

01

SECOND FLOOR PLAN
As Proposed

GENERAL NOTES

Where existing partitions are removed adjacent surfaces are to be made good with finish to match existing

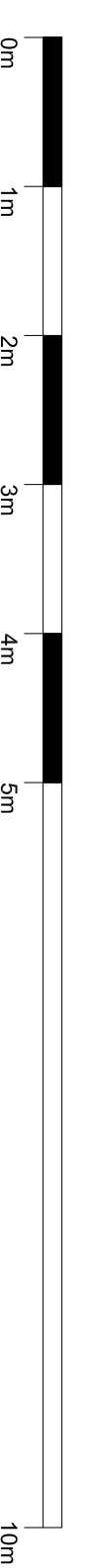
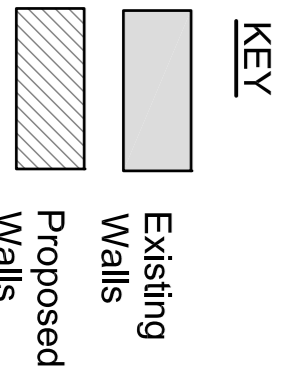
Existing cornices, skirting boards and dado rails are to be retained and any that are affected by the demolition works are to be made good to match adjacent existing.

New partitions are to be plasterboard on new timber stud with skimcoat and paint finish

Access to existing beams for strengthening works is to be via the floorboards above

Where strengthening works to existing walls occurs, the ceiling below is to be made good and repaired to match existing. Refer to reflected ceiling plans for extents or repair works to ceilings.

All non-original boxing to redundant services removed.



CLIENT
The Bedford Estate

PROJECT
No. 18 Bedford Square
WC-1

DRAWING TITLE
Second Floor Plan
- As Proposed

SCALE
1:50 @ A1

JOB NO.
792

DATE
March 14

DATE
1:16:04

DWG NO.
(PL)604

REV.
B



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PLANNING

STATUS

B	04/03/2014	Approved in line with measured survey
A	28/02/2014	Issued for Planning
REV /	ISSUE DATE	REVISION NOTES

GENERAL NOTES

Do not scale. All written dimensions must be checked on site before work commences on site or in shop. Rigid dimensions take preference over flexible dimensions, where indicated, must be applied to the finished immediately.

Any areas indicated on this drawing are for guidance purposes only. No responsibility is taken for their accuracy.

All work must be carried out in accordance with the Building Regulations and the satisfaction of the Local Authority.