

## THE LONDON BOROUGH OF CAMDEN

PLANNING (LISTED BUILDINGS AND CONSERVATION AREAS) ACT 1990  
(AS AMENDED)

## LISTED BUILDING ENFORCEMENT NOTICE

OF **12 Great James Street**  
**London**  
**WC1N 3DP**

1. **THIS IS A FORMAL NOTICE**, which is issued by the Council being the Local Planning Authority for the purposes of Section 38 of the above Act because it appears to them that there has been a contravention of Section 8 of the Act, in respect of the building within a conservation area described below. The Council considers it necessary to issue this notice for the reasons set out in paragraph 4 below.

2. **THE LISTED BUILDING.**

**Land at: 12 Great James Street, London, WC1N 3DP**

as shown, for the purposes of identification only, outlined in black on the attached plan.

3. **THE CONTRAVENTION ALLEGED**

Without listed building consent:

1) The unauthorised removal of the single paned double hung timber sash window units including timber sash, sash boxes and architraves.

2) The unauthorised installation of double glazed timber sash windows, window boxes and associated joinery.

4. **REASONS FOR ISSUING THIS NOTICE**

a) The work outlined above has been carried out to this Grade II\* listed building without the benefit of Listed Building Consent

b) The slim-line double glazed sash windows by reason of their detailed design and method of assembly and construction would be detrimental to the special architectural and historic interest of the grade II\* listed building contrary to UDP policies CS14 (Promoting high quality places and

**Council reference: EN12/0891**

conserving our heritage) and DP25 (Conserving Camden's heritage) as well as English Heritage 'London Terrace Houses 1660-1860' and 'Timber sash windows' guidance.

**5. WHAT YOU ARE REQUIRED TO DO**

**The Listed Building Enforcement Notice shall require that within a period of three months of the notice taking effect, that:**

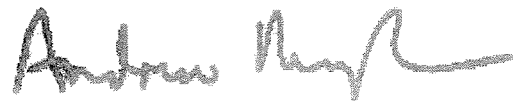
- 1) The replacement six over six timber sash windows to each floor level at 12 Great James Street, London, WC1N 3DP London shall be removed.
- 2) The former one over one double hung timber sash windows which were in place prior to the existing windows shall be reinstated.
- 3) If the existing windows cannot be reinstated new windows shall be installed to either:
  - a) Match the existing windows shown on drawings ref: 423/115P1; 423/119 P1; 423/121 P1. The details including materials, dimensions and profile can be seen at 11 Great James Street. or;
  - b) Match the size, design and location of the windows approved as part of listed building consent approved on 23/03/2011 (ref: 2011/0357/L) shown on drawings ref: 423/116 P1; 423/120 P1; 423/122 P2; 0039\_ALL\_ELEV\_A

**Compliance due date: 26 May 2013**

**6. WHEN THIS NOTICE TAKES EFFECT**

This notice takes effect on **26 February 2013**, unless an appeal is made against it beforehand.

**DATED: 15 January 2013**

Signed.....  


Head of Legal Services, on behalf of the London Borough of Camden, Town Hall, Judd Street, London WC1H 9LP.

**THIS LISTED BUILDING ENFORCEMENT NOTICE HAS BEEN SERVED ON:**

1.	The Owner/Occupier 12 Great James Street London WC1N 3DP
2.	Elliot Paul Reeve 12 Great James Street London WC1N 3DR
3.	Barclays Bank Plc P.O. Box 187 Leeds LS11 1AN [Registered Charge to Elliot Paul Reeve in relation to 12 Great James Street, London WC1N 3DR dated 5 January 2012]

If you believe that there is someone else who should be served or any of those listed above has not received a copy of the notice or any other document please let that person and the Council know of this omission as soon as possible.

**EXPLANATORY NOTE**

**YOUR RIGHT OF APPEAL**

You can appeal against this notice, but any appeal must be received, or posted in time to be received, by the Secretary of State by **26 February 2013**.

- (a) Send a copy of your appeal to the Secretary of State if you decide to appeal, together with a copy of this enforcement notice.
- (b) Send a second copy of the appeal form and notice to the Council at:

**Planning Services  
Culture and Environment Department  
London Borough of Camden  
Town hall  
Argyle Street  
London WC1H 8EQ**

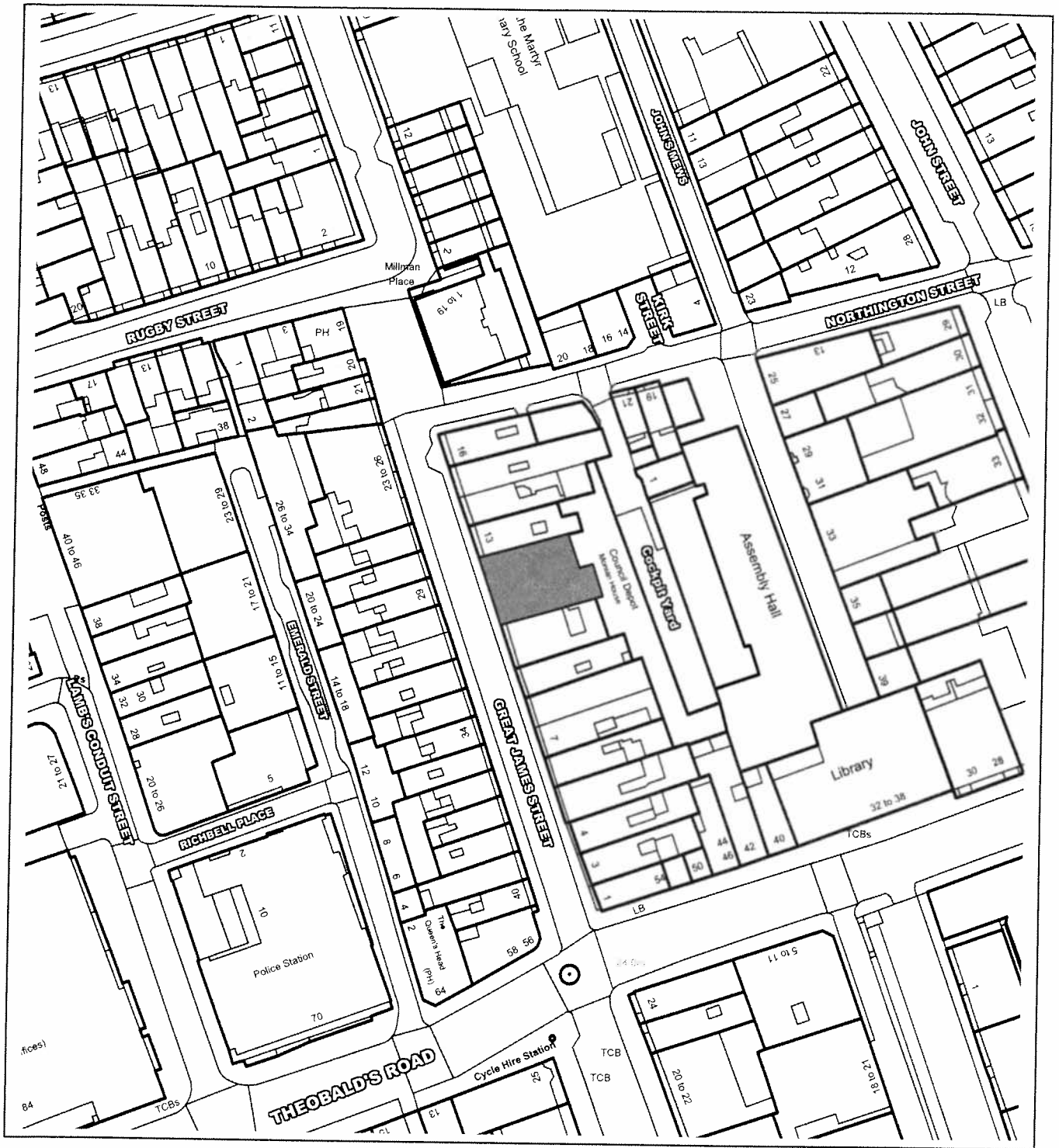
Alternatively you can submit an appeal online at <http://www.planningportal.gov.uk/planning/appeals/online/makeanappeal..> Please note that a separate appeal form must be completed for each individual person or organisation.

