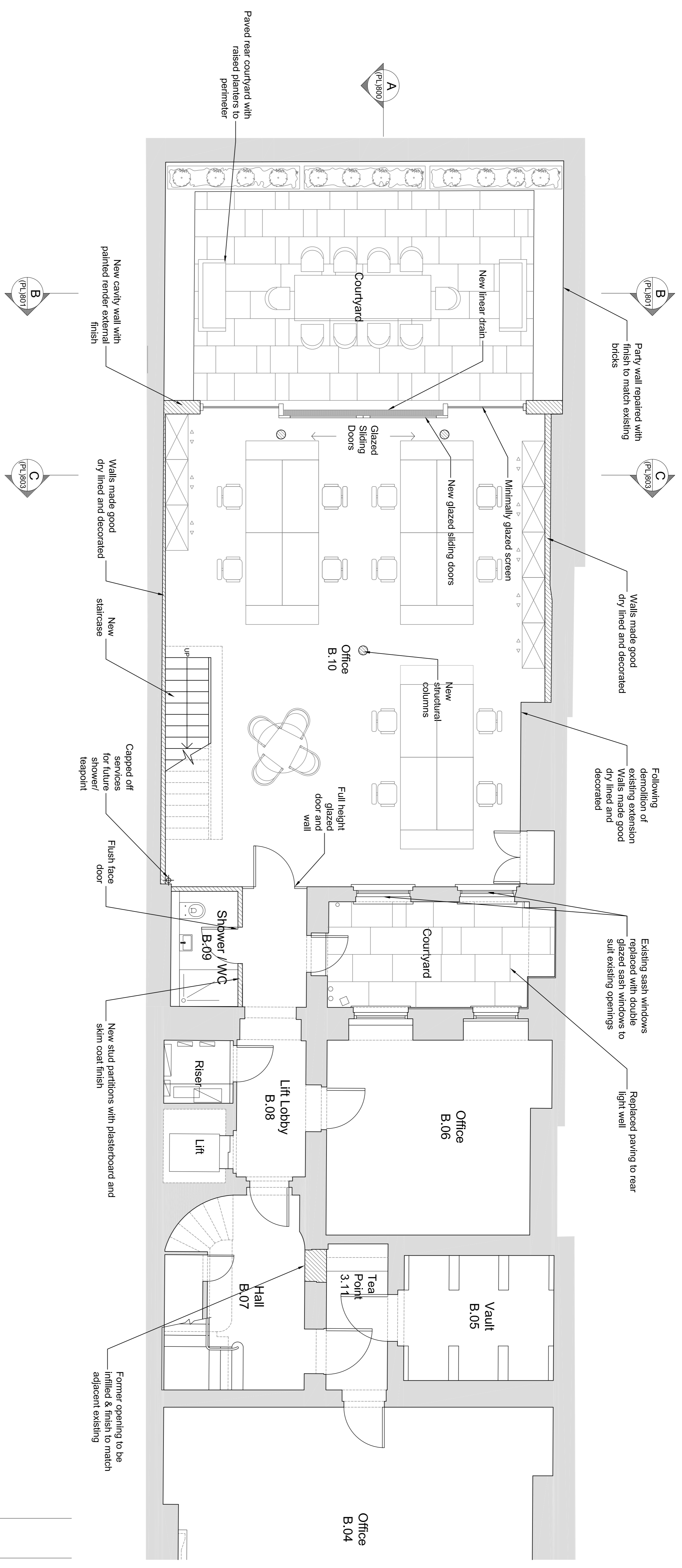


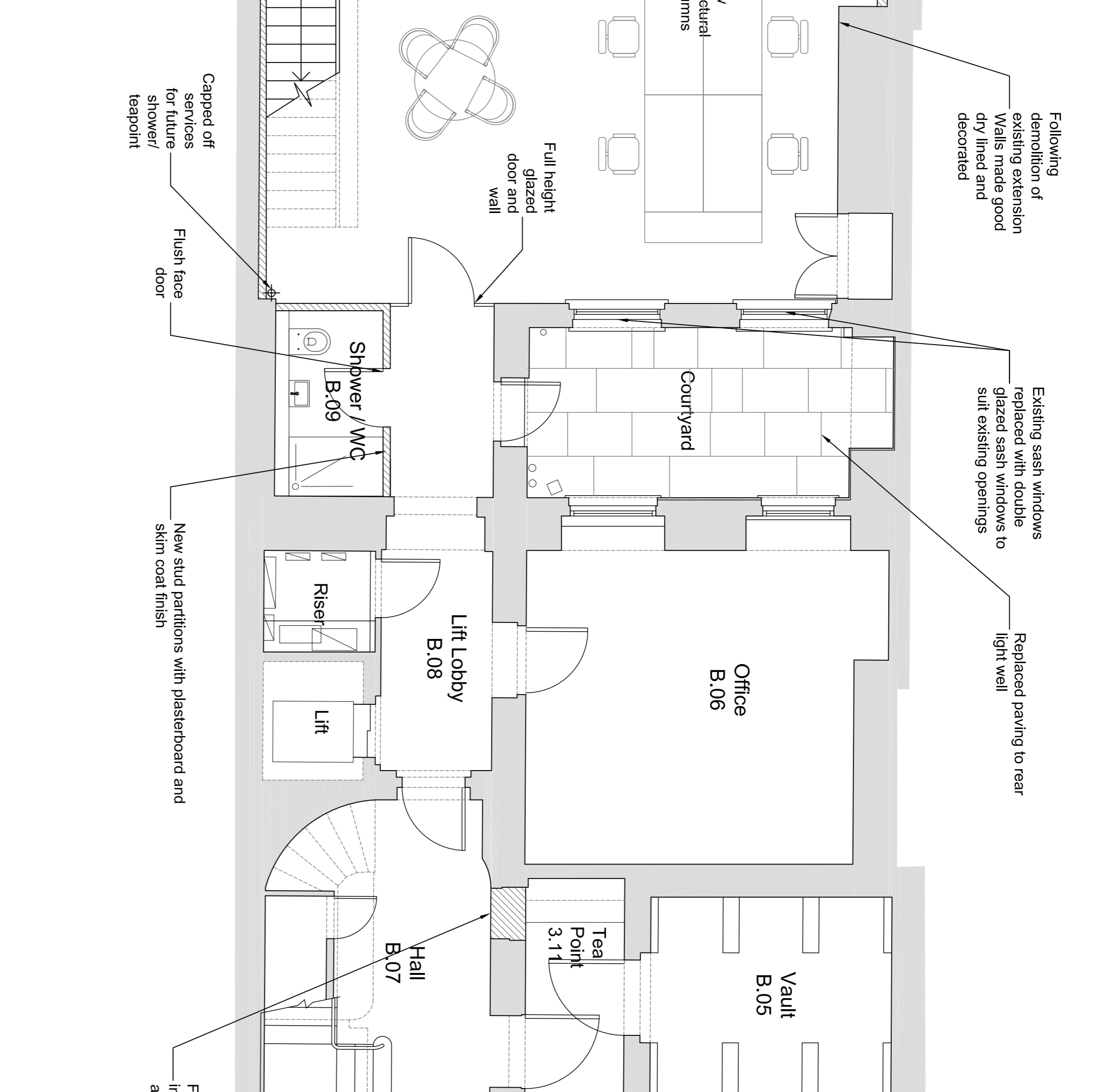
01

**BASEMENT FLOOR PLAN - CONTINUED BELOW**  
As Proposed



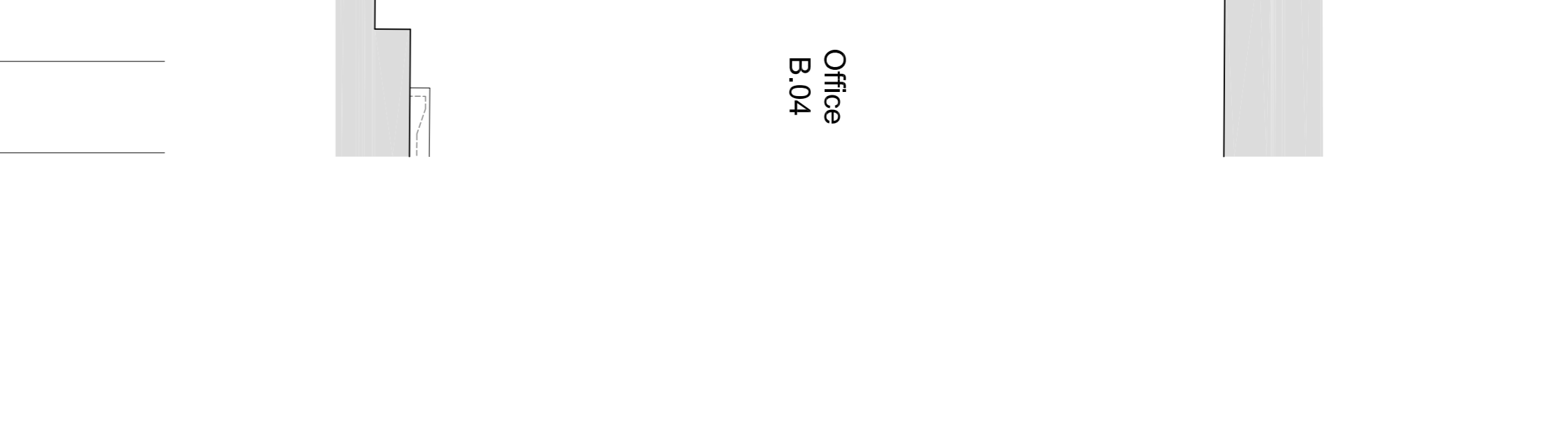
02

**BASEMENT VAULTS FLOOR PLAN - CONTINUED FROM ABOVE**  
As Proposed



01

**BASEMENT FLOOR PLAN - CONTINUED BELOW**  
As Proposed



02

**BASEMENT VAULTS FLOOR PLAN - CONTINUED FROM ABOVE**  
As Proposed



**GENERAL NOTES**

Where existing partitions are removed adjacent surfaces are to be made good with finish to match existing

Existing cornices, skirting boards and dado rails are to be retained and any that are affected by the demolition works are to be made good to match adjacent existing.

New partitions are to be plasterboard on new timber stud work with skimcoat and paint finish

Access to existing beams for strengthening works is to be via the floorboards above

Where strengthening works to existing walls occurs, the ceiling below is to be made good and repaired to match existing. Refer to reflected ceiling plans for extents or repair works to ceilings.

All non-original boxing to redundant services removed.



