

KEY

Existing Walls

Proposed Walls

GENERAL NOTES

Where existing partitions are removed adjacent surfaces are to be made good with finish to match existing

Existing cornices, skirting boards and dado rails are to be retained and any that are affected by the demolition works are to be made good to match adjacent existing.

New partitions are to be plasterboard on new timber stud work with skimcoat and paint finish

Access to existing beams for strengthening works is to be via the floorboards above

Where strengthening works to existing walls occurs, the ceiling below is to be made good and repaired to match existing. Refer to reflected ceiling plans for extents or repair works to ceilings.

All non-original boxing to redundant services removed.

A | 28.03.2014 | Revised Planning
REV. ISSUE DATE. REVISION NOTES

GENERAL NOTES

Do not scale. All written dimensions must be checked on site before work commences. Dimensions shown on drawings are for information only. Those shown in brackets are approximate. Dimensions, when identified, must be reported to the Architect immediately.

Any areas indicated on the drawing are for guidance purposes only. No responsibility is taken for any accuracy.

All work must be carried out in accordance with the Building Regulations and the satisfaction of the Local Authority.

PLANNING

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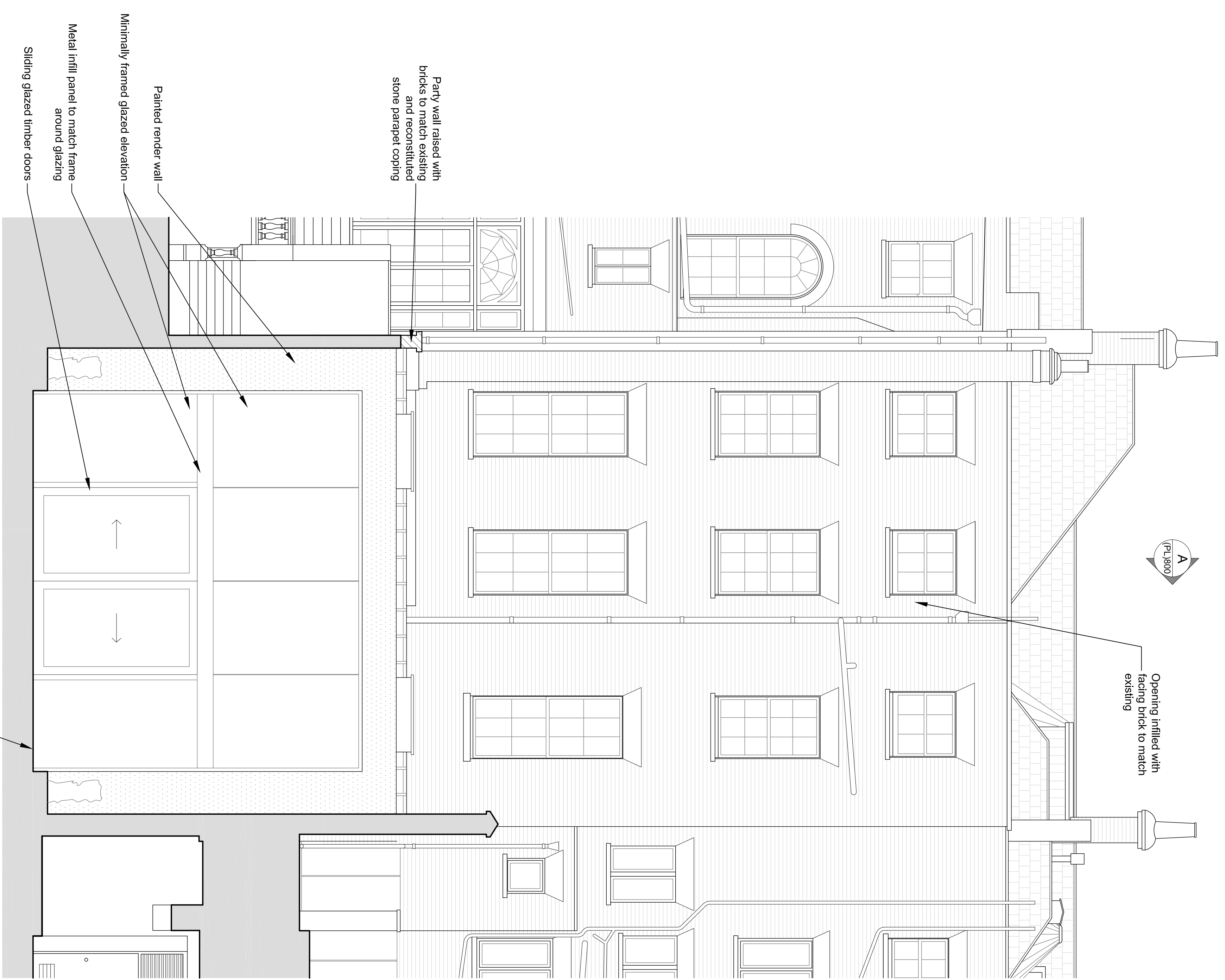
**GARNETT
+PARTNERS**