**Council reference: EN12/0891**

## **WHAT HAPPENS IF YOU DO NOT APPEAL**

If you do not appeal against this listed building enforcement notice, it will take effect on **26 February 2013**, and you must then ensure that the required steps for complying with it, for which you may be held responsible, are taken within the period specified in the notice. Failure to comply with a listed building enforcement notice, which has taken effect, can result in prosecution and/or remedial action by the Council.

# 12 Great James Street, London WC1N 3DP

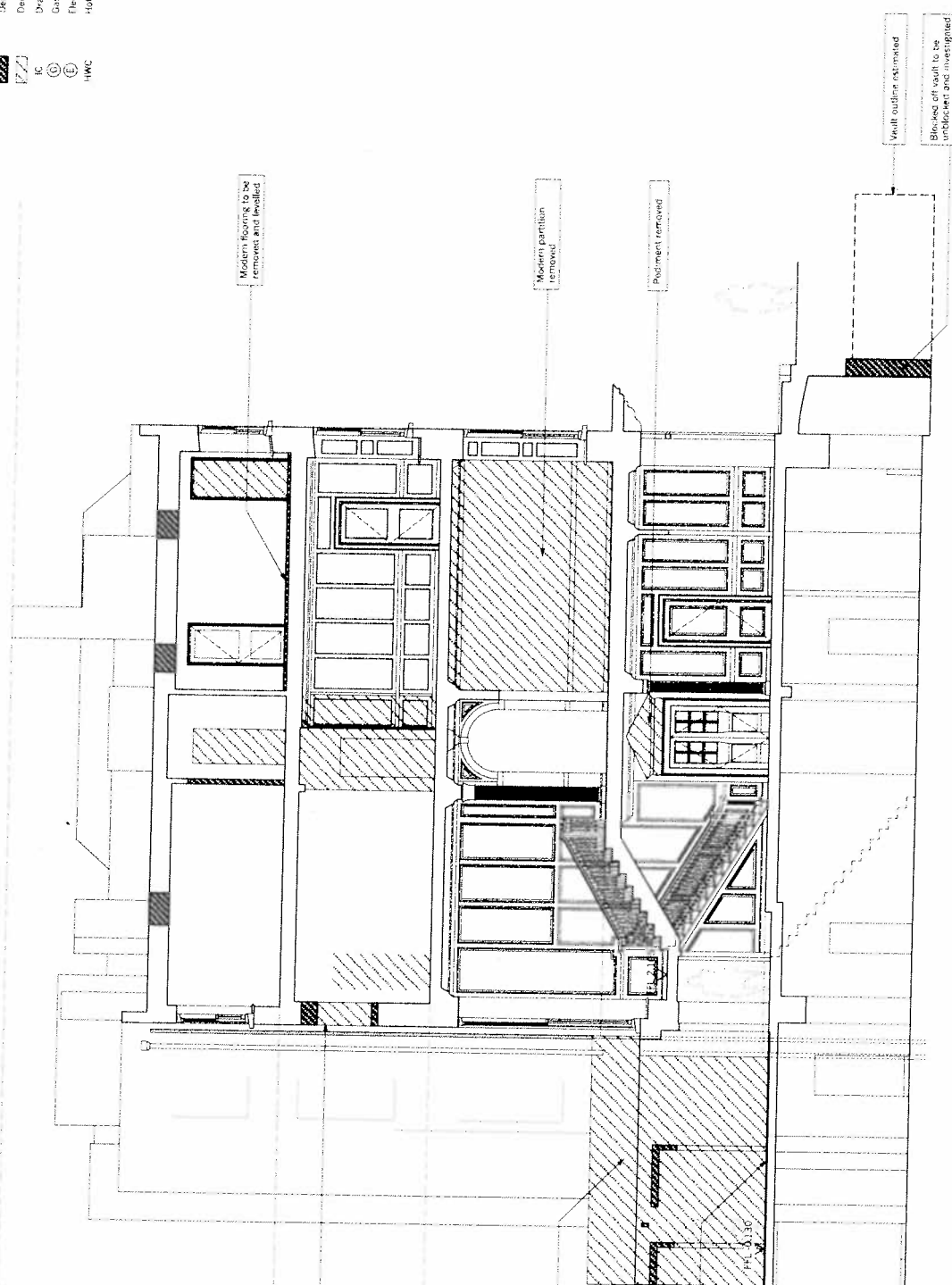


This material has been reproduced from Ordnance Survey digital map data with the permission of the controller of Her Majesty's Stationery Office, © Crown Copyright.



