

Council reference: EN12/0891

THE LONDON BOROUGH OF CAMDEN

PLANNING (LISTED BUILDINGS AND CONSERVATION AREAS) ACT 1990
(AS AMENDED)

LISTED BUILDING ENFORCEMENT NOTICE

OF 12 Great James Street
London
WC1N 3DP

1. **THIS IS A FORMAL NOTICE**, which is issued by the Council being the Local Planning Authority for the purposes of Section 38 of the above Act because it appears to them that there has been a contravention of Section 8 of the Act, in respect of the building within a conservation area described below. The Council considers it necessary to issue this notice for the reasons set out in paragraph 4 below.

2. **THE LISTED BUILDING.**

Land at: 12 Great James Street, London, WC1N 3DP

as shown, for the purposes of identification only, outlined in black on the attached plan.

3. **THE CONTRAVENTION ALLEGED**

Without listed building consent:

- 1) The unauthorised removal of the single paned double hung timber sash window units including timber sash, sash boxes and architraves.
- 2) The unauthorised installation of double glazed timber sash windows, window boxes and associated joinery.

4. **REASONS FOR ISSUING THIS NOTICE**

- a) The work outlined above has been carried out to this Grade II* listed building without the benefit of Listed Building Consent
- b) The slim-line double glazed sash windows by reason of their detailed design and method of assembly and construction would be detrimental to the special architectural and historic interest of the grade II* listed building contrary to UDP policies CS14 (Promoting high quality places and

conserving our heritage) and DP25 (Conserving Camden's heritage) as well as English Heritage 'London Terrace Houses 1660-1860' and 'Timber sash windows' guidance.

5. WHAT YOU ARE REQUIRED TO DO

The Listed Building Enforcement Notice shall require that within a period of three months of the notice taking effect, that:

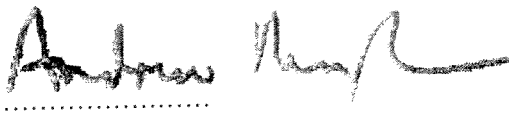
- 1) The replacement six over six timber sash windows to each floor level at 12 Great James Street, London, WC1N 3DP London shall be removed.
- 2) The former one over one double hung timber sash windows which were in place prior to the existing windows shall be reinstated.
- 3) If the existing windows cannot be reinstated new windows shall be installed to either:
 - a) Match the existing windows shown on drawings ref: 423/115P1; 423/119 P1; 423/121 P1. The details including materials, dimensions and profile can be seen at 11 Great James Street. or;
 - b) Match the size, design and location of the windows approved as part of listed building consent approved on 23/03/2011 (ref: 2011/0357/L) shown on drawings ref: 423/116 P1; 423/120 P1; 423/122 P2; 0039_ALL_ELEV_A

