



13 GLENILLA ROAD
LONDON
NW3 4AJ

DESIGN & ACCESS STATEMENT
1 September 2014

EXTERNAL ALTERATIONS TO GROUND FLOOR FLAT -
INCLUDING BASEMENT ENLARGEMENT AND SINGLE STOREY REAR EXTENSION
OF AN EXISTING DWELLING AND THE REFURBISHMENT OF INTERIOR SPACES AT:

13 GLENILLA ROAD, NW3 4AJ

DESIGN & ACCESS STATEMENT

DATE:	1 September 2014
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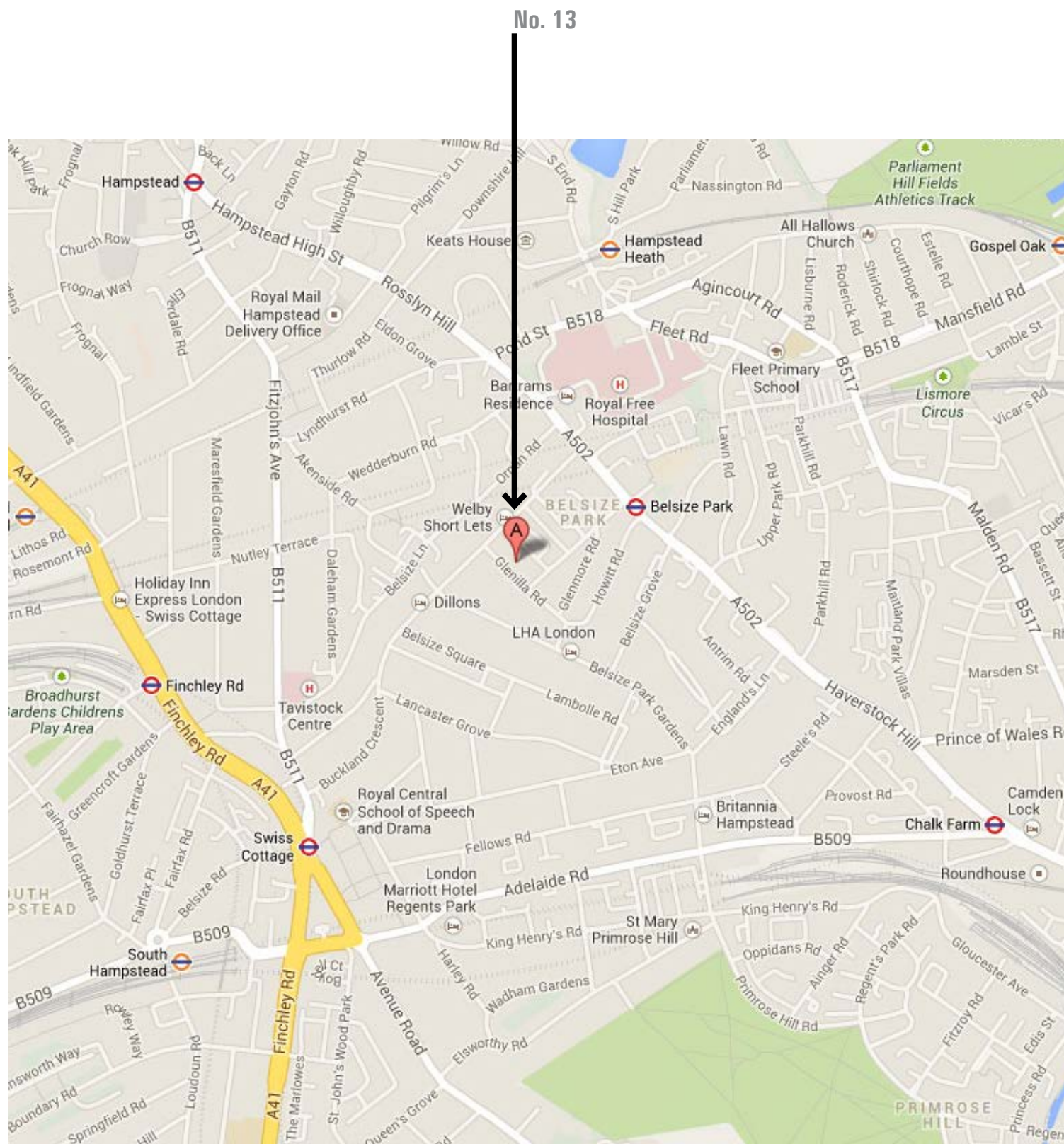


Fig1. Site Location on Map

Source: Google Maps Online

01 INTRODUCTION

This statement is in support of an application for external alterations and additions. It includes the elevations, existing rear extension and proposed basement enlargement to the existing Ground Floor Flat at 13 Glenilla Road, situated in Belsize Park, Camden.

This proposal seeks to restore and repair the street elevation in a sympathetic manner. It also proposes to resolve the current daylight issues and quality of accommodation by reconfiguring the property mostly to the rear to allow more natural daylight to living areas and improving quality of living facilities, whilst maintaining the amenity of neighbouring properties and enhancing the character of the immediate area.

01-01 GENERAL CONTEXT:

The application site falls under the Belsize Park Conservation Area and lies within Sub-area 4 known as Glenloch; which includes Glenloch, Glenmore, Glenilla and Howitt Roads. This sub-area was developed by the Glenloch Insurance Company at the turn of the previous century and gave rise to this cluster of houses that have a distinct Edwardian architectural character.

The site has very good access to the transport network, see Figure 1 and in walking distance is located approximately:

- 345 meters from Belsize Park Station
- 860 meters from Swiss Cottage Station
- 905 meters from Hampstead Heath Station
- 1100 meters from Finchley Road Station
- 1415 meters from Hampstead Station
- 1410 meters from Chalk Farm Station

Equally the site is well located with convenient access to recreational spaces, parks, cultural & educational facilities, shops and a hospital.



01-02 HISTORICAL CONTEXT:

Towards the end of the 19th century property development saw a decline in the market for large houses which led to the development of smaller terraced houses and mansion flats closer to public transport nodes.

Therefore in contrast with the surrounding large Belsize Park villa-type houses and within its historical context; an undeveloped area was developed at the turn of the century with proportionally smaller units that have a playful, decorative architectural style that adds a rhythm to the street elevations as a compromise to their size.

As a result the cluster of terraced houses on Glenilla, Glenloch, Glenmore and Howitt Roads have a largely uniform appearance but smaller in scale. This cluster of homes with a smaller footprint and more intensified residential urban scale is clearly evident and can be seen on the historic maps, see Figure 2.