LEGEND

- SVP Soil vent pipe
- RWP Rainwater pipe
- RWD Rainwater outlet
- SWSW Stairs up
- Proposed work
- Make good brickwork where wall demolished
- Probable lost direction
- Assumed pool direction
- Demolition in plan/section
- Demolition in elevation
- Drainage inspection chamber
- Gas meter
- Electricity meter
- Hot water cylinder



Modern flooring to be removed and installed

Modern partition removed

Plaster removed

Vault outline estimated

Brickwork of vault to be unblocked and investigated

Window to be replaced with suitable sash window

Glazed roof to be removed

Floor finishes to be removed

FFL Third 10.545

FFL Second 7.275

FFL First 3.520

FFL Ground 0.000

FFL Ground -3.215

Boundary line



**MEASURED SURVEY SHOWS ALL WALLS AS PERPENDICULAR BUT IN FACT THEY ARE NOT. CHECK ALL CRITICAL DIMENSIONS AND ANGLES ON SITE.**

11-17 DEAR JAMES STREET  
 MANUS ARCHITECTS  
 SECTION B-B  
 1:50 @ A1  
 423/ 115 P1  
 DATE 2007

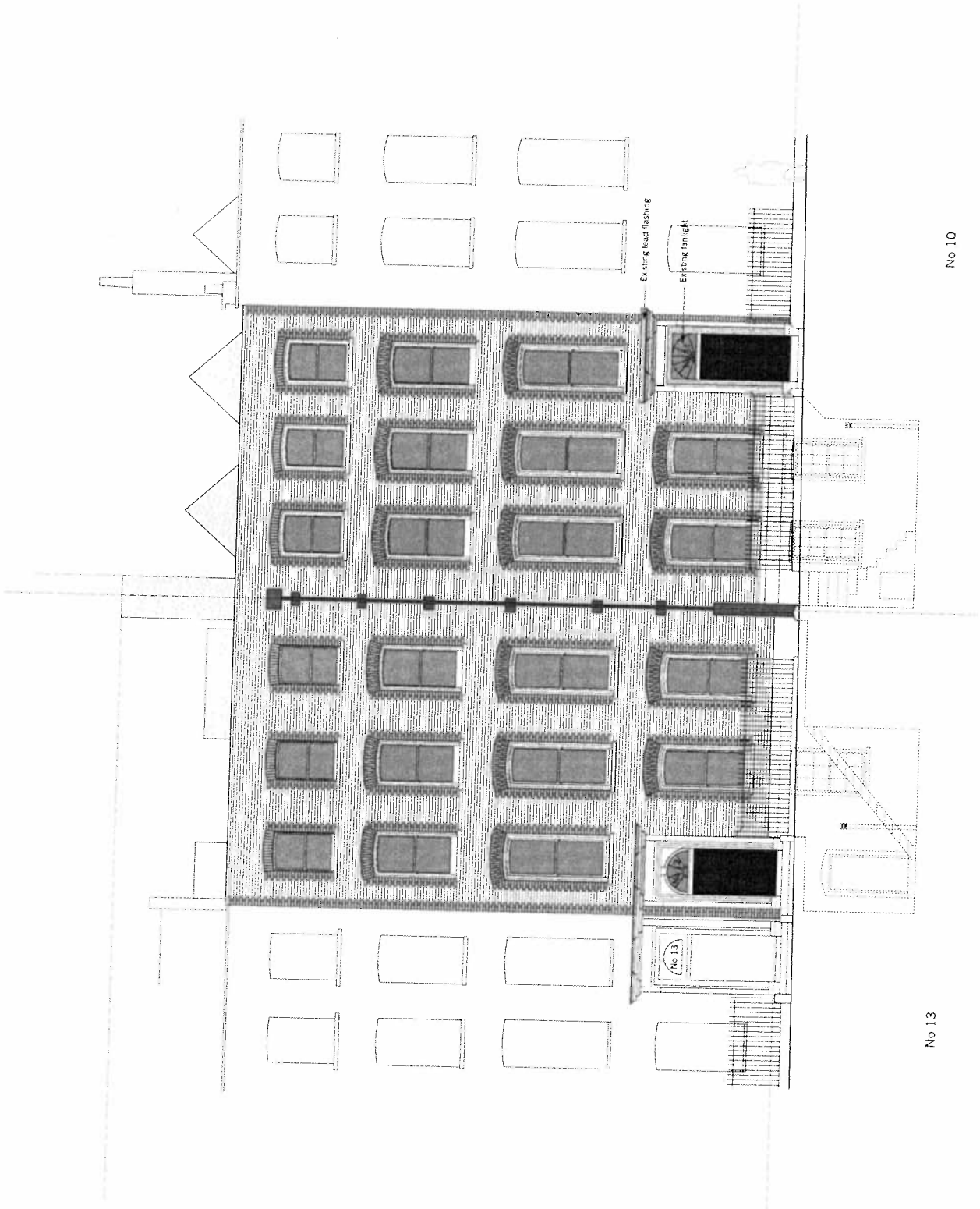




**LEGEND**

- SVP Soil vent pipe
- RWP Rainwater pipe
- RWO Rainwater outlet
- Stairs up
- Proposed work
- Mark: good brickwork where wall demolished
- Probable joint direction
- Assumed joint direction
- Demolition in plan/section
- Demolition in elevation
- Drainage inspection chamber
- Gas meter
- Electricity meter
- Hot water cylinder

- SWP
- RWP
- RWO
- Stairs up
- Proposed work
- Mark: good brickwork where wall demolished
- Probable joint direction
- Assumed joint direction
- Demolition in plan/section
- Demolition in elevation
- Drainage inspection chamber
- Gas meter
- Electricity meter
- RWC



