

**LIFETIME HOMES CRITERIA  
COMPLIED WITH BY THIS DEVELOPMENT**

- Criterion 1 - Parking**  
 • Single parking space for disabled parking. Space is capable of enlargement to 3300mm.
- Criterion 2 - Approach to dwelling from parking**  
 • Approach from disabled parking space to communal entrance is level, on smooth non-slip permeable paving.  
 • Travel distance is less than 50m (approximately 20m)

- Criterion 3 - Approach to all entrances**  
 • Approaches to all communal entrances are level or gently sloping.

- Criterion 4 - Entrances**  
 • All external communal entrances:  
 - Are illuminated.  
 - Have level access.  
 - Have min. 800mm clear width.  
 - Have min. 300mm clear space to leading edge of doors, on pull side.
- All external communal main entrances:  
 - Are covered for weather protection.  
 - Have min. 1500mm x 1500mm level external landing.
- For dwellings see typical flat diagram.

- Criterion 5 - Communal stairs and lifts**  
 • Communal stairs have:  
 - Uniform rise max. 170mm  
 - Uniform going min. 250mm  
 - Handrails extending 300mm at top and bottom, both sides.  
 - Handrails at 900mm from each nosing.  
 - Nosings of contrasting brightness.  
 - Closed risers.
- Communal lifts have:  
 - minimum internal dimensions of 1100x1400mm  
 - clear landings of min. 1500mm x 1500mm  
 - lift controls between 900 & 1200mm from the floor and 400mm from the front wall.

- Criterion 6 - Internal doorways and hallways**  
 • All communal corridor widths min. 1200mm.  
 • All communal door widths min. 825mm.  
 • Min. 300mm clear space to leading edge of doors, on pull side.  
 • For dwellings see typical flat diagram.

- Criterion 7 - Circulation space**  
 • See typical flat diagram.

- Criterion 10 - Entrance level WC and shower drainage**  
 • See typical flat diagram regarding conversion for shower. All falls are on a single level so there is no requirement for an additional entrance level WC or shower.

- Criterion 11 - WC and bathroom walls**  
 • See typical flat diagram.

- Criterion 13 - Potential for fitting of hoists and bedroom / bathroom relationship**  
 • See typical flat diagram.

- Criterion 14 - Bathrooms**  
 • See typical flat diagram.

- Criterion 15 - Glazing and window handle heights**  
 • See typical flat diagram.

- Criterion 16 - Location of service controls**  
 • Service controls to be used on a frequent or emergency basis are:  
 - Within a height band of 450mm to 1200mm from the floor.  
 - At least 300mm from any internal corner.

**LIFETIME HOMES CRITERIA  
NOT APPLICABLE TO THIS DEVELOPMENT**

- Criterion 9 - Potential for entrance level bedspace**  
 • Applies to multi-storey dwellings. All dwellings are single storey.

- Criterion 12 - Stairs and potential through-floor lift in dwellings**  
 • Applies to multi-storey dwellings. All dwellings are single storey.