Compliance due date: 26 May 2013

6. WHEN THIS NOTICE TAKES EFFECT

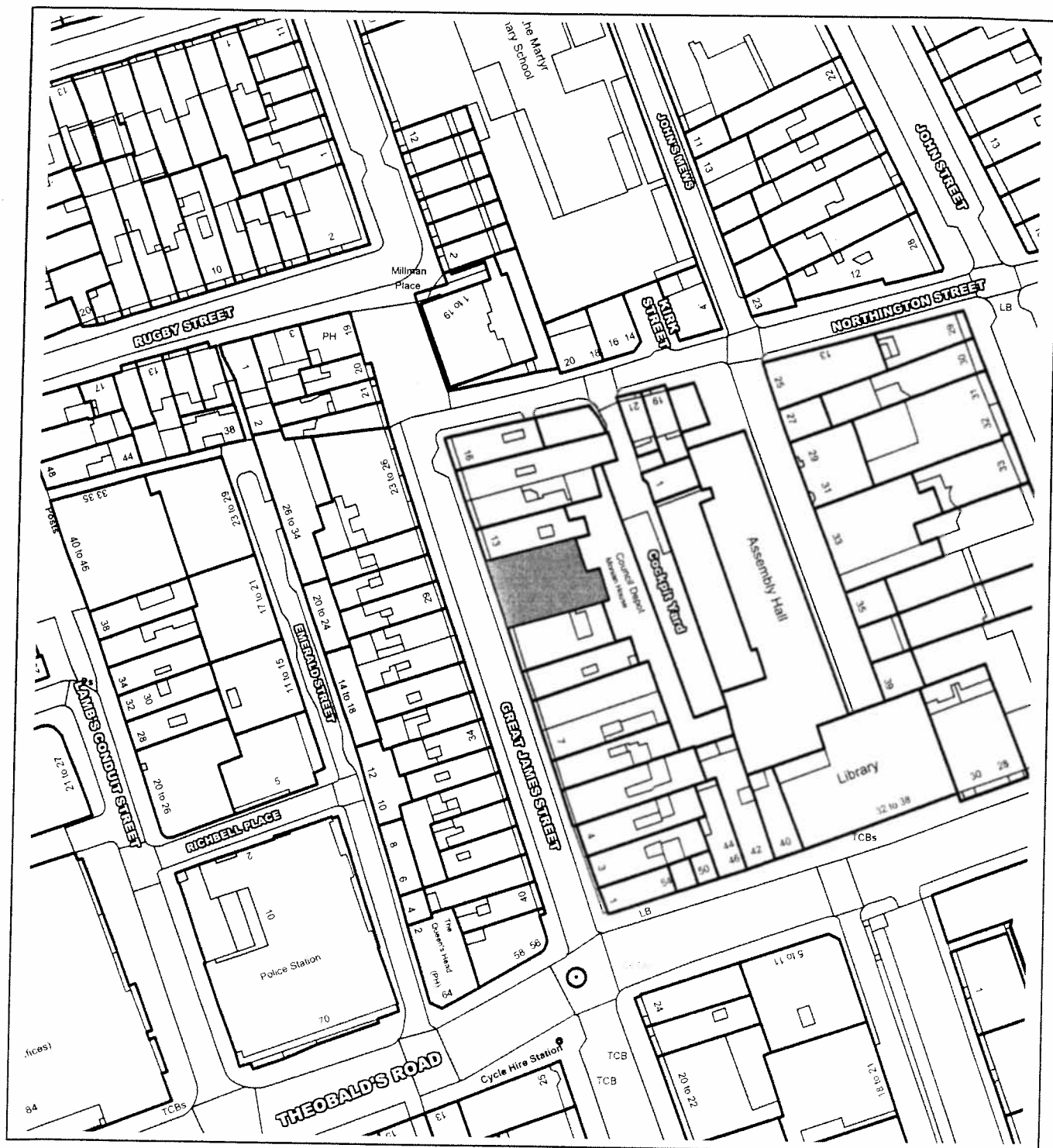
This notice takes effect on **26 February 2013**, unless an appeal is made against it beforehand.

DATED: 15 January 2013

Signed.....

Head of Legal Services, on behalf of the London Borough of Camden, Town Hall, Judd Street, London WC1H 9LP.

12 Great James Street, London WC1N 3DP



This material has been reproduced from Ordnance Survey digital map data with the permission of the controller of Her Majesty's Stationery Office, © Crown Copyright.



