Belsize Crescent > stage c/d - planning application

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planning



application for certificate of lawfulness

milk

MR NEIL WALKER 21 BELSIZE CRESCENT BELSIZE PARK LONDON NW3 5QY 25 APRIL 2014

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782 14.04.25 PLANNING COL 2

Belsize Crescent > stage c/d - planning application

1.....

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statement:

Number 21 Belsize Crescent is an end of terrace Victorian town house in the centre of the western side of Belsize Crescent. It is in the Belsize Village sub-area of the Belsize Conservation Area. The crescent is made up of three straight runs of terraces hinged at two corners, number 21 forms one of the corners.

Number 21 has an existing lower ground floor side extension which currently connects number 21 to number 19, its southern neighbour, that is the subject of this application. The side extension is not an original part of the Victorian fabric and is in a poor state of repair.

At the end of 2013 a Certificate of Lawfulness was given to acknowledge that the extension forms part of number 21 Belsize Crescent. With that established we are now seeking a certificate of lawfulness to refurbish the extension and bring its fabric up to a standard appropriate to the host building and the streetscape.

The proposed improvements fall within Permitted Development Classes A and C, they are as follows:

- Replacement of the existing asphalt roof finish with standing seam leadwork to match the dormer window of the main roof.
- Addition of two roof lights to the rear roof slope.
- Repairs to the existing rendered front and rear elevations.
- Enlargement of the existing front and rear window openings and installation of traditional timber framed doors.

We have enclosed photographs and drawings of the existing building alongside annotated drawings of the proposed alterations.

notes:

Belsize Park Tube Sign Numbers 19 and 21 Belsize Crescent Belsize Village Shops

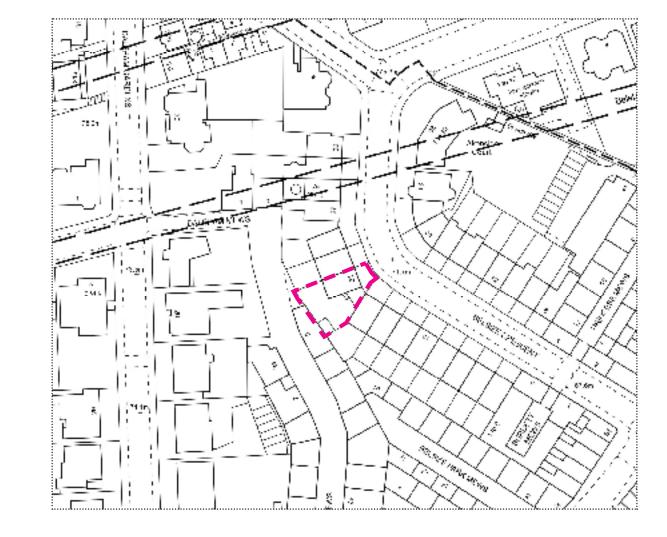






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location plan:



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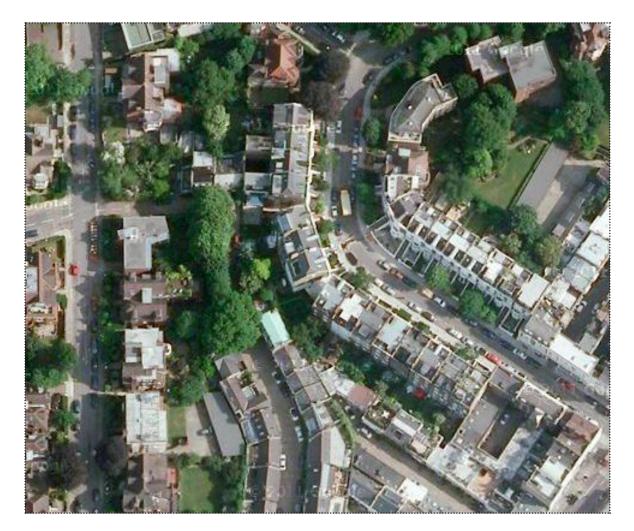




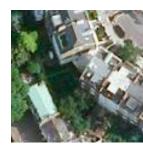
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aerial photo:



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Belsize Crescent > stage c/d - planning application

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site photos 1/2:









number 21 1

key:

- front elevation of number 19 + 21 2
- front elevation of side elevation З
 - rear elevation of main house 4
- side extension roof + flank walls of 19 + 21 5
 - 6 rear elevation of side extension 7
 - aerial view
 - interior view of side extension 1 8 interior view of side extension 1 9