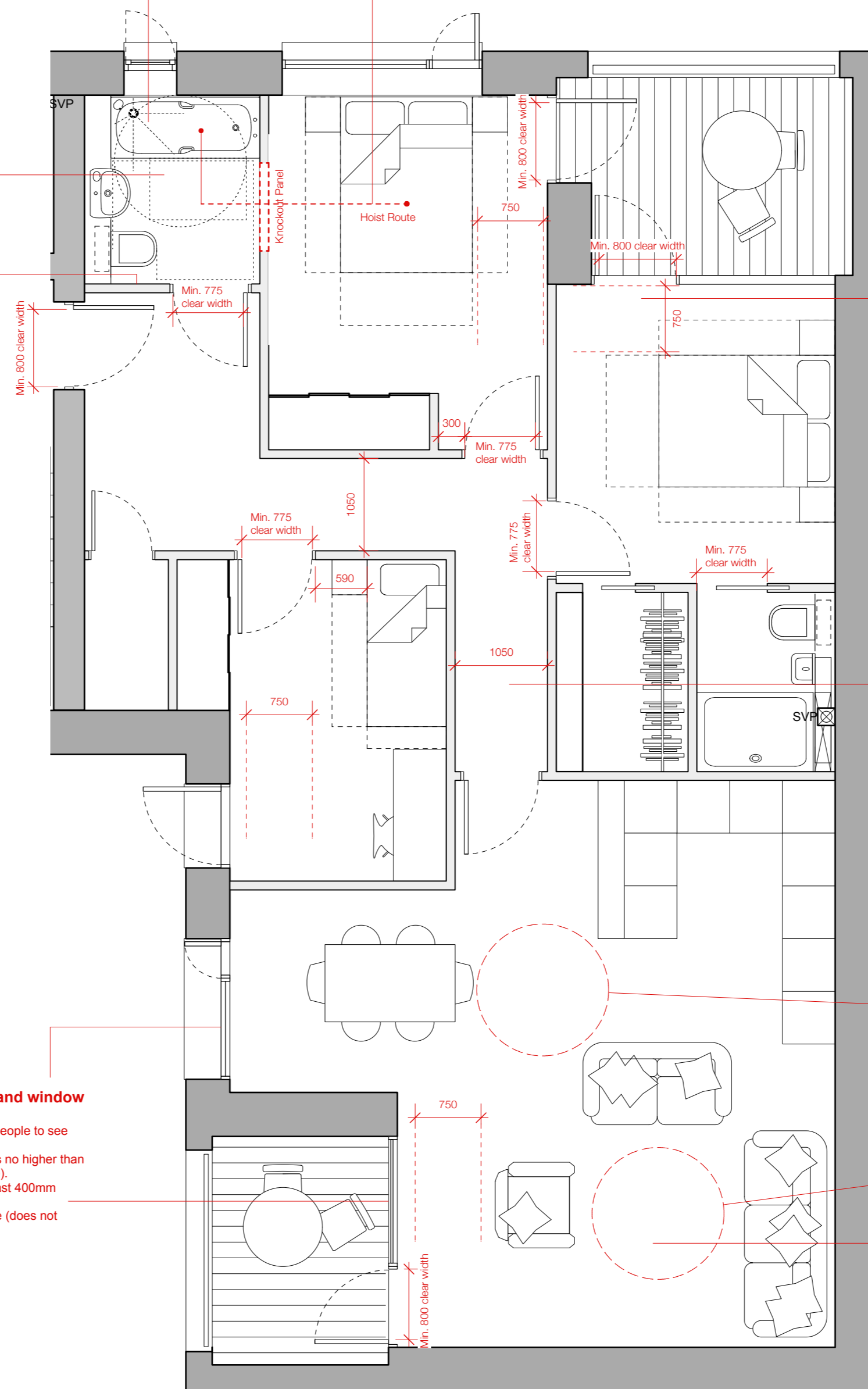
- Criterion 10 - Entrance level WC and shower drainage**  
 • Fused spur to facilitate pumped waste for potential future shower

- Criterion 13 - Potential for fitting of hoists and bedroom / bathroom relationship**  
 • Ceiling above main bedroom and bathroom capable of supporting a future ceiling hoist with a reasonable route.  
 • Route in this case through a full height 'knock out panel' in wall between bedroom and bathroom.

- Criterion 14 - Bathrooms**  
 • Accessible bathroom in same storey as main bedroom.  
 • Accessible WC.  
 • Approach zones to sink and bath (700mm wide, 1100mm deep).

- Criterion 11 - WC and bathroom walls**  
 • Walls in all bathrooms and WCs capable of firm fixing and support for adaptations such as grab rails.

- Criterion 4 - Entrances**  
 • Level threshold to dwelling entrances.  
 • Min. 800mm clear opening.



- Criterion 15 - Glazing and window handle heights**  
 • Handles to an opening light in one window in all rooms no higher than 1200mm from floor level  
 • Potential for 750mm wheelchair approach route to a window in each habitable room.

- Criterion 6 - Internal doorways and halls**  
 • Min. 900mm hallway widths (750mm at pinch points).  
 • Min. 775mm clear opening to doors at right angle to a corridor of min. 1050mm width (cupboard doors exempt).  
 • Min. 300mm clear space to leading edge of doors, on pull side.

- Criterion 7 - Circulation Space**  
 • Space for turning a wheelchair in dining areas and living rooms.  
 • 1500mm diameter circle or 1700mm x 1400mm ellipse.

- Criterion 8 - Entrance level living space**  
 • Living room / living space provided on the entrance level of every dwelling.  
 • All dwellings at this development are single storey flats.

- Criterion 15 - Glazing and window handle heights**  
 • Living room window allows people to see out when seated.  
 • Glazing in living rooms starts no higher than 800mm (+/- 50mm acceptable).  
 • Full width transoms/cill at least 400mm height away from any other transom or balcony balustrade (does not occur at this development).

- Criterion 4 - Entrances**  
 • Level threshold to balcony doors (excludes roof terraces over habitable rooms, as some flats in this development. Capacity for level thresholds to these terraces TBC during detailed design).  
 • Min. 800mm clear opening.

**NOTES:**

Do not scale off this drawing.  
 All Trade Contractors to be responsible for taking & checking their own site dimensions. Any errors or omissions to be reported to inside out architecture ltd immediately, prior to work being carried out.  
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Project:

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Client:

Studio 246 Media Ltd

Drawing:

Planning Submission  
 Lifetime Homes Demonstration Plan

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Scale:

1:50@A2