No 13

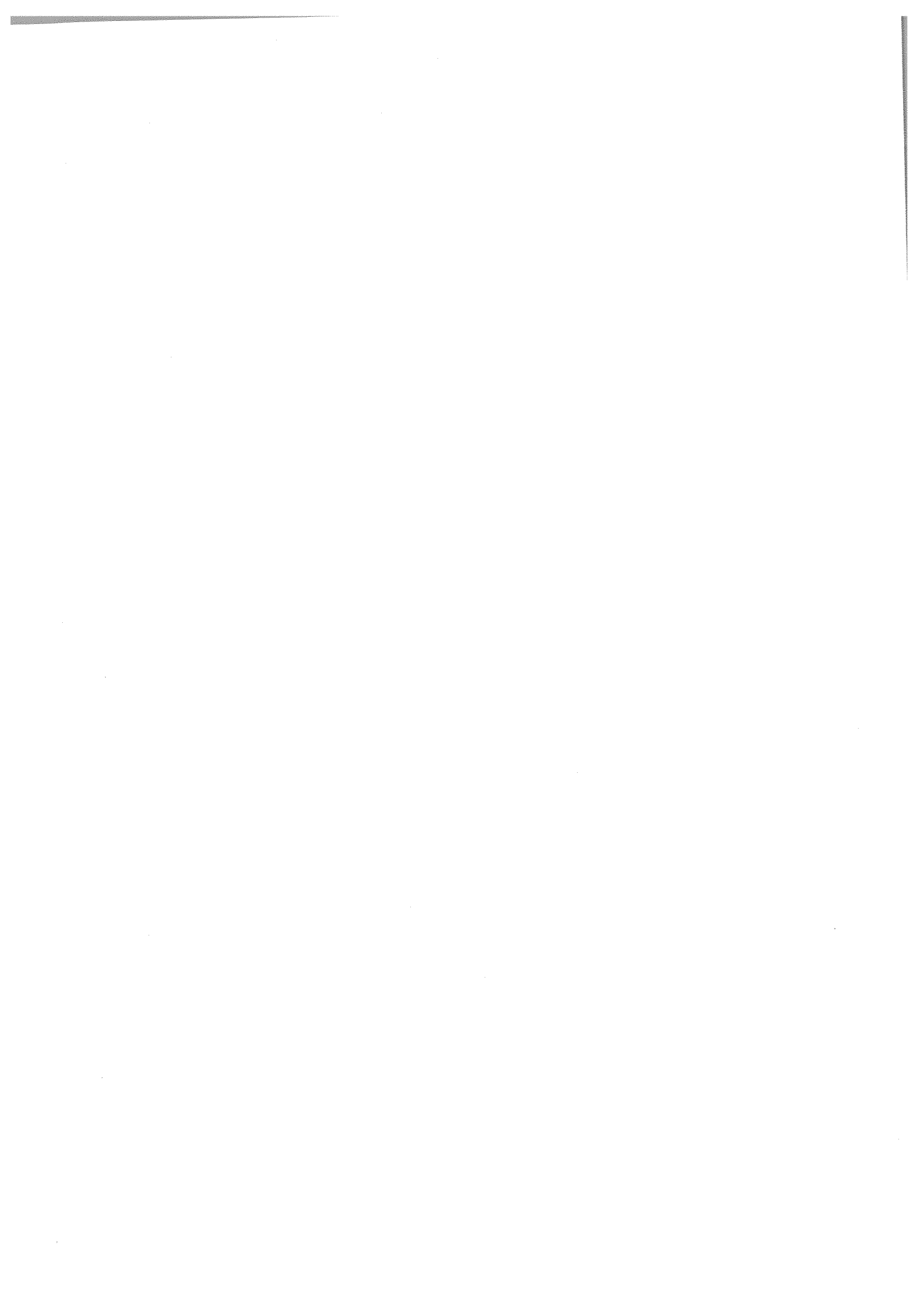
No 10



**MEASURED SURVEY SHOWS ALL WALLS AS PERPENDICULAR BUT IN FACT THEY ARE NOT. CHECK ALL CRITICAL DIMENSIONS AND ANGLES ON SITE.**

MARKUS REALT ARCHITECTS  
 1117 GREAT JAMES STREET  
 NEW P1 28 FIVE 08 JEROME COLLEGE  
 MARKUS REALT ARCHITECTS  
 1117 GREAT JAMES STREET  
 NEW P1 28 FIVE 08 JEROME COLLEGE  
 Phone: +64 (0) 21 846 4141  
 Fax: +64 (0) 21 846 2595  
 Email: [markus@markusrealty.co.nz](mailto:markus@markusrealty.co.nz)  
 www.markusrealty.co.nz

FRONT ELEVATION	EXISTING
1:50	423/ 119 P1
1:50	423/ 119 P1



LEGEND

- SVP Soil vent pipe
- RWP Rainwater pipe
- RWC Rainwater outlet
- Stairs up
- Proposed work
- Missive good brickwork where wall demolished
- Probable post direction
- Assumed post direction
- Demolition in slab/section
- Demolition in elevation
- Drainage inspection chamber
- Gas meter
- Electricity meter
- Hot water cylinder



**MEASURED SURVEY SHOWS ALL WALLS AS PERPENDICULAR BUT IN FACT THEY ARE NOT. CHECK ALL CRITICAL DIMENSIONS AND ANGLES ON SITE.**