Fig2. Historic Maps

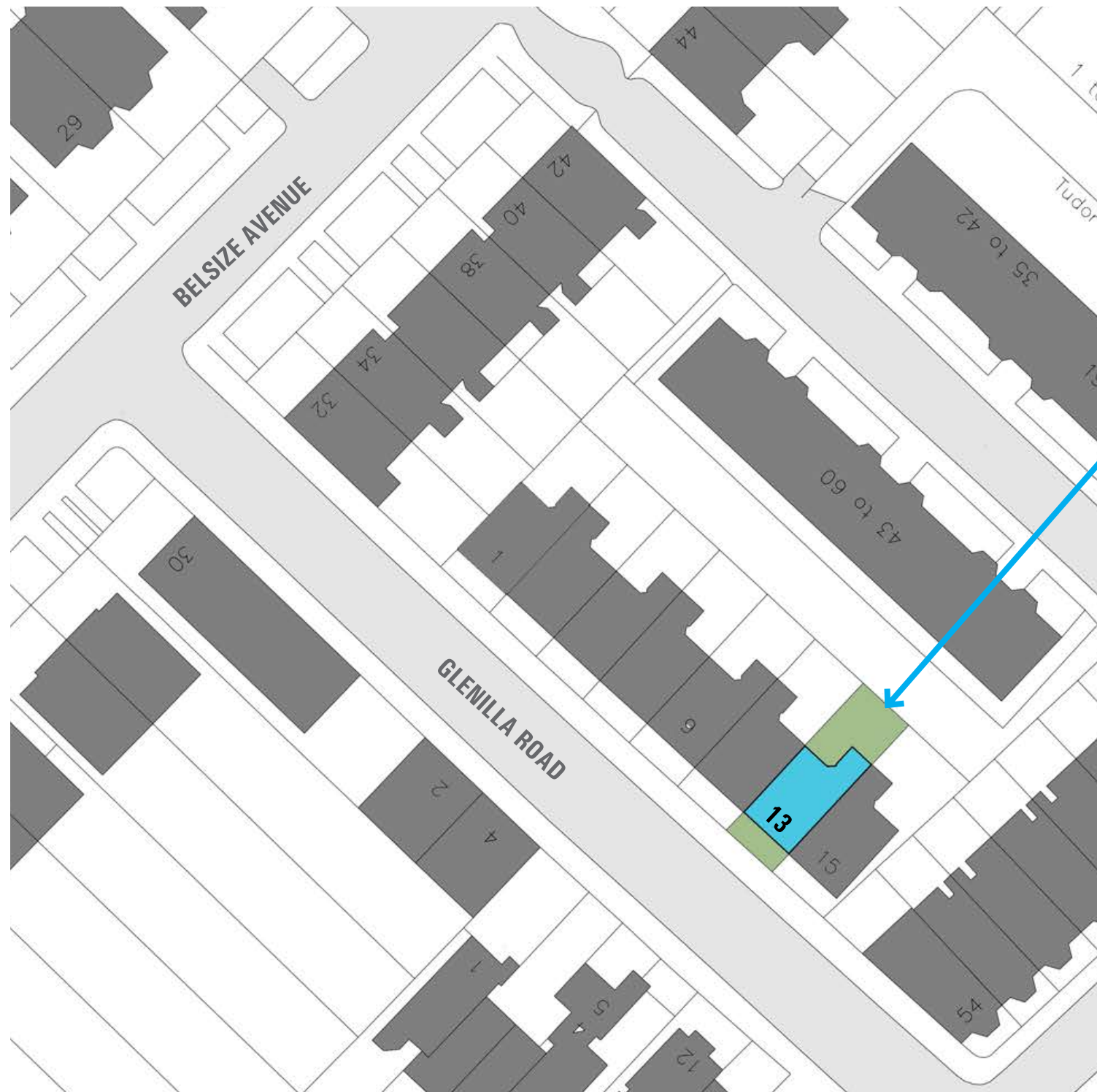
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The SITE:
No. 13 Glenilla Road, NW3 4AJ



Fig3. Site Location Plan

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Fig4. Aerial Photograph of the Proposed Site

Source: Google Maps Online

01-03 THE SITE:

The Site; No 13 is a mid-terraced house which forms part of a short row of terraced houses along the north side of Glenilla Road. The Proposed Site's topography is mostly flat with a minimal downhill slope in a south-eastern direction and No 13 is part of the far corner of the original Glenloch development at the end of Glenilla Road as noted in Figures 5-9.

The buildings along Glenilla Road are eclectic in architectural character, design, scale, mass and with a range of dates of construction. Although the small parcel of houses that form part of the original Glenloch development on the north side of Glenilla Rd is very similar in design. With a matching architectural expression in decorative detailing, an architectural play on bay window shapes, articulation of openings, render patterns and dormers: these characteristic Edwardian elevation treatments lend a rhythm to the architectural landscape along this road, although it is worth noting that a number of unsympathetic alterations occurred in the past which detracts and harms the front aspect unity of these mirrored terrace row houses. The site is subject to an Article 4(1) Direction and this proposal seeks to strengthen the architectural character of the front elevation by reinstating and restoring original features as annotated on the drawings.

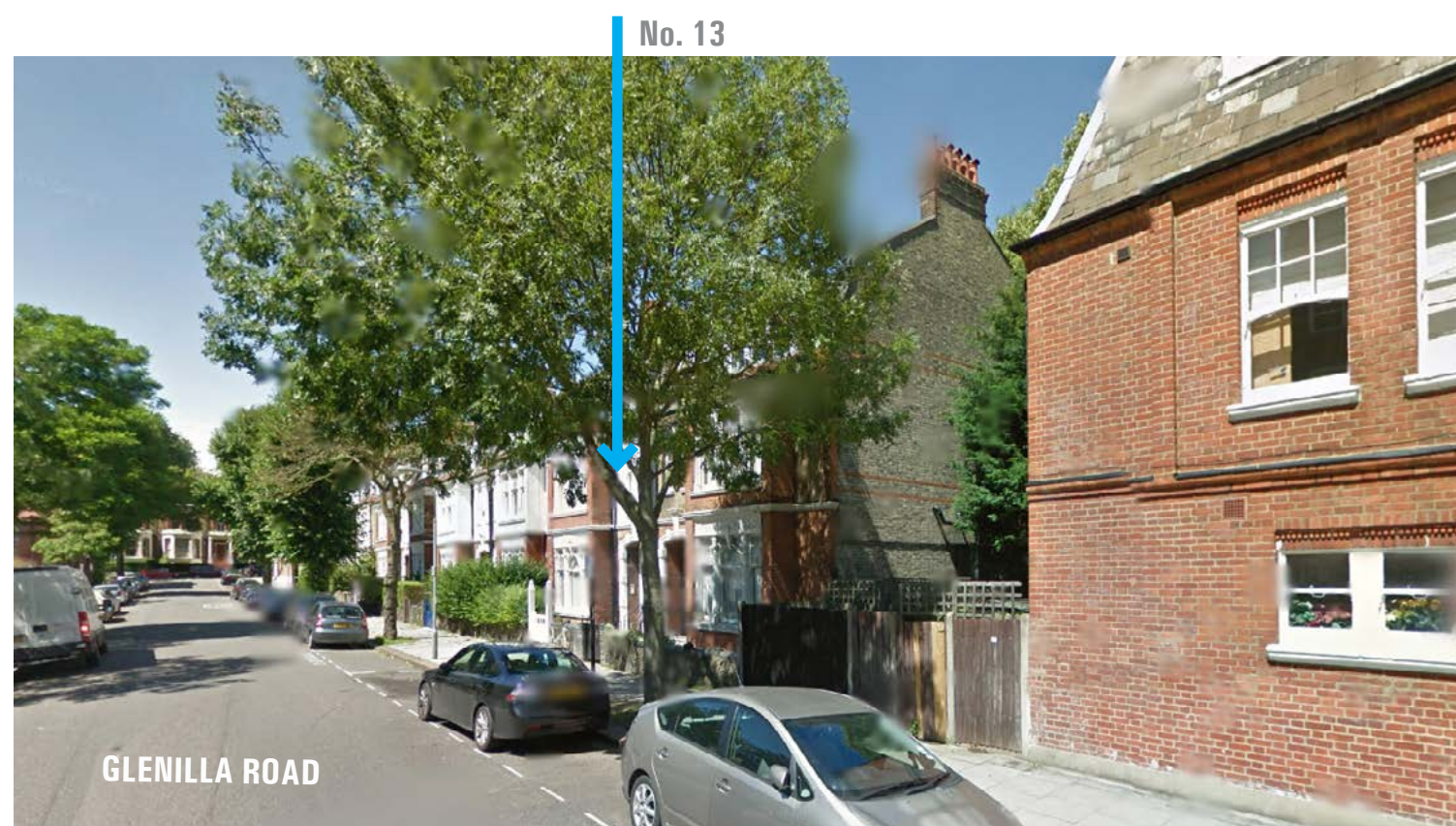


Fig5. Glenilla Road: illustrating the similar architectural character along the north side.