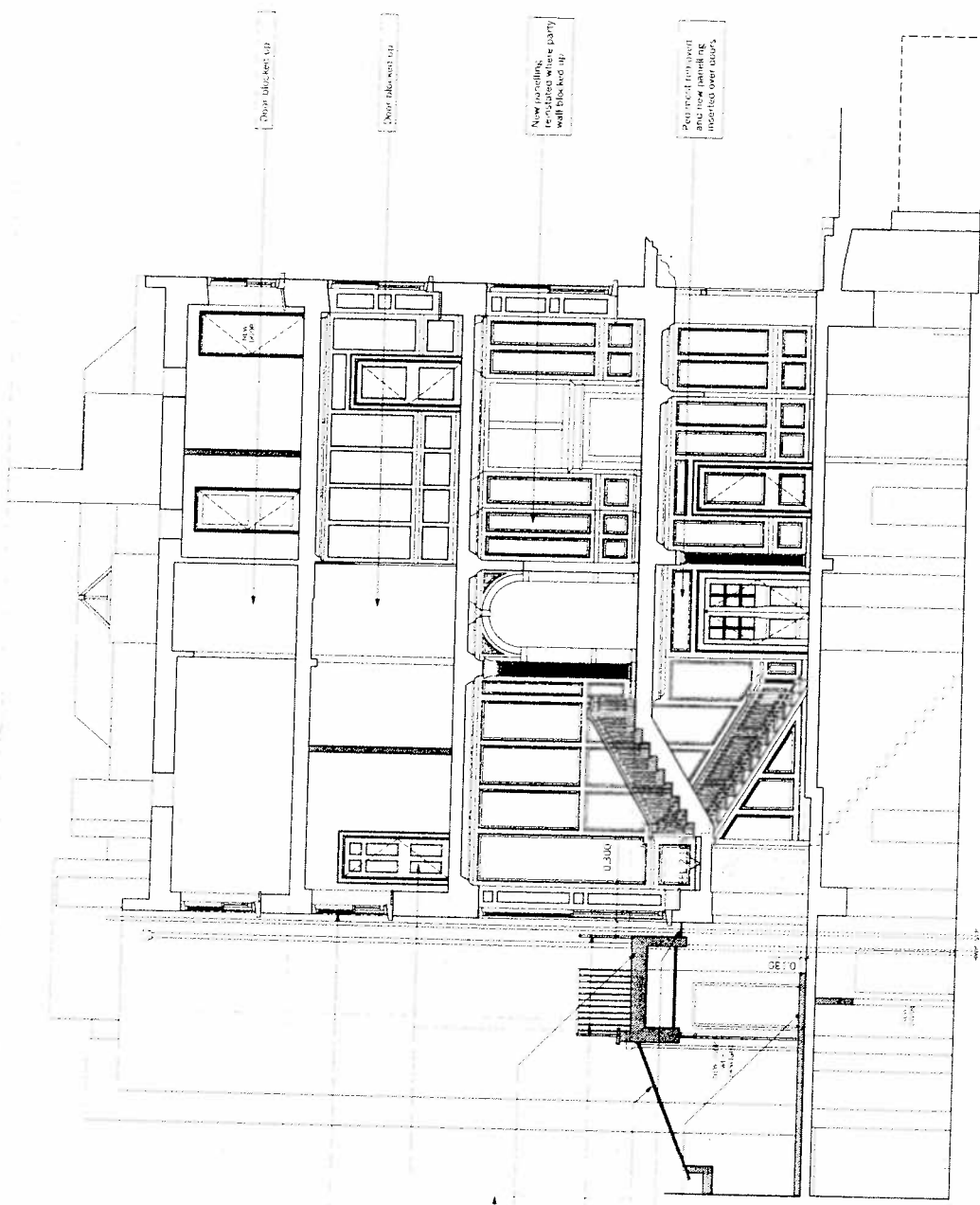
MEASURED SURVEY SHOWS ALL WALLS AS PERPENDICULAR BUT IN FACT THEY ARE NOT. CHECK ALL CRITICAL DIMENSIONS AND ANGLES ON SITE.

31-12 GREAT JAMES STREET
 FRONT ELEVATION
 423/ 119P1

LEGEND

- SVP Soil vent pipe
- RWP Rainwater pipe
- RWO Rainwater outlet
- Stairs up
- Projected work
- Make good for works where wall above 2500
- Probable post direction
- Assumed post direction
- Demolition in plan section
- Demolition in elevation
- Damage inspection chamber
- Gas meter
- Electricity meter
- Hot water cylinder

APPROVED



Dissect off wall to be
unobscured and investigated

5

10 m

9

MEASURED SURVEY SHOWS ALL WALLS AS PERPENDICULAR BUT IN FACT THEY
ARE NOT. CHECK ALL CRITICAL DIMENSIONS AND ANGLES ON SITE.

1112 GREAT JAMES STREET
SECTION B-B
PROPOSED
423/116 P1

LEGEND

- SUP Soil vent pipe
- RWP Rainwater pipe
- RWC Rainwater outlet
- Start up
- Proposed work
- Make good brickwork where wall joint is cut
- Proposed joint direction
- Assumed joint direction
- Demolition in plan section
- Demolition in elevation
- Drainage inspection chamber
- Gas meter
- Electricity meter
- Hot water cylinder

APPROVED



No 13

No 10

0 5 10 m

MEASURED SURVEY SHOWS ALL WALLS AS PERPENDICULAR BUT IN FACT THEY ARE NOT. CHECK ALL CRITICAL DIMENSIONS AND ANGLES ON SITE.

NAME: [Redacted]
 ADDRESS: [Redacted]
 PHONE: +44 (0) 1234 567890
 FAX: +44 (0) 1234 567890
 EMAIL: [Redacted]
 DATE: 10/10/2023

1112 GREAT JAMES STREET
 FRONT ELEVATION
 423/ 120 PJ

Soil vent pipe
Rainwater pipe
Rainwater outlet
Stairs up
Proposed work
Make good brickwork
Probable joint drain
Assumed joint drain
Demolition in place
Demolition in place
Drainage inspection
Gas meter
Electricity meter
Hot water cylinder

APPROVED



MEASURED SURVEY SHOWS ALL WALLS AS PERPENDICULAR BUT IN FACT THEY ARE NOT. CHECK ALL CRITICAL DIMENSIONS AND ANGLES ON SITE.