1177 GREAT JAMES STREET  
 WARRINGTON, CHESHIRE WA9 9JG  
 01925 836441  
 www.marcusarchitects.co.uk

MARCUS ARCHITECTS

REAR ELEVATION EXISTING

Scale: 1:50 @ A2  
 Date: 2004

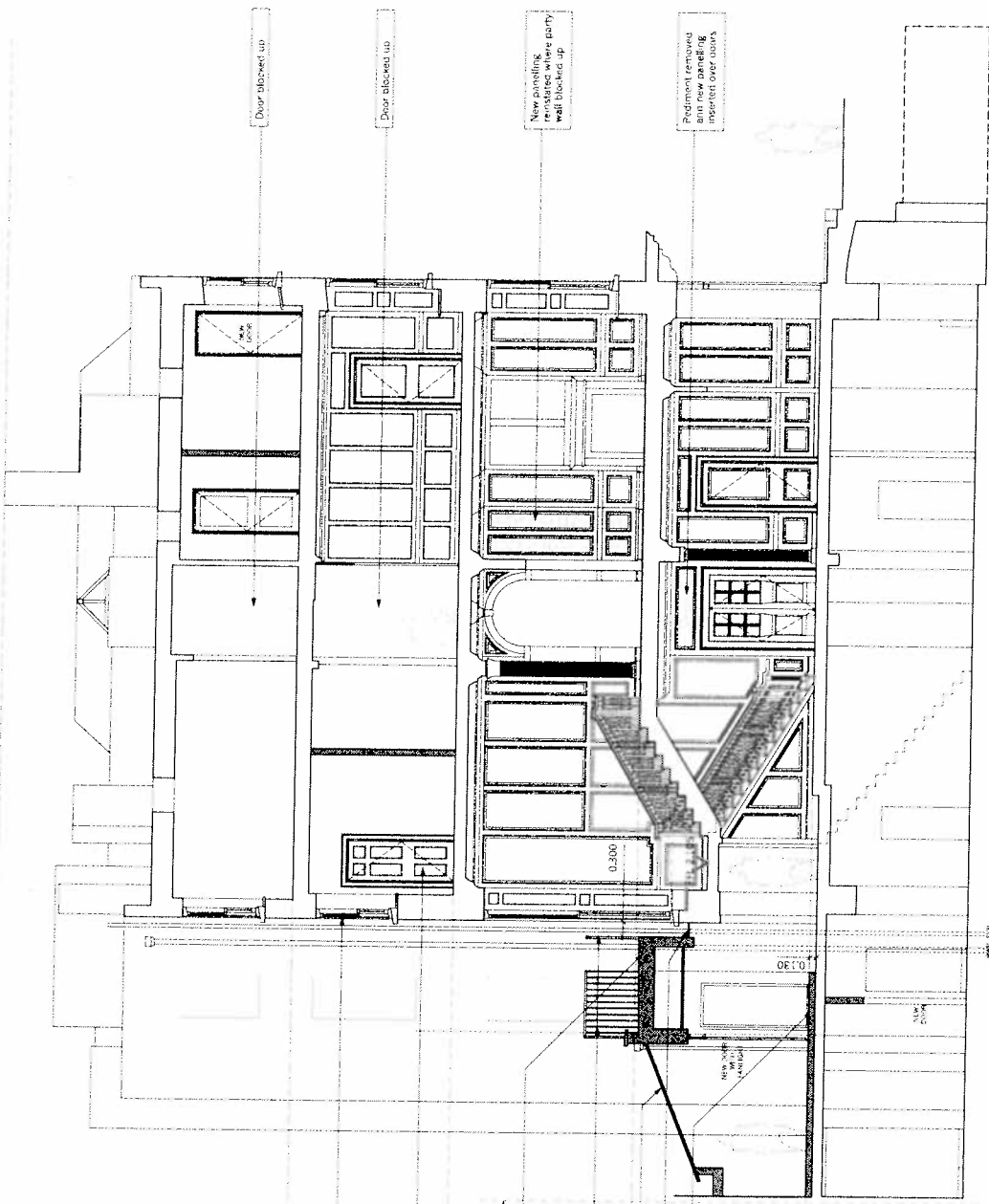
423/ 121 P1



LEGEND

- SVP Soil vent pipe
- RWP Rainwater pipe
- RWO Rainwater outlet
- Starts up
- Proposed work
- Make good brickwork where wall demolished
- Probable first direction
- Assumed first direction
- Demolition in situ/section
- Demolition in elevation
- Drainage inspection in/within
- Gas meter
- Electricity meter
- Hot water cylinder

APPROVED



FFL Inrd 10.545  
 FFL Second 7.275  
 Boundary line  
 FFL First 3.520  
 FFL Ground 0.000  
 FFL Ground -3.215

- New sash window
- Open up existing fixed shut door. New architrave
- New roof terrace
- New sashy handrails
- New plaster glazing
- Glazed strip
- New raised floor

Blocked off vault to be unblocked and investigated

**MEASURED SURVEY SHOWS ALL WALLS AS PERPENDICULAR BUT IN FACT THEY ARE NOT. CHECK ALL CRITICAL DIMENSIONS AND ANGLES ON SITE**

117 GREAT JAMES STREET  
 2nd FL, 2nd FLOOR, 2nd FLOOR, 2nd FLOOR

MASSIVE  
 REALT  
 ARCHITECTS

SECTION B-B  
 Scale: 1:100  
 Date: 12/11/16  
 Project: 423/116 P1

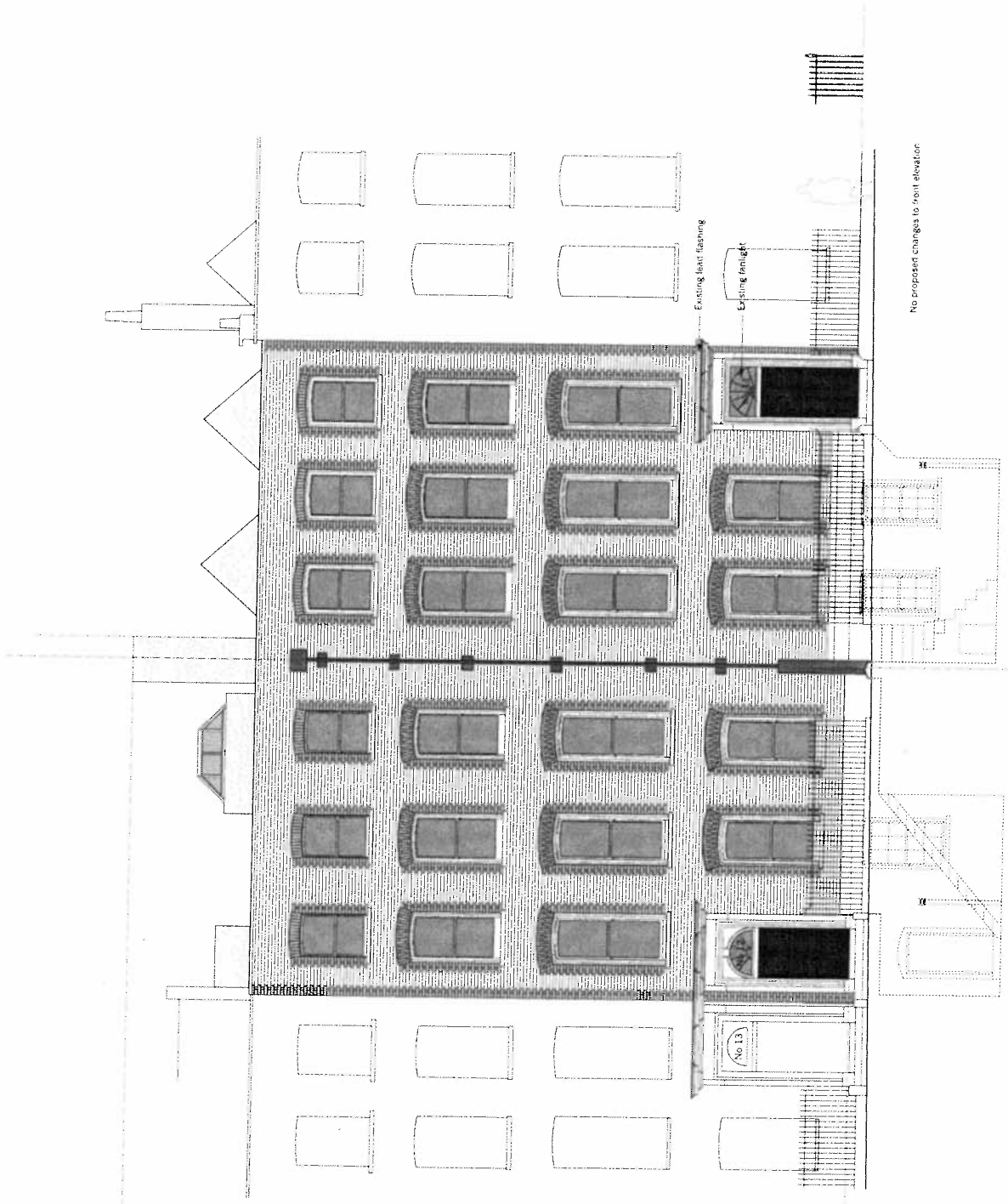
117 Great James Street  
 2nd Floor  
 Dublin 1  
 Tel: +353 (0) 1 574 2294  
 Email: massive@massive.ie  
 www.massive.ie



LEGEND

- SVP Soil vent pipe
- RWP Rainwater pan
- RWD Rainwater outlet
- Slans up
- Proposed work
- Make good brickwork where wall demolished
- Probable joint direction
- Assumed joint direction
- Demolition in plan/section
- Demolition in elevation
- Drainage inspection chamber
- Gas meter
- Electricity meter
- Hot water cylinder

APPROVED



No proposed changes to front elevation

No 13

No 10



MEASURED SURVEY SHOWS ALL WALLS AS PERPENDICULAR BUT IN FACT THEY ARE NOT. CHECK ALL CRITICAL DIMENSIONS AND ANGLES ON SITE.

