

THE LONDON BOROUGH OF CAMDEN  
TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)  
ENFORCEMENT NOTICE

OF Flat 21  
40 St Pancras Way  
London  
NW1 0QX

1. **THIS IS A FORMAL NOTICE** which is issued by the Council because it appears to them that there has been a breach of planning control, under Section 171 A (1) (a) of the above Act, at the land described below. They consider that it is expedient to issue this notice, having regard to the provisions of the development plan and to other material planning considerations. The Explanatory Note at the end of the Notice and the enclosures to which it refers contain important additional information.

2. **THE LAND AFFECTED**

**Land at: Flat 21, 40 St Pancras Way, London NW1 0QX**

as shown, for the purposes of identification only, outlined in black on the attached plan.

3. **THE BREACH OF PLANNING CONTROL ALLEGED**

**Without Planning Permission:** The unauthorised change of use of 1x self contained flat from permanent residential accommodation (Class C3) to short-stay accommodation (Sui Generis).

4. **REASONS FOR ISSUING THIS NOTICE:**

- a) It appears to the Council that the above breach of planning control has occurred within the last 10 years:
- b) The use of the 1x self contained flat as short-stay accommodation, results in a loss of permanent housing in the borough, contrary to Core Strategy policy CS6 (Providing quality homes) and Development Policy DP2 (Making full use of Camden's capacity for housing) of the London Borough of Camden Local Development Framework 2010.

- c) The use of the unit for short term accommodation, by virtue of its transient nature, increase in noise and activity represents an inappropriate use that is having an adverse impact on the amenities of neighbouring occupiers contrary to Core Strategy policy CS5 (Managing the impact of growth and development) and Development Policy DP26 (Managing the impact of development on occupiers and neighbours) of the London Borough of Camden Local Development Framework 2010.

**The Council do not consider that planning permission should be given because planning conditions could not overcome these problems.**

5. **WHAT YOU ARE REQUIRED TO DO**

The Notice shall require that, within a period of **one month** of the Notice taking effect:

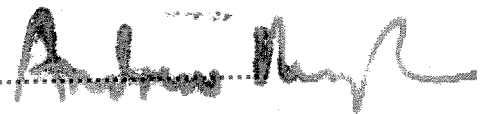
- 1) The use of the flat as short stay accommodation shall cease.
- 2) That all advertising and promotion of the property for the purposes of any form of short term accommodation shall cease

6. **WHEN THIS NOTICE TAKES EFFECT**

This notice takes effect on **16 September 2013** unless an appeal is made against it beforehand.

DATED: 5 August 2013

Signed.....



Head of Legal Services, on behalf of the London Borough of Camden, Town Hall, Judd Street, London WC1H 9LP.

**Note Pursuant to Regulation 5 of the Town and Country (Enforcement Notices and Appeals) (England) Regulations 2002**

If you appeal against the notice on Ground (a) "That planning permission should be granted for what is alleged in the enforcement notice, or that the condition which is alleged not to have been complied with should be discharged" there is a fee payable under Regulation 10 of the Town and Country Planning (Fees for Applications, Deemed Applications, Requests and Site Visits) (England) Regulations 2012/No.2920 for the deemed application for the planning permission for the development alleged to be in breach of planning control in the enforcement notice.

The fee is payable twice to the "London Borough of Camden", as the Local Planning Authority.

If you wish to appeal under Ground (a), the fee payable to the "London Borough of Camden" should accompany the copy of the appeal form sent to the Council at the following address:

**Culture and Environment Department, Planning Services, London Borough of Camden, Argyle Street, London WC1H 8EQ.**

The fee is £385.00.

**The TOTAL FEE payable is £770.00 (i.e. £385.00 x 2)**

**ANNEX**

**YOUR RIGHT OF APPEAL**

You can appeal against this notice, but any appeal must be received or posted in time to be received by the Secretary of State before **16 September 2013**.