MAIL TO: KATHLEEN PUGH
 10000 WILSON AVE. #200
 WILSON, CA 94094-2709
 TEL: (415) 946-4444
 FAX: (415) 946-4444
 E-MAIL: KATHLEEN@KATHLEENPUGH.COM

MAIL TO:
 BLAIR
 1112 GRIFFIN AVE. #101
 PLEASANT HILL, CA 94523
 TEL: (925) 461-1222
 FAX: (925) 461-1222
 E-MAIL: BLAIR@BLAIRP2.COM

STATED DEPENDS UPON THE EFFECT OF THE
STAINING TO BE OBTAINED ON THE
COMPOSITION OF THE SAMPLES OF
CONCRETE TO BE STAINED. THE
LOCATION OF THE STAINING
AND POSITION OF ALL STAINING
NEVER HOLD THEM FROM STAINING. THE
APPROVED FOR THE STAINING.

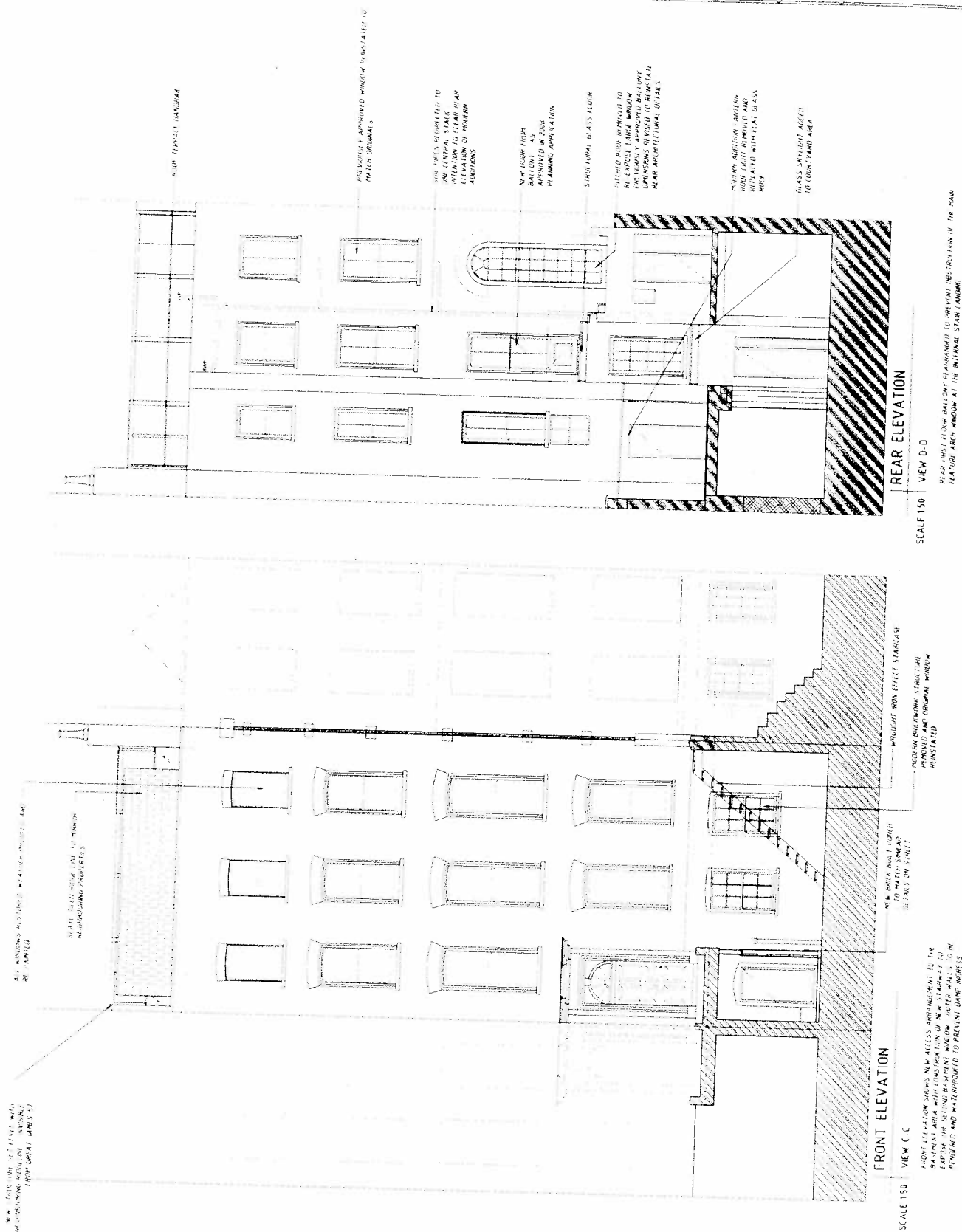
NOTES (147) SOLUTION



CHARTER
PROJECTS

0039 ALL ELEV A

1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 26



REAR ELEVATION

SCALE 150 VIEW 0-0

NEAR THE FLOOR BALCONY REARRANGED TO PREVENT OBSTRUCTION IN THE MAIN
FEATURE ARCH WINDOW AT THE INTERNAL STAIR LANDING.