M&S  
 ARCHITECTS  
 1115 GREAT JAMES STREET  
 BRISTOL  
 BS1 3PL  
 Tel: +44 (0) 1252 284673  
 Fax: +44 (0) 1252 284674  
 Email: info@msarchitects.co.uk  
 www.msarchitects.co.uk

DATE	DESCRIPTION
12/01/07	PROPOSED
12/01/07	423/ 120 P1

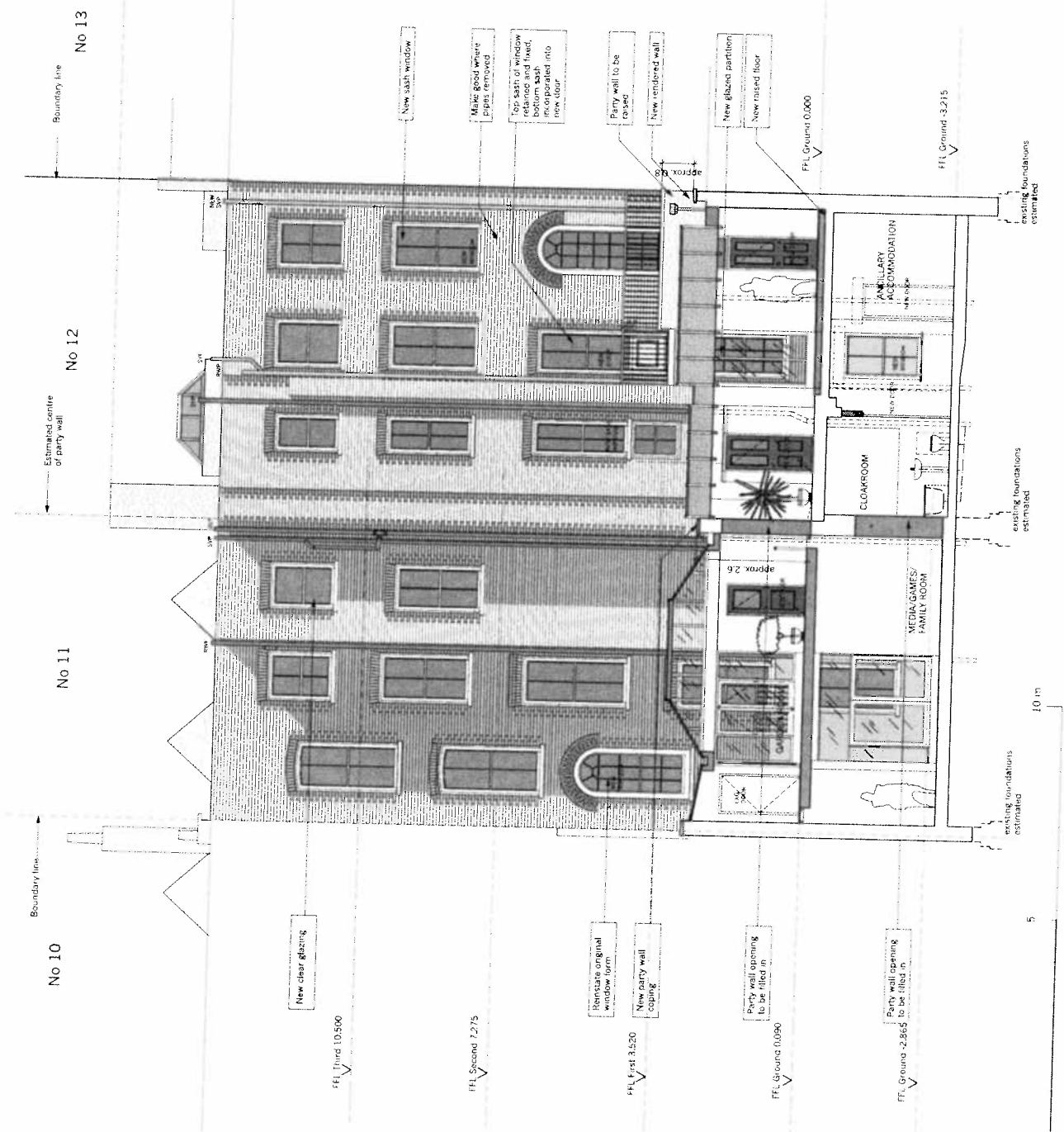




LEGEND

- SVP Seal vent pipe
- RWP Rainwater pipe
- RWO Rainwater outlet
- Stairs up
- Proposed work
- Make good brickwork where wall demolished
- Propable joint direction
- Assumed joint direction
- Demolition in plan/section
- Demolition in elevation
- Drainage inspection chamber
- Gas meter
- Electricity meter
- Hot water cylinder