- (a) Send a copy of your appeal to the Secretary of State if you decide to appeal, together with a copy of this enforcement notice.
- (b) Send a second copy of the appeal form and notice to the Council at:

**Planning Services  
Culture and Environment Department  
London Borough of Camden  
Town hall  
Argyle Street  
London WC1H 8EQ**

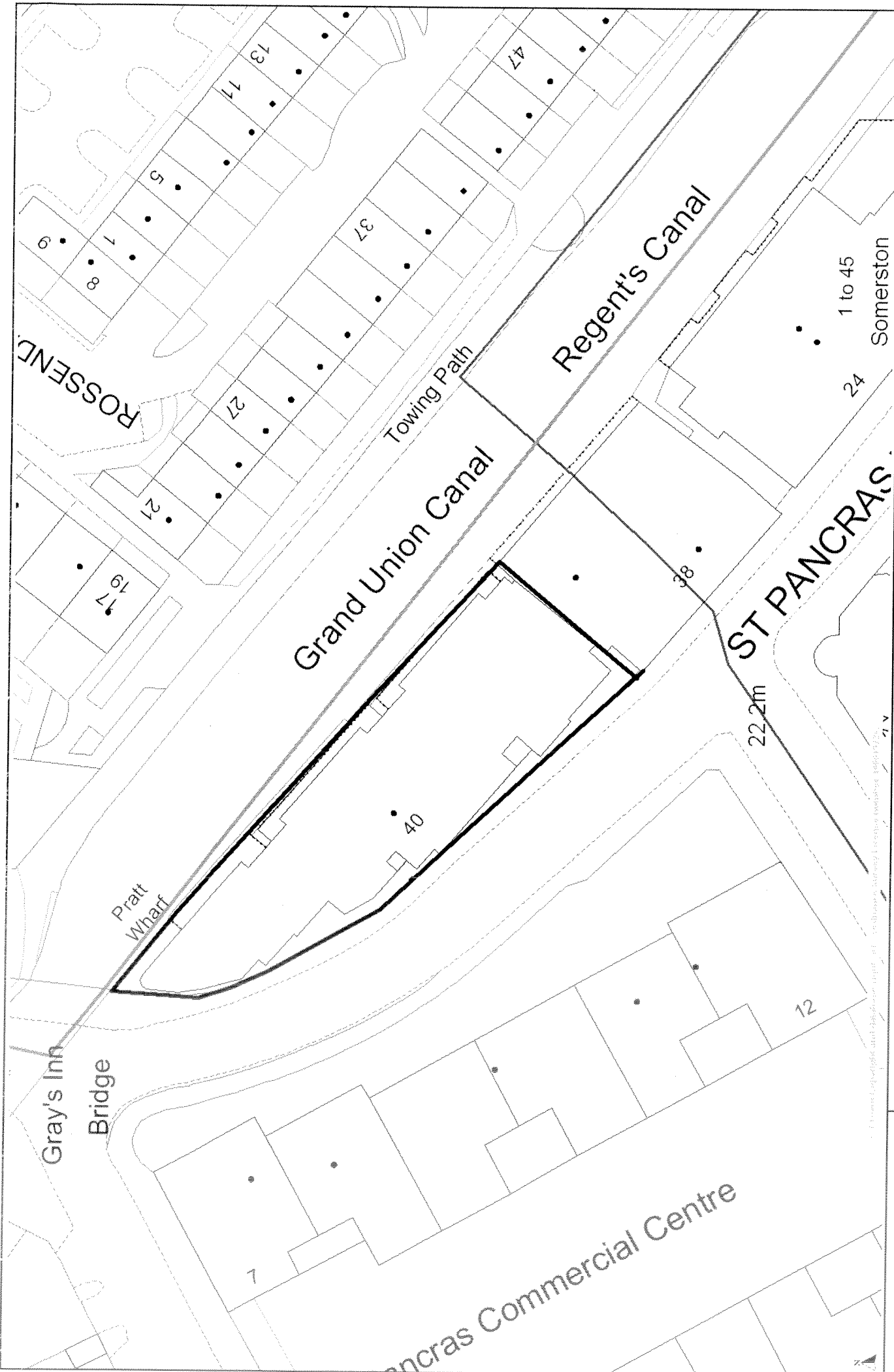
**WHAT HAPPENS IF YOU DO NOT APPEAL**

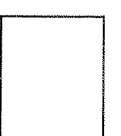
If you do not appeal against this enforcement notice, it will take effect on **16 September 2013**, and you must then ensure that the required steps for complying with it, for which you may held responsible, are taken within the period specified in the notice. Failure to comply with an enforcement notice, which has taken effect, can result in prosecution and/or remedial action by the Council.