FRONT ELEVATION

SCALE 150 : VIEW C-C

ROOF ELEVATION SHOWS NEW ACCESS ARRANGEMENT TO THE BASEMENT AREA WITH CONSTRUCTION OF NEW STAIRWAY TO ADJUST THE SECOND BASINMENT WINDOW LATER WALLS TO BE REINFORCED AND WATERPROOFED TO PREVENT DAMP INFEST.

WRIGHT RON EFFECT STARS AS

MODERN BLACK WOOD STRUCTURE
REMOVED AND ORIGINAL WINDING
REINSTALLED

NEW BIRTH CONTROL PROGRAM
FOR MATHS SIMILAR
BE TALKS ON SIMILAR

FRONT ELEVATION

SCALE 150 : VIEW C-C

ROOF ELEVATION SHOWS NEW ACCESS ARRANGEMENT TO THE BASEMENT AREA WITH CONSTRUCTION OF NEW STAIRWAY TO ADJUST THE SECOND BASINMENT WINDOW LATER WALLS TO BE REINFORCED AND WATERPROOFED TO PREVENT DAMP INFEST.

Punjabi
ਜ਼ਰੂਰੀ: ਇਹ ਫਾਰਮ ਸਾਡੇ ਕੋਲ ਭੇਜਣ ਲਈ ਖਾਸ ਮਿਆਦ ਹੈ। ਇਸ ਮਿਆਦ ਦਾ ਸਮਾਂ ਪੂਰਾ ਹੋ ਜਾਣ ਤੋਂ ਪਹਿਲਾਂ ਇਹ ਫਾਰਮ ਸਾਡੇ ਕੋਲ ਲਾਜ਼ਮੀ ਤੌਰ ਤੇ ਪਹੁੰਚ ਜਾਣਾ ਚਾਹੀਦਾ ਹੈ। ਜੇ ਤੁਹਾਨੂੰ ਇਹ ਫਾਰਮ ਭਰਨ ਲਈ ਮਦਦ ਦੀ ਲੋੜ ਹੈ, ਤਾਂ ਅਸੀਂ ਤੁਹਾਨੂੰ ਸੁਝਾਉਂਦੇ ਹਾਂ ਕਿ ਤੁਸੀਂ ਇਹਦੇ ਬਾਰੇ ਕਿਸੇ ਤੋਂ ਸਲਾਹ ਲਵੋ।

Gujarati
મહત્વનું : અમને આ ફોર્મ મોકલવા માટે સમય મર્યાદા છે. આ સમય મર્યાદા પૂરી થાય તે પહેલાં અમને તે મળી જવું જ જોઈએ. જો તમને આ ફોર્મ ભરવા માટે મદદની જરૂર હોય તો અમે તમને સલાહ મેળવવાનું સૂચન કરીએ છીએ.

Hindi
आवश्यक : इस फॉर्म को हमारे पास भिजवाने की एक समय-सीमा है। उस समय-सीमा के बीतने से पहले हमें यह फॉर्म अवश्य मिल जाना चाहिए। यदि आपको इस फॉर्म को भरने में सहायता चाहिए, तो हमारा सुझाव है कि आप किसी की सलाह लें।

Urdu
اہم: اس فارم کو ہمیں بھیجنے کے لئے وقت کی ایک معیار ہے۔ اس معیار کے گزرنے سے پہلے ہمیں یہ لازمی طور پر مل جانا چاہیے۔ اگر اس فارم کو بھرنے میں آپ کو مدد کی ضرورت ہے تو ہماری رائے ہے کہ آپ مشورہ حاصل کریں۔

Bengali
জরুরী: এই ফর্ম আমাদের কাছে পাঠানোর একটা সময়সীমা আছে। এই সময়সীমা শেষ হবার আগেই এটা অবশ্যই আমাদের কাছে পৌঁছাতে হবে। এই ফর্ম পূরণ করায় যদি আপনার সাহায্যের দরকার হয় তাহলে আমাদের পুস্তাব, কারো পরামর্শ নিন।

Chinese
重要通知: 把這份表格寄回給我們是有時間限制的。我們必須在時限過期之前收到這份表格。假若你需要別人幫助你填寫這份表格, 我們建議你尋求指導。

English
IMPORTANT: There is a time limit for sending this form to us. We must receive it before the time expires. If you need help filling in this form, we suggest you get advice.