**APPROVED**

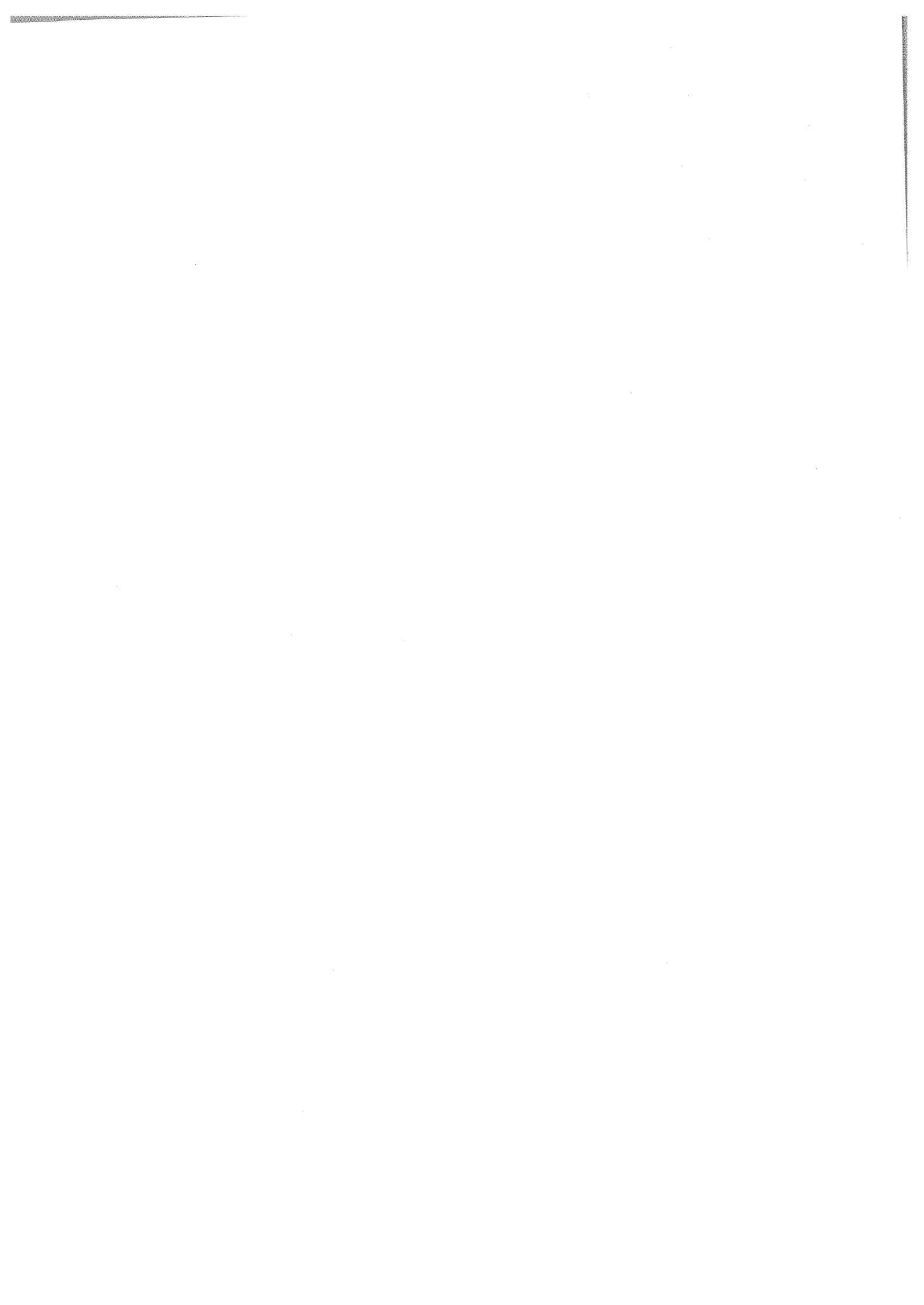


MEASURED SURVEY SHOWS ALL WALLS AS PERPENDICULAR BUT IN FACT THEY ARE NOT. CHECK ALL CRITICAL DIMENSIONS AND ANGLES ON SITE.

MAP: Computer Road  
 Whiston, Liverpool L34 7JQ  
 Phone: 0151 423 4243  
 Fax: 0151 423 4244  
 Email: info@mcshane.co.uk  
 www.mcshane.co.uk

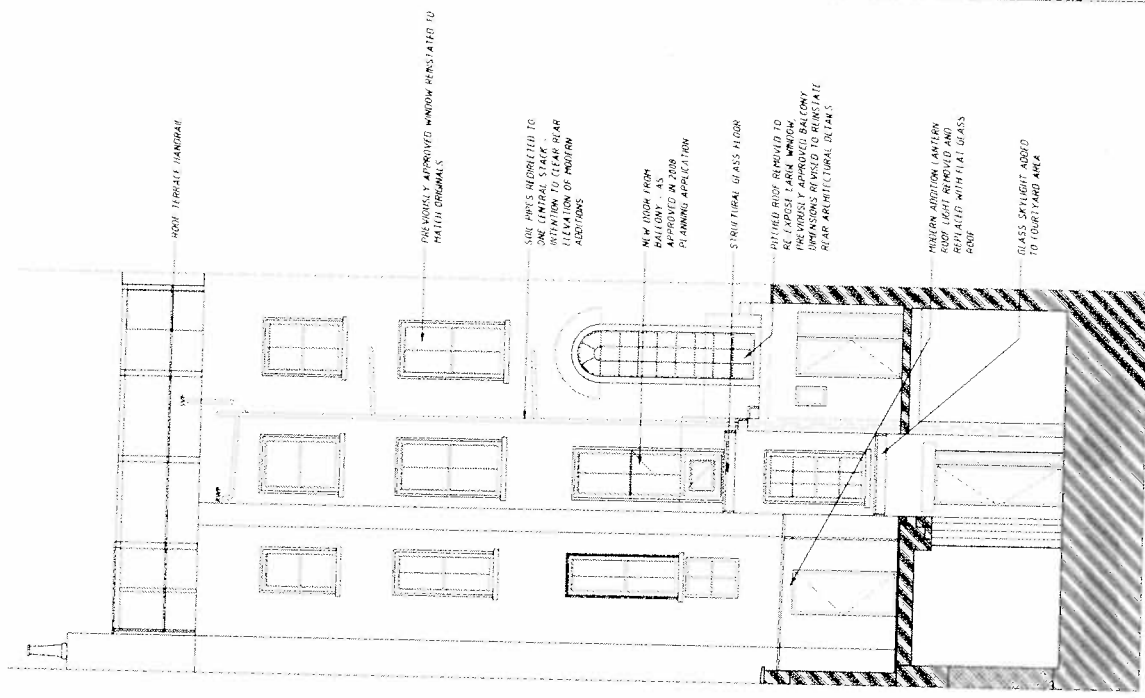
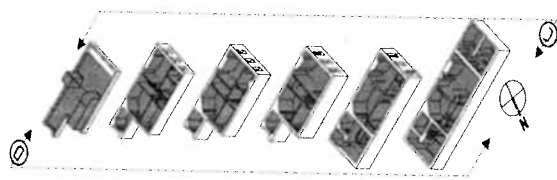
MARCOUS  
 SURVEILLANCE  
 1112 GREAT JAMES STREET  
 L3 9BA  
 Tel: 0151 423 1222

PROPOSED  
 REAR ELEVATION  
 423/ 122 P2



**DESIGN DEVELOPMENT**  
 SAVED DIMENSIONS TO JUNE PRESENT OVER THESE  
 ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE  
 COMMENCEMENT OF ANY WORK OR SHOP DRAWINGS  
 GENERAL DR TO SHOW OF SUSTAINABILITY OF MATERIALS  
 AND POSITION OF ALL SCHEDULED ITEMS  
 WITH REFERENCE FROM THESE DRAWINGS UNLESS MARKED  
 OTHERWISE BY CONSTRUCTION

AT PLAN



REAR ELEVATION

SCALE 1:50 | VIEW D-D

REAR ELEVATION FROM BALCONY REARRANGED TO PREVENT OBSTRUCTION IN THE MAIN FLIGHT AND WINDOW AT THE INTERNAL STAIR LANDING.



© 2010 Charter Projects Ltd.