**THIS ENFORCEMENT NOTICE HAS BEEN SERVED ON:**

1. The Owner/Occupier  
Flat 21, 40 St Pancras Way  
London  
NW1 0QX
2. Hillary Estates Limited  
353 Kentish Town Road  
London  
NW5 2TJ
3. Sheila Verghese and Tomas  
Verghese  
57 North End Road  
London  
NW11 7RL
4. Barclays Bank PLC  
P.O Box 290  
Meridian House  
Dartford DA1 9DE  
[Registered Charge in relation to  
Flat 21, 40 St Pancras Way, London  
NW1 0QX dated 21 December 2011  
to Sheila Verghese and Thomas  
Verghese]
5. The Director/Manager  
City Centre Apartments  
9 Parkway  
London  
NW1 7PG
6. The Director/Manager  
Smartflats Limited  
145-157 St John Street  
London  
EC1V 4PW

**If you believe that there is someone else who should be served or any of those listed above has not received a copy of the notice or any other document please let that person and the Council know of this omission as soon as possible.**



	<p><b>Site Location Plan: 40 St Pancras Way, London, NW 1</b></p> <p>Reproduced by permission of Ordnance Survey on behalf of HMSO. © Crown copyright and database right 2012. Ordnance Survey Licence number 100019726.</p>	<p>Centre = 529428 E 183973 N</p> <p>Date 30/7/2013</p>
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Punjabi  
ਜ਼ਰੂਰੀ: ਇਹ ਫਾਰਮ ਸਾਡੇ ਕੋਲ ਭੇਜਣ ਲਈ ਖਾਸ ਮਿਆਦ ਹੈ। ਇਸ ਮਿਆਦ ਦਾ ਸਮਾਂ ਪੂਰਾ ਹੋ ਜਾਣ ਤੋਂ ਪਹਿਲਾਂ ਇਹ ਫਾਰਮ ਸਾਡੇ ਕੋਲ ਲਾਜ਼ਮੀ ਤੌਰ ਤੇ ਪਹੁੰਚ ਜਾਣਾ ਚਾਹੀਦਾ ਹੈ। ਜੇ ਤੁਹਾਨੂੰ ਇਹ ਫਾਰਮ ਭਰਨ ਲਈ ਮਦਦ ਦੀ ਲੋੜ ਹੈ, ਤਾਂ ਅਸੀਂ ਤੁਹਾਨੂੰ ਸੁਝਾਉ ਦਿੰਦੇ ਹਾਂ ਕਿ ਤੁਸੀਂ ਇਹਦੇ ਬਾਰੇ ਕਿਸੇ ਤੋਂ ਸਲਾਹ ਲਓ।

Gujarati  
મહત્વનું : અમને આ ફોર્મ મોકલવા માટે સમય મર્યાદા છે. આ સમય મર્યાદા પૂરી થાય તે પહેલાં અમને તે મળી જવું જ જોઈએ. જો તમને આ ફોર્મ ભરવા માટે મદદની જરૂર હોય તો અમે તમને સલાહ મેળવવાનું સૂચન કરીએ છીએ.

Hindi  
आवश्यक : इस फॉर्म को हमारे पास भिजवाने की एक समय-सीमा है। उस समय-सीमा के बीतने से पहले हमें यह फॉर्म अवश्य मिल जाना चाहिए। यदि आपको इस फॉर्म को भरने में सहायता चाहिए, तो हमारा सुझाव है कि आप किसी को सलाह लें। -

Urdu  
اجم: اس فارم کو بھرنے کے لئے وقت کی ایک سیما ہے۔ اس سیما کے گزرنے سے پہلے پہلے ہمیں یہ لازمی طور پر مل جانا چاہیے۔ اگر اس فارم کو بھرنے میں آپ کو مدد کی ضرورت ہے تو ہماری رائے ہے کہ آپ شورہ حاصل کریں۔

Bengali  
জরুরী: এই ফর্ম আমাদের কাছে পাঠানোর একটা সময়সীমা আছে। এই সময়সীমা শেষ হবার আগেই এটা অবশ্যই আমাদের কাছে পৌঁছাতে হবে। এই ফর্ম পূরণ করায় যদি আপনার সাহায্যের দরকার হয় তাহলে আমাদের পুস্তাব, কারো পরামর্শ নিন।

Chinese  
重要通知: 把這份表格寄回給我們是有時間限制的。我們必須在期限過期之前收到這份表格。假若你需要別人幫助你填寫這份表格, 我們建議你尋求指導。

English  
IMPORTANT: There is a time limit for sending this form to us. We must receive it before the time expires. If you need help filling in this form, we suggest you get advice.