Source: Google Maps Online



Fig6. Glenilla Road: View downhill in a south-eastern direction

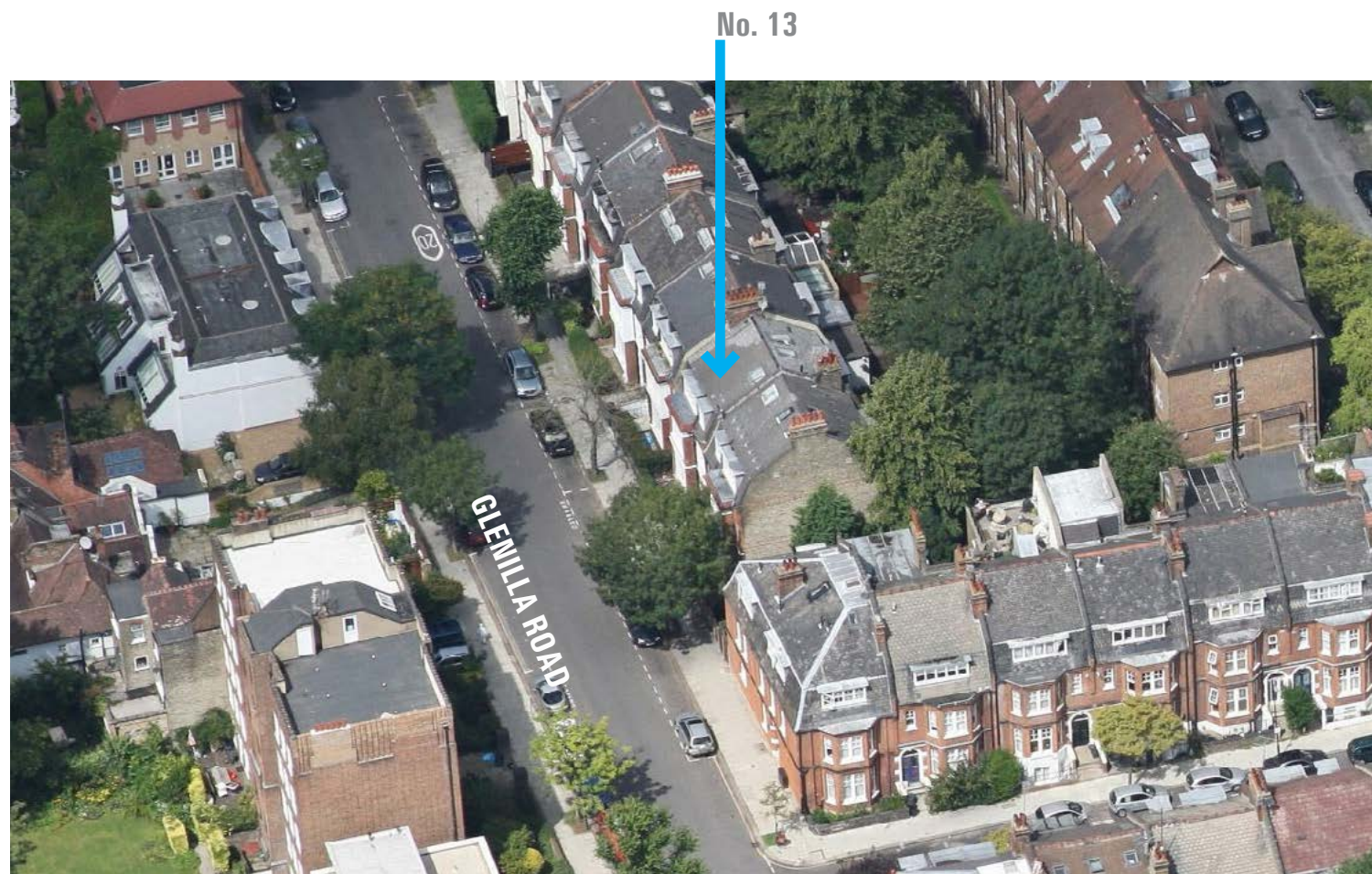


Fig7. Aerial Photograph of the Proposal Site
No. 13

Source: Bing Maps Online

The Site is a mid-terraced house and shares a party wall either side with a mirrored layout to numbers 11 & 15. Due to its context and well established trees; No.13's back garden is sheltered well from public view and the proposed work is hidden from view and cannot be seen from street level.

The images also highlight the variety of architectural styles, material, scale and mass of the surrounding buildings. As illustrated in the aerial views it is clearly evident that a number of properties within the immediate vicinity has had similar extensions as detailed in this application.

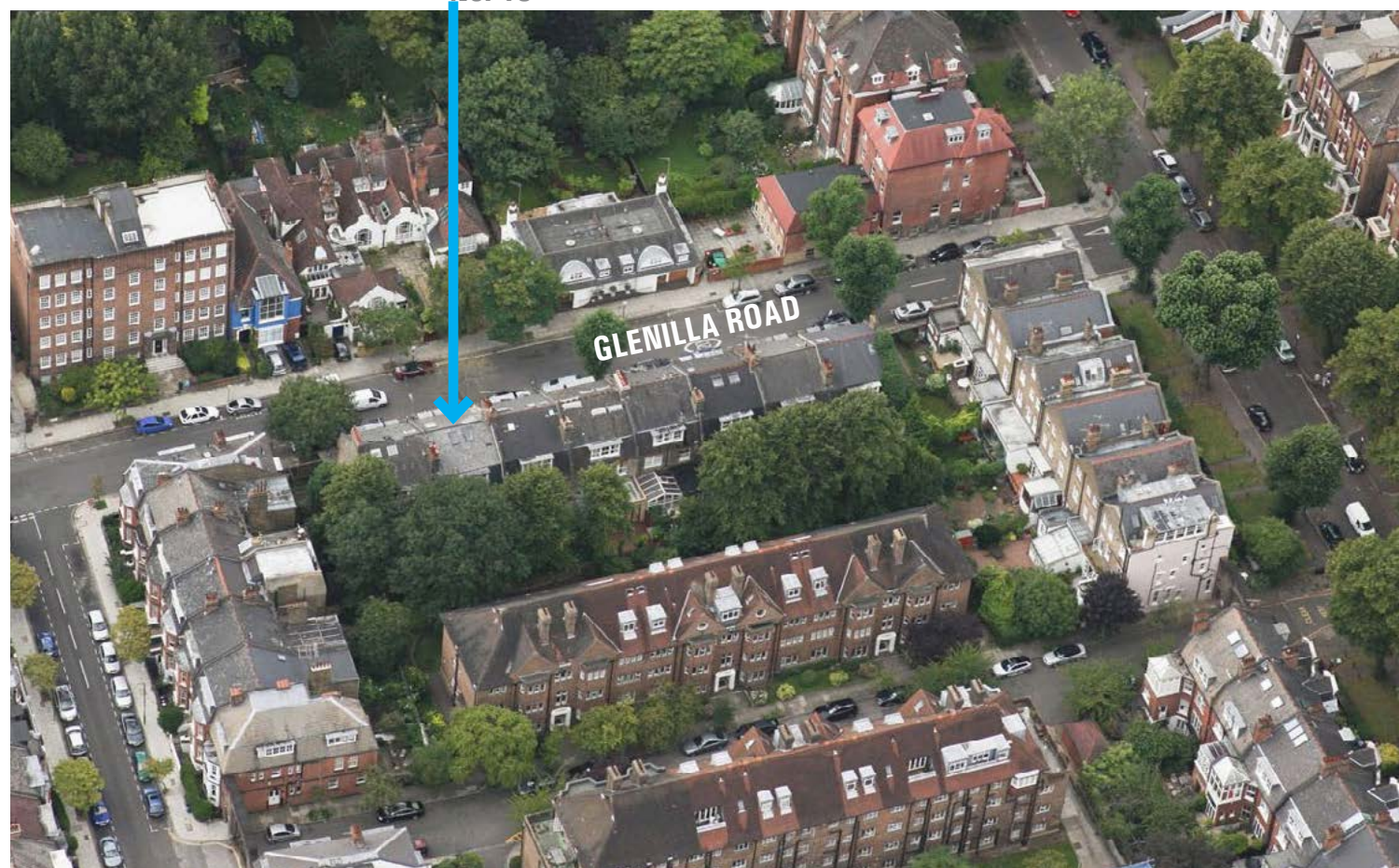
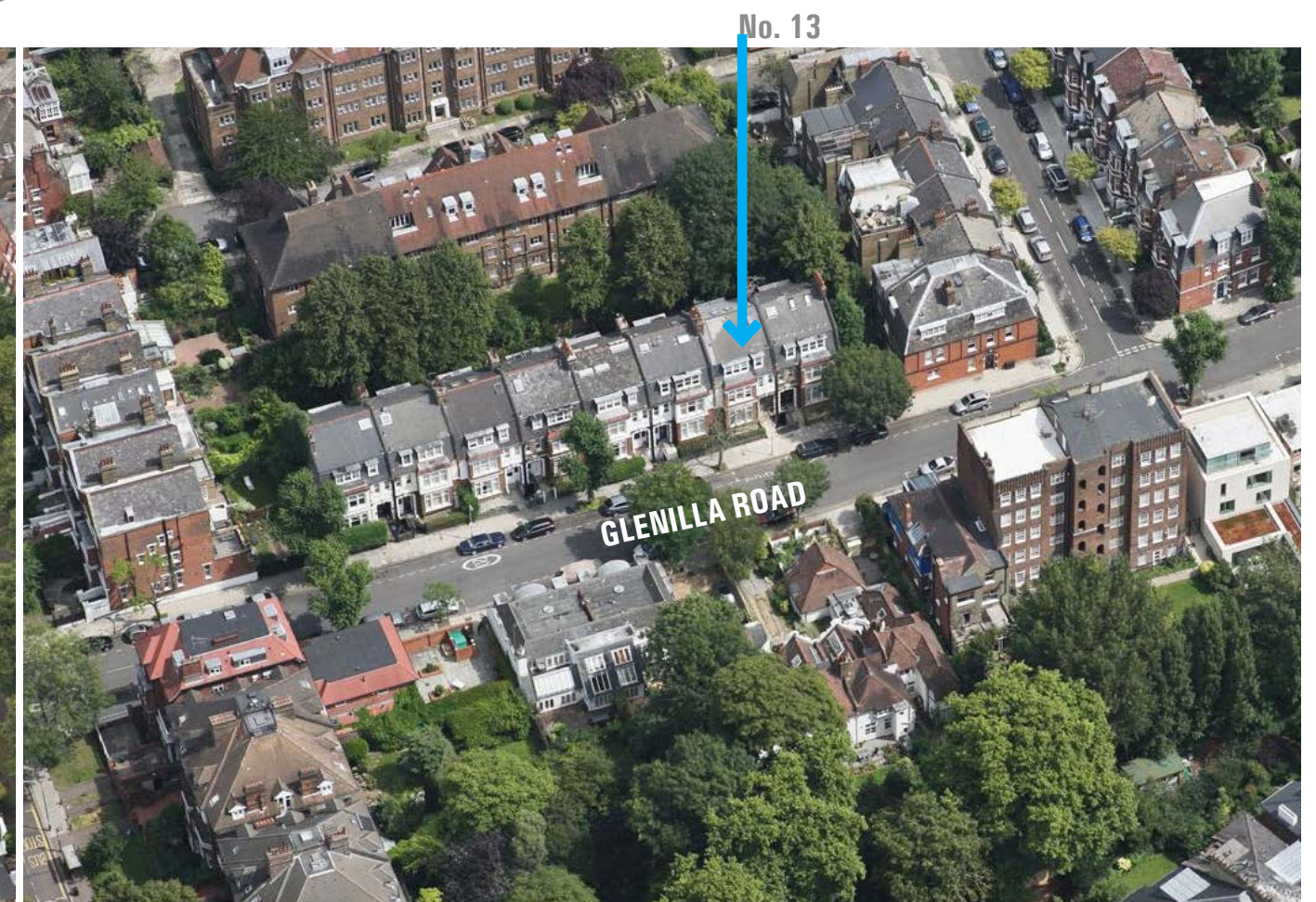