A 170111 PLANNING SUBMISSION

REV. DATE. NOTES

12 Great James St  
 LONDON WC1N

**CHARTER PROJECTS**

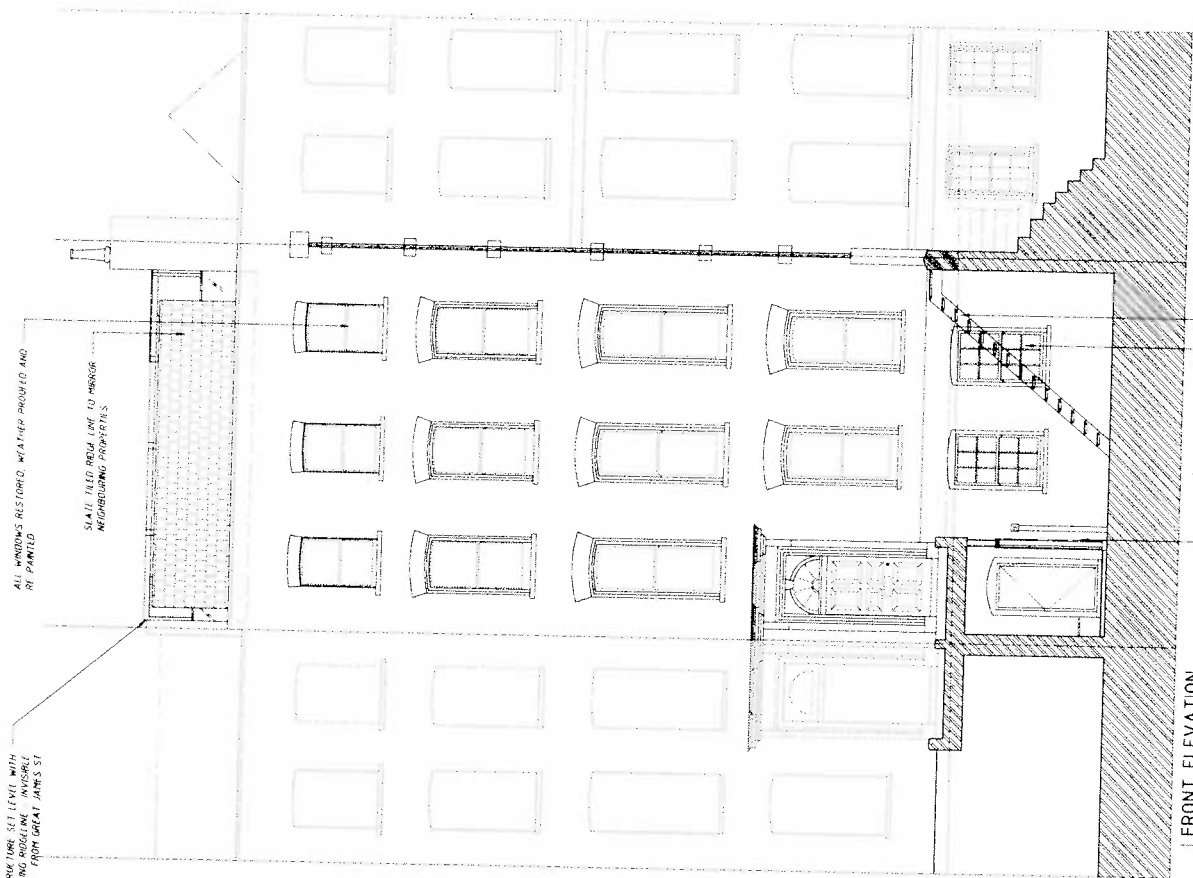
PROPOSED FRONT AND REAR ELEVATIONS

0039 ALL ELEV

BR 1:50 A1

A 170110 1 OF 1

0039\_ALL\_ELEV\_A



FRONT ELEVATION

SCALE 1:50 | VIEW C-C

FRONT ELEVATION SHOWS NEW ACCESS ARRANGEMENT TO THE BASEMENT AREA WITH NEW BRICK TO EXPOSE THE SECOND BASEMENT WINDOW. WINDOW REINFORCED AND WATERPROOFED TO PREVENT DAMP INGRESS.



Punjabi  
ਜ਼ਰੂਰੀ: ਇਹ ਫਾਰਮ ਸਾਡੇ ਕੋਲ ਭੇਜਣ ਲਈ ਖਾਸ ਮਿਆਦ ਹੈ। ਇਸ ਮਿਆਦ ਦਾ ਸਮਾਂ ਪੂਰਾ ਹੋ ਜਾਣ ਤੋਂ ਪਹਿਲਾਂ ਇਹ ਫਾਰਮ ਸਾਡੇ ਕੋਲ ਲਾਜ਼ਮੀ ਤੌਰ ਤੇ ਪਹੁੰਚ ਜਾਣਾ ਚਾਹੀਦਾ ਹੈ। ਜੇ ਤੁਹਾਨੂੰ ਇਹ ਫਾਰਮ ਭਰਨ ਲਈ ਮਦਦ ਦੀ ਲੋੜ ਹੈ, ਤਾਂ ਅਸੀਂ ਤੁਹਾਨੂੰ ਸੁਝਾਉਂਦੇ ਹਾਂ ਕਿ ਤੁਸੀਂ ਇਹਦੇ ਬਾਰੇ ਕਿਸੇ ਤੋਂ ਸਲਾਹ ਲਓ।

Gujarati  
મહત્વનું : અમને આ ફોર્મ મોકલવા માટે સમય મર્યાદા છે. આ સમય મર્યાદા પૂરી થાય તે પહેલાં અમને તે મળી જવું જ જોઈએ. જો તમને આ ફોર્મ ભરવા માટે મદદની જરૂર હોય તો અમે તમને સલાહ મેળવવાનું સૂચન કરીએ છીએ.

Hindi  
आवश्यक : इस फॉर्म को हमारे पास भिजवाने की एक समय-सीमा है। उस समय-सीमा के बीतने से पहले हमें यह फॉर्म अवश्य मिल जाना चाहिए। यदि आपको इस फॉर्म को भरने में सहायता चाहिए, तो हमारा सुझाव है कि आप किसी की सलाह लें।

Urdu  
اہم: اس فارم کو ہمیں بھیجنے کے لئے وقت کی ایک معیاد ہے۔ اس معیاد کے گزرنے سے پہلے پہلے ہمیں یہ لازمی طور پر مل جانا چاہیے۔ اگر اس فارم کو بھرنے میں آپ کو مدد کی ضرورت ہے تو ہماری رائے ہے کہ آپ مشورہ حاصل کریں۔

Bengali  
জরুরী: এই ফর্ম আমাদের কাছে পাঠানোর একটা সময়সীমা আছে। এই সময়সীমা শেষ হবার আগেই এটা অবশ্যই আমাদের কাছে পৌঁছাতে হবে। এই ফর্ম পূরণ করায় যদি আপনার সাহায্যের দরকার হয় তাহলে আমাদের পুস্তাব, কারো পরামর্শ নিন।

Chinese  
重要通知: 把這份表格寄回給我們是有時間限制的。我們必須在時限過期之前收到這份表格。假若你需要別人幫助你填寫這份表格, 我們建議你尋求指導。

English  
IMPORTANT: There is a time limit for sending this form to us. We must receive it before the time expires. If you need help filling in this form, we suggest you get advice.

