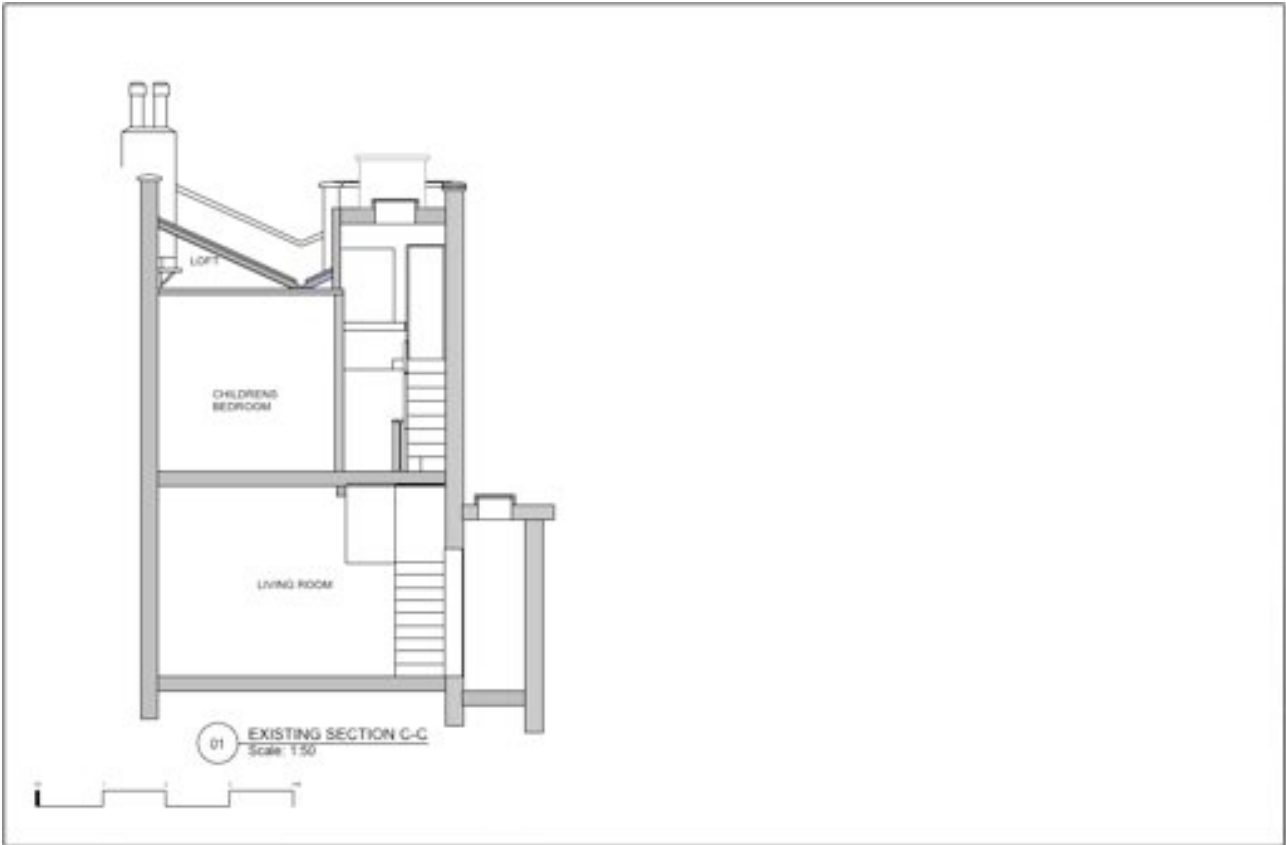




**ABOVE: EXISTING SECTION B-B**

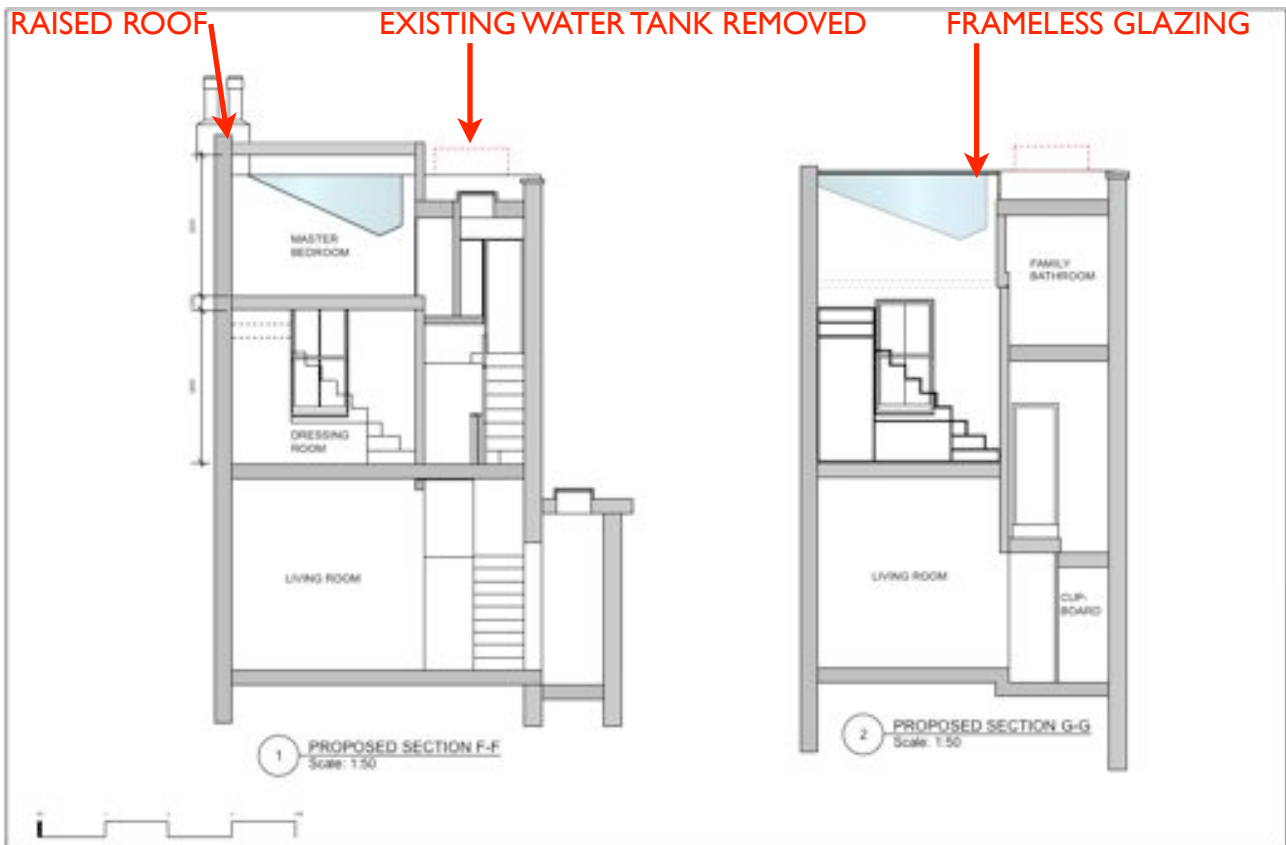
**BELOW: PROPOSED SECTION E-E**





**ABOVE: EXISTING SECTION C-C**

**BELOW: PROPOSED SECTION F-F AND G-G**





## PLANNING GUIDELINES AND POLICIES

CPG4, DP24 and DP25 have been followed with the following consideration as set out below.

If a conventional mansard roof extension were to be proposed it would be visible from the street and would add considerable bulk to the roofline. It would therefore contravene with planning guidelines particularly as there is no precedent of mansard roofs being added to the terrace.

As can be seen, No. 146 is part of a terrace which has strong continuous parapet walls. The proposed addition to the roof takes this into account. Therefore it has been designed to be set back and hidden from the street. It has also been set back along the side in order for it to be hidden along the side from the street. It has been kept to a low level by lowering the existing ceiling on the first floor to accommodate minimum head height for the additional bedroom created within the roof 'void'. The resultant effect is that it is completely hidden with consideration of viewing angles from a distance and from the street. Photographs of the building from the street and across the road demonstrate this. See earlier photograph of street view from North East and below.



**NO 146**

**PHOTOGRAPH OF NO. 146 AS SEEN LONG DISTANCE FROM HOUSING ESTATE ACROSS THE ROAD**

Original cornices and parapets have been retained as well as visible chimney stacks. The only alternation to the external walls of the existing building is along the party wall in between the two chimney stacks which has been raised nominally. There is no resultant impact on adjoining properties in terms of bulk nor any loss of light due to additional height.

Directly behind no 146 are industrial buildings and office buildings and they do not look directly onto no 146. The building behind has roof lights and a fire escape. The building adjacent to that has one window with obscure glazing. The proposed rear elevation which consists of the existing sloped parapet wall with proposed frameless glazing above is not exposed to important London wide and local views from public spaces. The addition here has been kept visually light and in sympathy to the existing building.

The proposed open accessible space to the front does not cause any overlooking issues as the parapet wall is over 1.5 meters high. The terrace leads off a bedroom and would not form one of the social spaces in the house. There would be no light spillage to the neighboring properties and it will not need any additional railings to comply with Building Control so would not affect the frontage of the building.

## HISTORY

There is no evidence from planning archives that planning permission has previously been applied for any form of development or refurbishment for this property.