Fig8. Glenilla Road: illustrating the similar architectural character along the north side.

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Source: Bing Maps Online Fig9. Glenilla Road: View downhill in a south-eastern direction

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No. 13



01-04 EXISTING BUILDING:

The existing building is a complete three storey mid-terraced house with a small original basement and a single storey rear extension. The house is divided into 3 flats but the building is under single ownership with approximately 230sqm (2,484sqft) of accommodation.

The street facade consists of a pitched man-made slate mansard roof with a double set of dormer windows, a roof light and a band of clay tiles along the front bay window roof. The bay window sits proud of the facade and roof planes as part of the architectural expression and play on the street elevation as a whole.

The front elevation is made up from exposed or painted brickwork with a plaster treatment to a part of the elevation and painted ornamental plaster patterns above openings. The recessed entrance porch has an original solid timber door with stained glass insets, overhead panel and side window. The building is set back from the street with a small front garden and side access steps down to the small basement.

The rear facade has an existing dormer extension clad in lead with man-made slate tiles to the lower back mansard roof. The back elevation is from yellow stock bricks with simplified architectural treatment and red brick arches over windows and is facing north-east.

The Ground Floor Flat consists of the ground floor footprint which includes an existing single storey rear extension with a flat roof and access to the small basement area. The back garden is small but discreet and concealed from public view with vegetation screens or garden walls along the boundaries. The back garden surface is covered mostly with paving and has very little vegetation but a flower bed to the rear wall.

The Scope of Works for the Proposal relates to Ground Floor Flat unit which includes alterations to front and back garden areas with a proposed basement enlargement and new light well to the front.

Fig10. Existing street or front elevation

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Fig11. Existing back garden as seen from a floor above.

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02 PROPOSAL

The aim of this statement is to provide a clear illustration of the applicant's aspirations to preserve and enhance the existing character and appearance of the property while creating additional space and refurbishing the interior. The Ground Floor Flat is in a good state but require some maintenance and repair work as can be seen in Figs 10&11. The flat will be repaired and refurbished to a very good standard employing good design with durable and high quality materials being specified.

This proposal seeks to increase the living area while aiming to resolve the current daylight issues and quality of accommodation that result from the current layout by reconfiguring the flat to allow more natural light into living spaces. The proposed external alterations consist of:

Front facade:

- Upgrading and altering the front garden and entrance area
- Upgrading of the front entrance porch
- Renovating the front elevation and features, replacement of windows and forming a light well with concealed new windows below ground floor area serving the basement extension.

Rear facade:

- Upgrading and alterations to the back elevation
- Alterations and replacement of windows.
- New single storey rear conservatory extension replacing existing with a light well providing daylight to the basement extension.

Basement extension:

- Excavation to enlarge the existing basement area and to form a new sunken light well to the front and back garden areas.

The design drawings which illustrate the proposed improvements are attached and a full list as shown on Appendix 1.



02-01 UPGRADING OF THE FRONT ENTRANCE AREA:

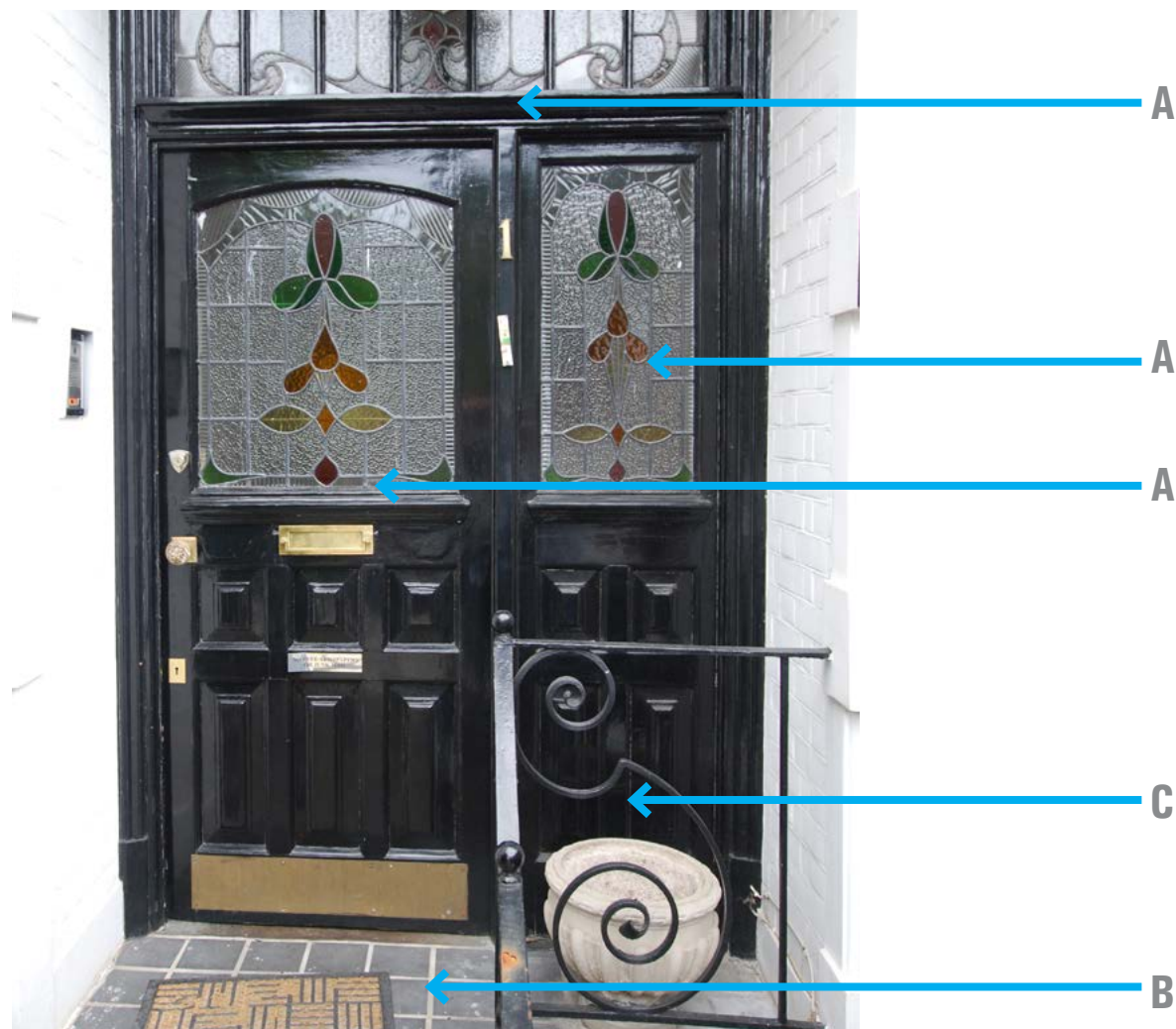
See Figure 12, the Proposal includes the upgrading and reinstating of original features to the main entrance area:

- A. Repairing steps and basement door and upgrading basement area as a secondary entrance.
- B. Removal of existing concrete pavers and reinstating a garden entrance path with geometric black & white encaustic tiles as seen along neighbouring properties. Tile size, design and colour to match original porch tiles as illustrated here.
- C. Redecorating existing timber posts and gate to match original gates as found along Glenilla Road.
- D. Clean, repair and making good of low front garden walls with a new planted hedge screen to the front garden area.

Part of the proposal makes allowance for a basement formation and front garden light well which would be concealed by reinstating a planted hedge screen and grating over the well as described on the design drawings. A concealed bin storage enclosure is proposed at the entrance area too.

Fig12. Existing and proposed features to the front entrance area

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02-02 UPGRADING OF THE FRONT ENTRANCE PORCH:

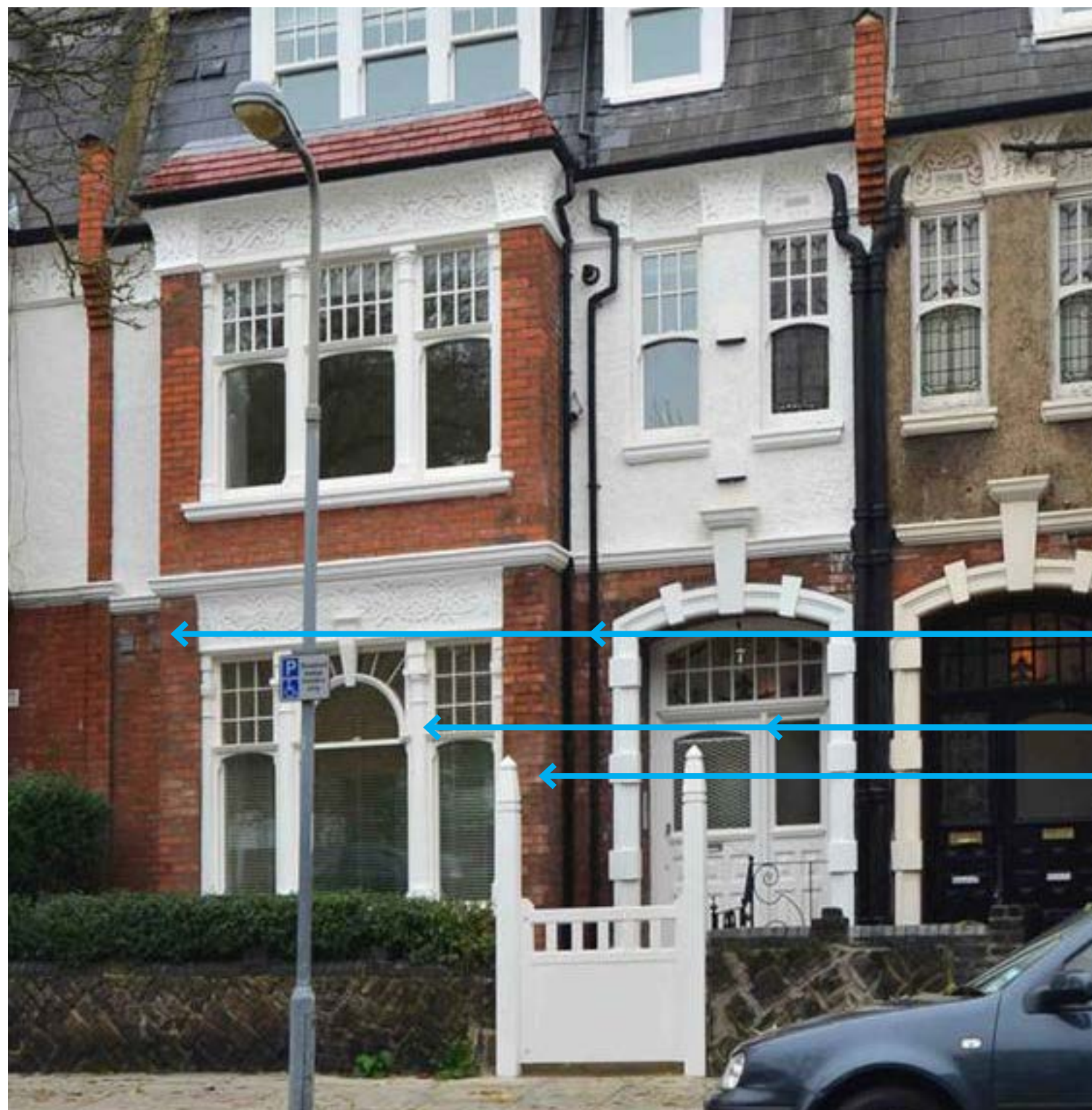
See Figure 13, the Proposal includes the upgrading and reinstating of original features to the main entrance porch area:

- A. Replacement of the front entrance door, truthful replica with glazing openings and detailing. Original decorative stained glass & lead work insets to be carefully repaired and reinstated to the new door, side and overhead panels with clear double glazing behind them as described on the design drawings.
- B. Removing existing tiles and reinstating new geometric black & white encaustic tiles to the porch area to match original period feature.
- C. Existing side entrance steps leading down to basement entrance to be cleaned and repaired, existing balustrade reinstated and repainted. A new solid hardwood door with matching detailing to original and double glazed glass panel insets as shown on the design drawings.

As described elsewhere the surrounding architectural features and brickwork to the front elevation will be cleaned, repaired and made good.

Fig13. Existing features to the front entrance porch

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02-03 RENOVATING FRONT ELEVATION:

Existing elevation and architectural features to be cleaned, repaired and made good. All plaster and painted surfaces to be redecorated and paint colour to be confirmed. Brickwork to be cleaned, repaired and re-pointed to match the existing property.

REPLACEMENT OF WINDOWS:

See Figure 14, the Proposal includes the:

- A. Repair of existing brickwork and stucco work painted.
- B. Replacement of the existing sash windows with new painted timber framed double glazed sash windows matching the original in detailing and configuration as shown on the design drawings.

FORMING CONCEALED NEW WINDOW OPENING TO BASEMENT:

See Design Drawings, the Proposal includes the formation of a basement bay window with 3 new windows and access door to a new front light well area that serves the proposed basement enlargement. The new openings will allow daylight, ventilation and access to this basement area which is a continuation of the existing bay window facade above. These openings are concealed from public view and new painted timber framed double glazed sash windows and doors are proposed to match the existing windows in detailing as shown on the design drawings.

The original 'lava'-brick front garden wall will be repaired and made good. A green hedge will be reinstated as a planted screen and seen as an essential part of the current street-scape along Glenilla Road.

All the above should strengthen the character and appearance of the existing building and immediate context of this conservation area.

Fig14. Front Elevation and bay-window

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Fig15. Existing rear elevation:

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02-04 UPGRADING AND REAR ALTERATIONS TO THE BACK ELEVATION

NEW REAR CONSERVATORY EXTENSION

The proposal is to demolish the existing single storey extension, re-configure the layout and extend the existing dwelling parallel to the rear elevation. The proposal also includes the formation of a light well to the basement rear extension. This is to enable more natural daylight and sunlight into the property, principally via a small and discreet extension with a planted green roof over the extension. A painted timber doors are proposed along the garden elevation of the extension at both ground and basement level. The north-west flank wall is set back from the boundary wall with a new bridge link to the garden area and a wide light well that allows daylight into the basement extension below. Design and opening configuration as shown on the design intent drawings. It is proposed that the existing hard standing to the back garden is removed and a new permeable substrate will be installed to accommodate a new lawn. A new brick boundary wall is proposed within the boundaries of the site.