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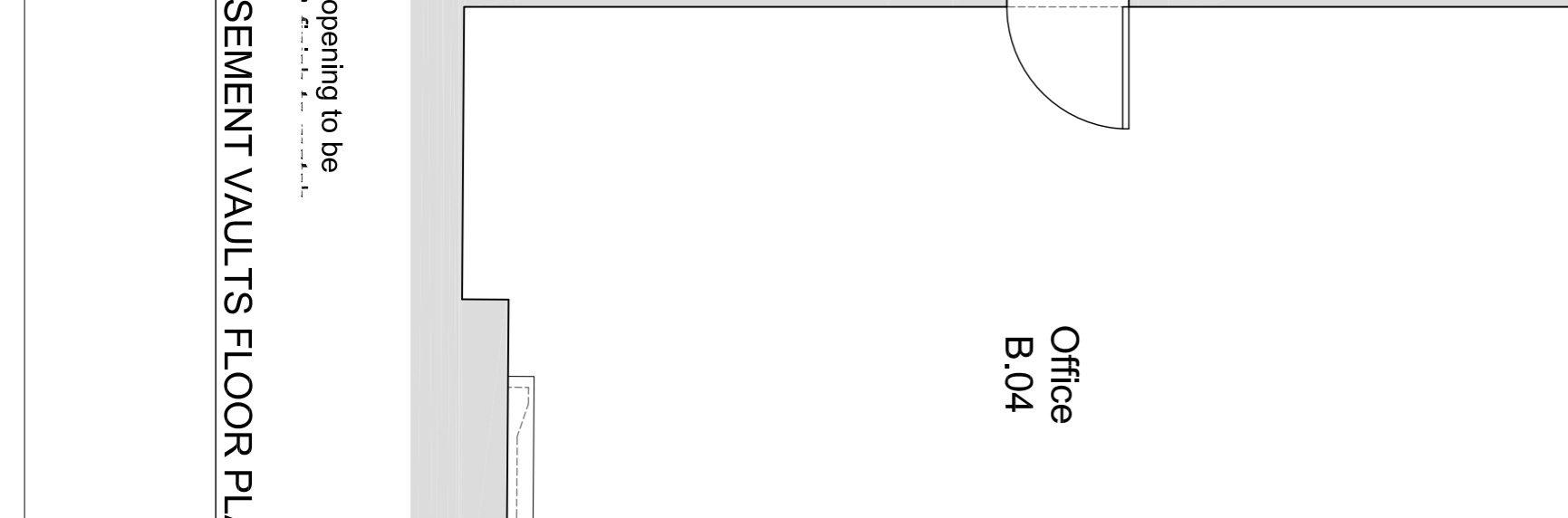
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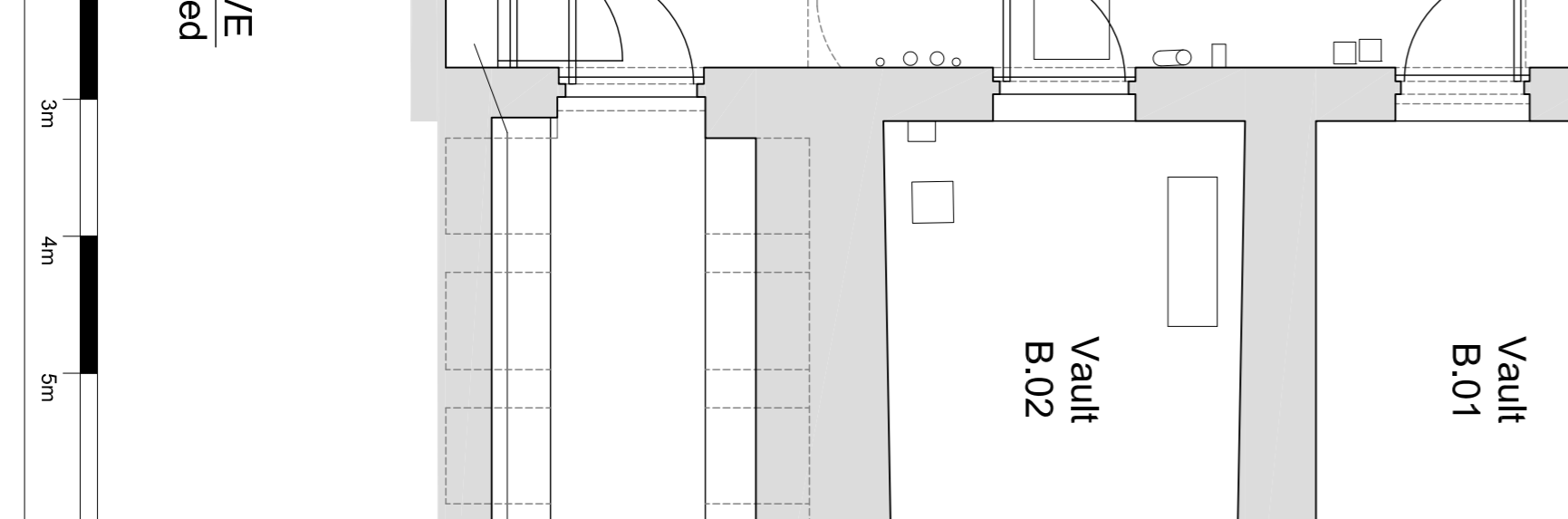
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CLIENT  
**The Bedford Estate**

PROJECT  
**No. 18 Bedford Square**

DRAWING TITLE  
**Basement Floor Plan**

- As Proposed

**GARNETT + PARTNERS**  
architects / planners / designers

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London WC1V 7BD  
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mail@garnettpartners.com  
www.garnettpartners.com

STATUS  
**PLANNING**

DATE  
March 14

SCALE  
1:100

JOB NO.  
792

DWG NO.  
(PL)601

REV.  
B

01/04/2014  
Approved for Planning

28/03/2014  
Revised for Planning

REVISION DATE  
REVISION NOTES

**GENERAL NOTES**

Do not scale. All written dimensions must be checked on site before work commences on site or in shop. Refined dimensions take preference over written dimensions, where identified, must be reported to the Architect immediately.

Any marks indicated on this drawing are for guidance purposes only. No responsibility is taken for their accuracy.

All work must be carried out in accordance with the Building Regulations and for the satisfaction of the local Authority.