CLIENT
The Bedford Estate

PROJECT
No. 18 Bedford Square
WC1

DRAWING TITLE
Section BB &
Rear Extension Elevation
As Proposed

SCALE 1:50@A1 DATE March 14
DRAWN BY TROMS WD. CHECKED BY
792 (PL)801 REF. A

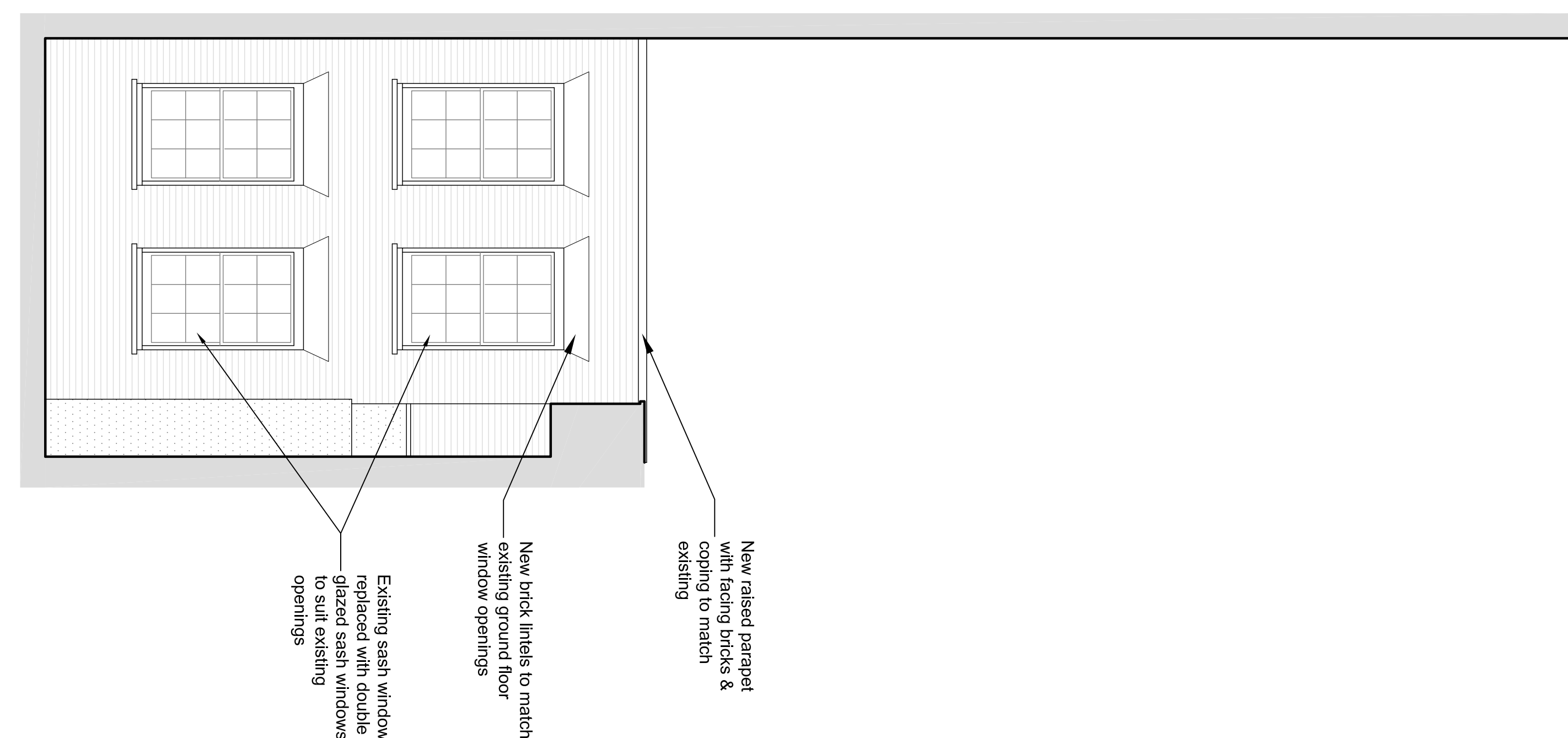


SECTION B-B
As Proposed

01

A
PL800

Central area of slab removed to form level courtyard with planters around edge



Rear Lightwell Extension South Elevation
As Existing with Demolitions

02

A
PL801

New raised parapet with facing bricks & coping to match existing

New brick linets to match existing ground floor window openings

Existing sash windows replaced with double glazed sash windows to suit existing openings