03 POLICY REVIEW

INTRODUCTION

The following section reviews the scheme within the context of national planning policies and the development plan for the area which comprises the London Plan and the Camden Core Strategy adopted in 2010, together with various Supplementary Planning Guidance.

03-01 NATIONAL PLANNING POLICY

1. PPS1: Delivering Sustainable Development General Policy, sets out the over arching planning policies on the delivery of sustainable development through the planning system, emphasising the key role that planning can play in the creation of sustainable communities.

2. Paragraph 5 states that:

- “planning should facilitate and promote sustainable and inclusive pattern of urban and rural development by:
- ...protecting and enhancing the natural and historic environment, the quality and character of the countryside, and existing communities, and;
- ensuring high quality design through good and inclusive design and the efficient use of resources.

3. PPS1 goes on to discuss the role of design to positively contribute to making places better for people through ensuring that a place functions well and contributes to the overall character and quality of the area, not just for the short term but for the lifetime of the development.

4. Policy HE7.2 of PPS5 (Planning for the Historic Environment) states that in considering the impact of a proposal on any heritage asset, local planning authorities should take into account the particular nature of the significance of the heritage asset and the value that it holds for this and future generations. This understanding should be used by the local planning authority to avoid or minimize conflict between the heritage asset’s conservation and any aspect of the proposals.

03-02 LONDON PLAN (2010)

1. The London Plan is the strategic plan setting out an integrated social, economic and environmental framework for the future development of London, looking forward 15–20 years.
2. While it is considered that the majority of policies contained within the Plan will not be relevant to this application, analysis of those that are has been carried out with regards to the proposal.
3. Policy 4B.12 states that Boroughs should ensure that the protection and enhancement of historic assets in London are based on an understanding of their special character, and form part of the wider design and urban improvement agenda.
4. Policy 4A.4 concentrates on sustainable energy and states that the Mayor will, and boroughs should, support the Mayor’s Energy Strategy and its objectives of improving energy efficiency and increasing the proportion of energy used to be generated from renewable sources.

03-03 CAMDEN CORE STRATEGY AND DEVELOPMENT

1. The Core Strategy was adopted, alongside the Development Policies, at the Full Council meeting on 8th November 2010.
2. Policies CS1 and DP5 illustrates the Council’s intention to create mixed and inclusive communities by securing a range of self-contained homes of different sizes, including the expectation of a large and small homes mix in all residential developments.
3. Policies CS11, DP16, DP18 and DP19 deal with the transport and parking implications of development proposals.
4. Policies CS13 and DP22 state that the Council will require all development to take measures to minimise the effects of, and adapt to, climate change and encourage all development to meet the highest feasible environmental standards that are financially viable during construction and occupation and states that proposals should ensure that developments use less energy.

5. Policies CS4 and specifically DP24 relates to securing high quality design. It requires that all developments, including alterations and extensions to existing buildings, to be of the highest design standard, considering:

- character, setting, context and form and scale of neighbouring buildings;
- character and proportions of the existing building;
- quality of materials;
- the provision of visually interesting frontages;
- the appropriate location for building services equipment;
- existing natural features, such as topography and trees;
- the provision of appropriate hard and soft landscaping including boundary treatments;
- the provision of appropriate amenity space; and
- accessibility.

6. Policies CS14 and DP 25 underscore the importance of promoting high quality place and conserving Camden’s Heritage – conservation areas as well as Listed buildings. Given that the subject site is located within the Belsize Park Conservation Area, we consider the relevant elements that need to be considered by the proposal:

- requiring development of the highest standard of design that respects local context and character
- preserving and enhancing Camden’s rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens;
- promoting high quality landscaping and works to streets and public spaces;
- take account of conservation area statements, appraisals and management plans when assessing applications within conservation areas;
- only permit development within conservation areas that preserves and enhances the character and appearance of the area;
- prevent the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area where this harms the character or appearance of the conservation area, unless exceptional circumstances are shown that outweigh the case for retention; and
- preserve trees and garden spaces which contribute to the character of a conservation area and which provide a setting for Camden’s architectural heritage.

7. Policy DP26 seeks to manage the impact of development on occupiers and neighbours. The factors to be considered include:
 - visual privacy and overlooking;
 - overshadowing and outlook;
 - sunlight, daylight and artificial light levels;
 - noise and vibration levels;
 - odour, fumes and dust;
 - microclimate;
 - the inclusion of appropriate attenuation measures;
 - an acceptable standard of accommodation (internal arrangements, dwelling and room sizes and amenity space);
 - facilities for the storage, recycling and disposal of waste;
 - facilities for bicycle storage; and
 - outdoor space for private or communal amenity space, wherever practical.

8. Policy DP27 acknowledges that there is a shortage of development land and high land values in the borough. Development of basements is becoming a way of gaining additional space in homes without having to relocate to larger premises. This policy helps to deliver this by setting out our detailed approach to basements and light wells:
 - maintain the structural stability of the building and neighbouring properties;
 - avoid cumulative impacts upon structural stability or the water environment in the local area;
 - harm the amenity of neighbours;
 - provide satisfactory landscaping, including adequate soil depth;
 - harm the appearance or setting of the property or the established character of the surrounding area;

04 DESIGN AND KEY PLANNING ISSUES

INTRODUCTION

- Planning permission is sought for the extension and alteration of an existing dwelling situated within the Belsize Park Conservation Area.
- The following are considered to be the key planning issues of the proposal:
 - Impact on Belsize Park Conservation Area
 - Layout
 - Scale
 - Landscaping
 - Neighbour's amenity: Overshadowing and Overlooking
 - Materials
 - Room Sizes and Amenity Areas
 - Archaeological Designation
 - Energy Efficiency

04-01 IMPACT ON BELSIZE PARK CONSERVATION AREA

1. Camden Council's Conservation Area and Design Team have prepared a Conservation Area Appraisal, the aim of which is to provide a clear indication of the Council's approach to the preservation and enhancement of the Belsize Park Conservation Area.

2. The statement divides Belsize area up into six areas, with Glenilla Road designated within the 4th sub-area named Glenloch; which a reference to the developer of this cluster of houses with a similar Edwardian appearance and distinctly different from the typical Belisize villa style dominating the surrounding area.

3. To provide context, the appraisal describes Glenilla, Glenloch, Glenmore and Howitt Road as:

'The terraces are of similar design but show variations. All have three light, two storey bays and dormers and utilise render and white painted timber frames to provide contrast..... The elevations give strong rhythm and consistency to the terrace except where this is interrupted by inappropriate alteration. Many front doors still have stained glass of Art Nouveau design. The plots are small with tiny rear gardens and narrow frontages.'

4. Whilst it is acknowledged that there are some significant heritage assets within the surrounding area, it is not anticipated that these will be in any way compromised by the proposal.



Fig16. Aerial Photograph of the Proposal Site

Source: Google Maps Online

5. There are no Listed Buildings near to the site and the proposal will therefore have no impact on any listed property.

6. Similarly, the proposal will have no adverse impact upon the street scenes along Glenilla Road due to the setting, topography and surrounding buildings. The setting of the properties is illustrated in Figures 7-9 & 16.

7. Although the impact of the proposal is considered to be moderate, the applicant has ensured that the materials used to create the improvements will be entirely consistent with those currently used and evident within the area wherever possible. This is discussed further within the Materials section.

8. The front facade which presents a public face to Glenilla Road is preserved through a renovation of the elevation and all architectural features are to re-decorated. Window replacements will match the original in detailing and finish to further enhance the character of the building. The basement extension is carefully designed to have very little impact on the front elevation.

9. The preservation of the character of the Belsize Park Conservation Area has been a priority throughout the design development.

10. It is therefore considered that the proposal preserves the character and appearance of the Conservation Area and as such, is in accordance with the relevant planning policies and their objectives.

04-02 LAYOUT

1. The proposal seeks to alter and extend the existing layout to provide improved living space and better quality of natural light to enter the property.
2. In order to facilitate this, it is proposed to extend the dwelling to the north at Ground Floor level with a discreet single storey extension and re-arrange the internal layout. The proposed glazed section to the extension would allow more natural light to penetrate into the heart of the property, significantly enhancing the quality of the living accommodation. A permanent planted 'green' sedum roof is proposed over the small roof side of the extension.
3. The basement enlargement is linked to the ground floor and provides new bedroom space with natural light provided through a discreet front and rear light well areas. At the rear garden a narrow strip of bridge link is proposed to ensure that basement rooms would be flooded with daylight.
4. Minor alterations are proposed to the street elevation.
5. The ground floor flat has been completely re-designed to maximise the amount of living space that benefits from natural daylight and sunlight. Rooms and spaces that are used less frequently, or where a good quantity and quality of natural light is less important are relocated to the new basement level of the property.
6. The back garden hard-standing will be removed to enable improved landscaping works. A new lawn and landscaping will constructed over a permeable/soak-away substrate.
7. The new front and back garden light well areas and garden will provide adequate amenity space for a family dwelling.

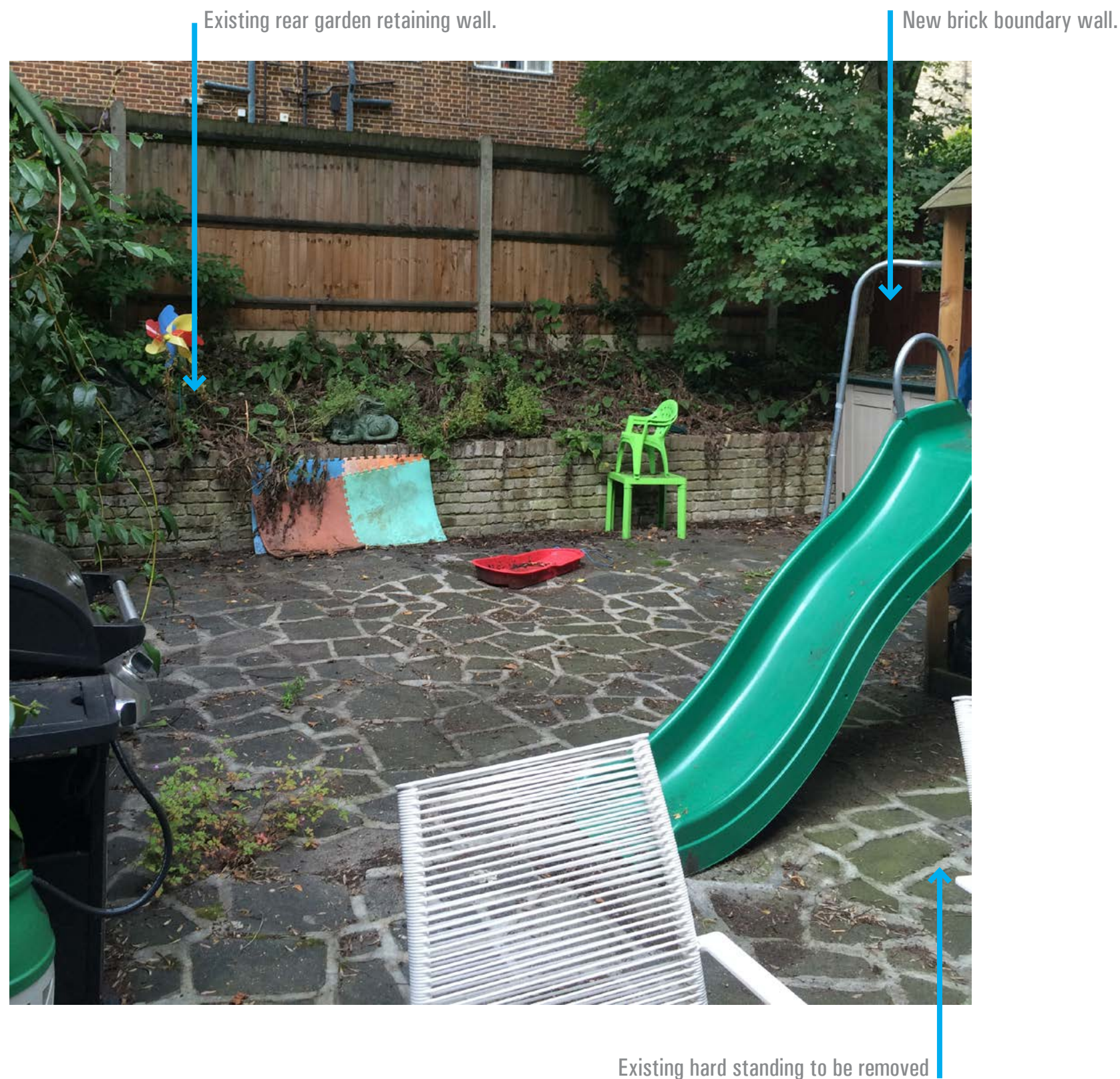


Fig17. Rear elevation

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04-03 SCALE

1. The modest extension to the rear elevation of the property is approximately 3.8 metres from the current rear elevation and in line with the existing extension, see Fig17. The width of the extension is less than the width of the property, the flank wall adjacent to No 32 Belsize Avenue steps back from the boundary and the approximate width is 6.3 meters.
2. The proposed alterations would not result in any increase in height, the proposed single storey rear extension will sit more comfortably along the parent building. The dormer alterations are subordinate both in height and width to the principal building and neighbouring properties. The proposal as a whole is a continuation of the small scale but discreet changes that can be noted along the rear elevations of properties within the Glenloch Area.
3. The size of the rear extension and length of the rear garden was crucial in determining the acceptable depth of a rear extension. The rear extension would not result in a significant loss of amenity or garden space.
4. The form of the extensions and materials used will enhance the original building and adjacent properties to create a cohesive whole and to make a positive contribution to the character of the area.
5. The solid-to-void ratio and proportions of the doors and other openings are sympathetic to the original building. The dormer alignment and opening divisions to the rear extension are derived from the existing roof dormer layout and offers a unity to the rear elevation.
6. Whilst there will be a slight increase in the depth of the property footprint in comparison to the adjacent properties, it is not considered that this will be detrimental or overbearing given the subtlety of the alterations. The additional depth is still in-line or less than the adjacent projections to No's 1-15 along Glenilla Road. The property will be largely hidden from view due to the topography, boundary planting and adjacent dwellings.
7. The proposal is designed to respect the existing character and building both in terms of scale and material use. Alterations to the rear would not be visible from the public domain and will not be a dominant feature on the rear elevation propose an ordered and balanced composition to the rear facade.



04-04 LANDSCAPING

1. Landscaping improvements are to be prepared by a qualified Landscape Architect. The intention is to provide a welcome aesthetic benefit to the site.
2. Whilst it is acknowledged that some of the back garden space will be lost as a result of the proposal, the hard-standing to the south-east boundary would be removed to compensate for this loss. A garden is to be designed by a landscape architect, which will provide an enhanced amenity and recreation area. This will compliment the rear extension and the site's boundary areas.
3. Trees: None of the trees at the site will be affected as a result of the proposal and please refer to the Arboricultural Report as compiled by Tim Moya Associates.

04-05 NEIGHBOUR'S AMENITY: OVERSHADOWING AND OVERLOOKING

1. The proposal has been carefully designed to ensure there is no adverse impact on the amenities of the neighbours.

Daylight

- There would be no impact on daylight to neighbouring properties.

Sunlight

- There would be no impact on sunlight to neighbouring properties.

Privacy

- The issue of privacy has been carefully considered during the design development to ensure that there is no adverse impact on adjacent properties as a result of the proposal.
- There is no increase of 'field of view' or no issue of adverse impact relating to overlooking and the neighbours's privacy with respect to the use of their gardens is preserved.

2. Due to the location of the property and there being no increase in the height of the building, neighbouring properties will not be overshadowed as a result of the proposal.

Sunlight / daylight exposure to adjacent properties will be unaffected, while the configuration of the proposal and the introduction of a glass roof significantly improve the natural lighting conditions of the existing dwelling.

Fig18. Existing back garden view

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04-06 MATERIALS

The limited nature of the proposals, relative to scale and presence to the existing building, means that the actual impact on the view either of the front or rear facade would be minimal. In addition we consider that the choice of durable materials and general design will compliment the existing building.

1. The proposed materials have been chosen to either replicate or compliment the existing and adjacent properties wherever possible.
2. The windows will be painted timber framed units with double glazing and additional care will be taken to install replica windows that are similar in detailing, style and material to those evident at the existing property.
3. The painted timber frame doors will be double glazing units and will be of high quality in design and durability.

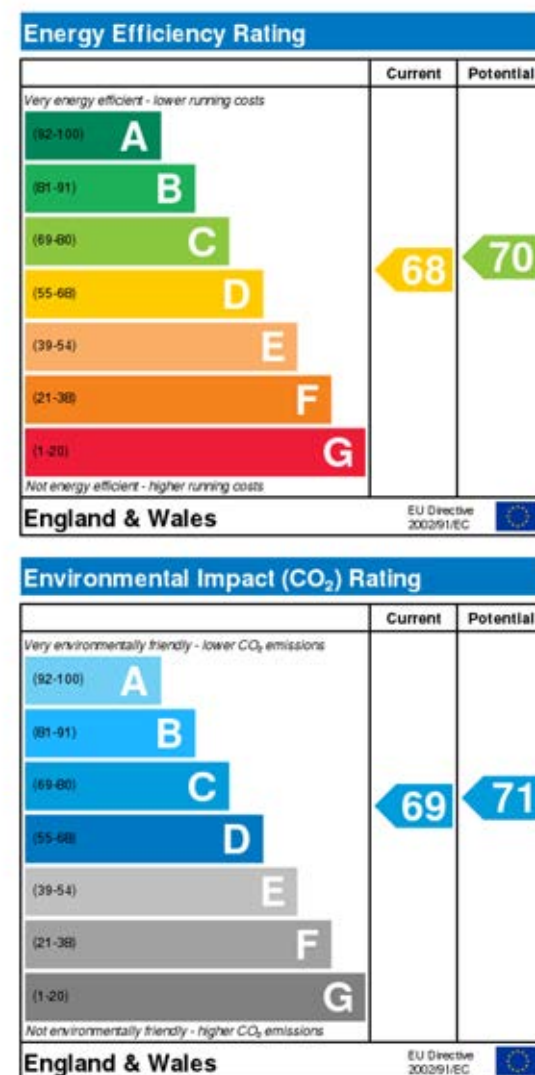
Restoration and renovation of the property will improve the appearance of the existing building, enhancing its designation as a positive contributor and as a consequence the character and appearance of the surrounding conservation area.

04-07 ROOM SIZES AND AMENITY AREAS

The proposal has given full regard to the residential development standards for room sizes and amenity areas that are contained in Camden's Planning Guidance document.

04-08 ARCHEOLOGICAL DESIGNATION

Given the nature of the proposal (extension and alterations to an existing building) it is not considered that there will be a disturbance to any artefacts and as such, will respect the objectives of the sites' archaeological designation.



04-09 ENERGY EFFICIENCY/SUSTAINABILITY

1. A key objective of the proposal is to increase the amount of natural daylight and sunlight that is received by key habitable rooms within the property. In its current configuration, the building suffers from its design and location as part of a mid-terrace house along a row of properties, which results in minimal daylight and sunlight entering the building, particularly from the north-west.

2. The alterations to the building will enable more daylight and sunlight to enter via the new areas of glazing. On the ground floor the greatest benefit would be to the new family room, dining area and kitchen, which are the rooms in which people generally spend the majority of their time during the day. The new bedrooms offer a better layout and facilities for a family dwelling.

3. As a result, it is anticipated that there will be a reduced need for internal lighting to be used to light these areas during daylight hours, resulting in a more energy efficient dwelling.

4. The applicant is taking the opportunity to enhance the sustainability of the property and as part of the proposed building works, improvements are to be made to the thermal performance of the existing building fabric. The result of these measures is a huge reduction in carbon dioxide emissions arising from space heating and a significant reduction in energy usage.

5. The existing dwelling has moderate insulation qualities at present and new, high performance insulation would be installed between joist, below at basement and ground floor slab with underfloor heating and measures will be taken to improve the 'air-tightness' of the building.

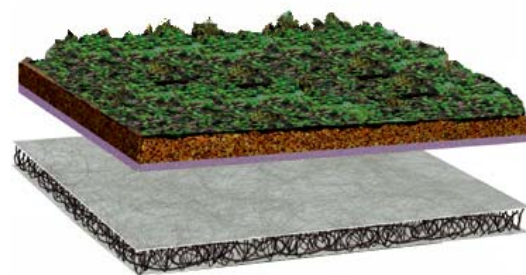
6. The u-value/thermal performance of the new double glazed windows and rear extension will be significantly better than the existing elements which would be replaced.

Fig19. Current energy efficiency rating of the ground floor flat.



1-2 DEGREES – TOTALLY FLAT ROOF

Planted primarily for aesthetic and ecological reasons, the Bauder Xero Flor XF301 is our highly successful sedum blanket which features sedums specifically selected to flourish in our climate. The multifunctional sedum blanket offers a labour efficient installation as it combines the vegetation support layer with a moisture retention fleece, providing the perfect base for all roofing scenarios. The pre-attached fleece is a unique feature of the Bauder sedum blanket as it retains moisture after rainfall, allowing plants time to take up the water for future storage.



Bauder XF301 Sedum Blanket is a pre-cultivated vegetation blanket on a patented nylon loop and geo-textile base carrier with special substrate and a pre-attached has an integral 8mm moisture retention fleece.

Bauder SDF Mat is a multifunctional drainage, filtration and protection layer manufactured from ultraviolet resistant nylon woven loops which are thermally bonded to geo-textile filter fleece facings.

Developed in partnership with Xero Flor, this Bauder Sedum Blanket provides a lightweight 'instant' green solution. Grown in the United Kingdom since 1997, allows us to use a blend of sedum varieties that are ideally suited to our local climate. We harvest and deliver our blankets to site for installation within 24 hours.

When to Specify

When an established vegetation finish is required for instant greening then the use of the pre-cultivated sedum blanket offers a fast and reliable solution. In addition the Sedum Blanket is designed so that once it has become established it will maintain itself, requiring minimal maintenance when irrigated to meet the needs of the specific roof depending on pitch, climate and the location of the building.

05 ACCESS

05-01 PEDESTRIAN AND VEHICULAR ACCESS

1. Due to the limited nature of the proposals means that the status on access remains unchanged to the property. Pedestrian access to the property will remain unchanged.
2. Access to the bin storage area is improved and a designated storage space is created at the front entrance area to support a selection of waste storage and recycling.
3. Emphasis to the Ground Floor entrance layout to make it legible and relates well to the street/car parking area.

05-02 DISABLED ACCESS

Consideration has been given throughout the design process to improve disabled accessibility.

Fig20. Proposed planted sedum 'green' over single storey rear extension roof as supplied by www.bauder.co.uk or equivalent.

06 SUMMARY AND CONCLUSION

1. The application site currently receives very little natural daylight and sunlight to the ground floor rear area due to its position as a mid-terrace house and configuration of the property.

2. The proposal opens up an area on the north side of the dwelling to allow natural daylight and sunlight into the habitable rooms on this side of the property. Without adversely affecting the character and appearance of the Conservation Area or reducing privacy/increasing overlooking. The introduction of new areas of glazing will also provide a substantial benefit to the occupants.

3. The proposal has been designed with great care in ensuring that the scheme is sensitive to and respectful of its surroundings, ensuring that the overall impact to the property is kept to a minimum to enhance the character and appearance of the Conservation Area. Similarly, the palette of materials has been taken from existing elements and high quality contemporary design to enable the proposal to blend harmoniously with the surrounding area.

4. The proposal constitutes of minor and acceptable modifications to the property within the context of the site that do not affect the setting of the building in the conservation area. The use of sympathetic materials, sensitive design considerations and the means in which the mass and form of the proposal have maintained a proper and supportive relationship to the existing building.

5. The scheme has been planned to ensure that no overlooking or overshadowing will result from the improvements. Similarly, the scheme was planned to ensure that the design does not reduce the amount of light or privacy enjoyed by adjacent properties.

6. With regard to landscaping, no trees will be lost as a result of the proposal and a net gain will be achieved in terms of the overall landscape.

7. As a result, the proposal will improve the aesthetics of the site, as well as the sustainability and amenity of the property whilst respecting the overall setting of the site and the Conservation Area designation.

8. We therefore conclude that the proposal meets with the policies and objectives at local, regional and national levels and commend the proposal to the Council.

07 APPENDIX 1 - APPLICATION DRAWINGS

Dwg	Title
E001	EXISTING BASEMENT & GROUND FLOOR PLAN
E002	EXISTING ROOF PLAN
E021	EXISTING FRONT & REAR ELEVATIONS
E031	EXISTING SECTION A-A
E032	EXISTING SECTION B-B
P000	LOCATION PLAN & SITE PLAN
P001	PROPOSED BASEMENT & GROUND FLOOR PLAN
P002	PROPOSED ROOF PLAN
P021	PROPOSED FRONT & REAR ELEVATIONS
P031	PROPOSED SECTION A-A
P032	PROPOSED SECTION B-B