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existing

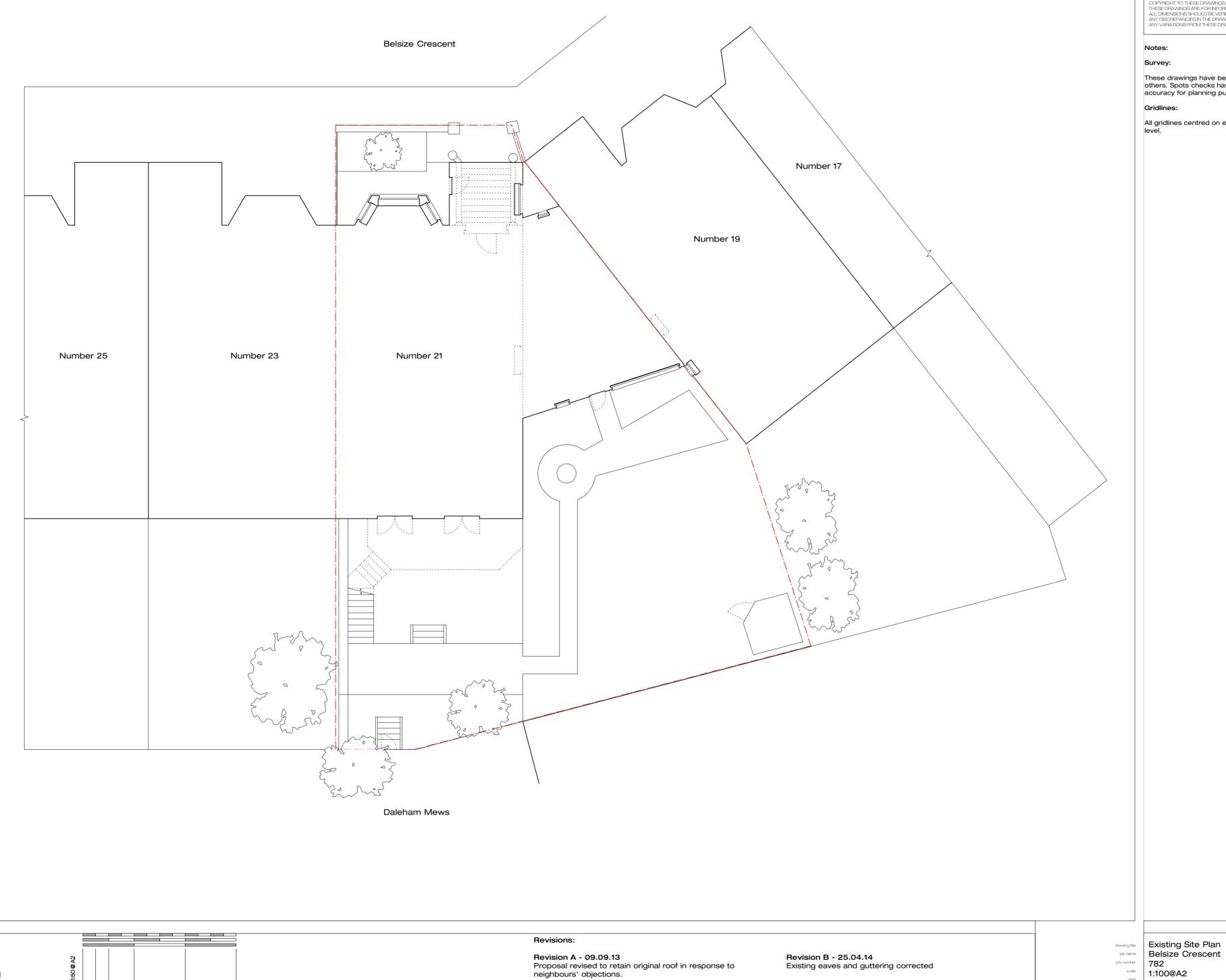
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records of the existing building

existing site plan existing lower GF plan existing raised GF plan existing first floor plan existing 2F & 3F plans existing front elevation existing side elevation existing rear elevation 782/S/100 b 782/S/109 b 782/S/110 b 782/S/111 b 782/S/112 b 782/S/210 b 782/S/211 b 782/S/212 b

Belsize Crescent > stage c/d - planning application

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Revision A - 09.09.13
Proposal revised to retain original roof in resp neighbours' objections.
neighbours objections.

Existing ridge height, front balustrade height and side elevation windows corrected

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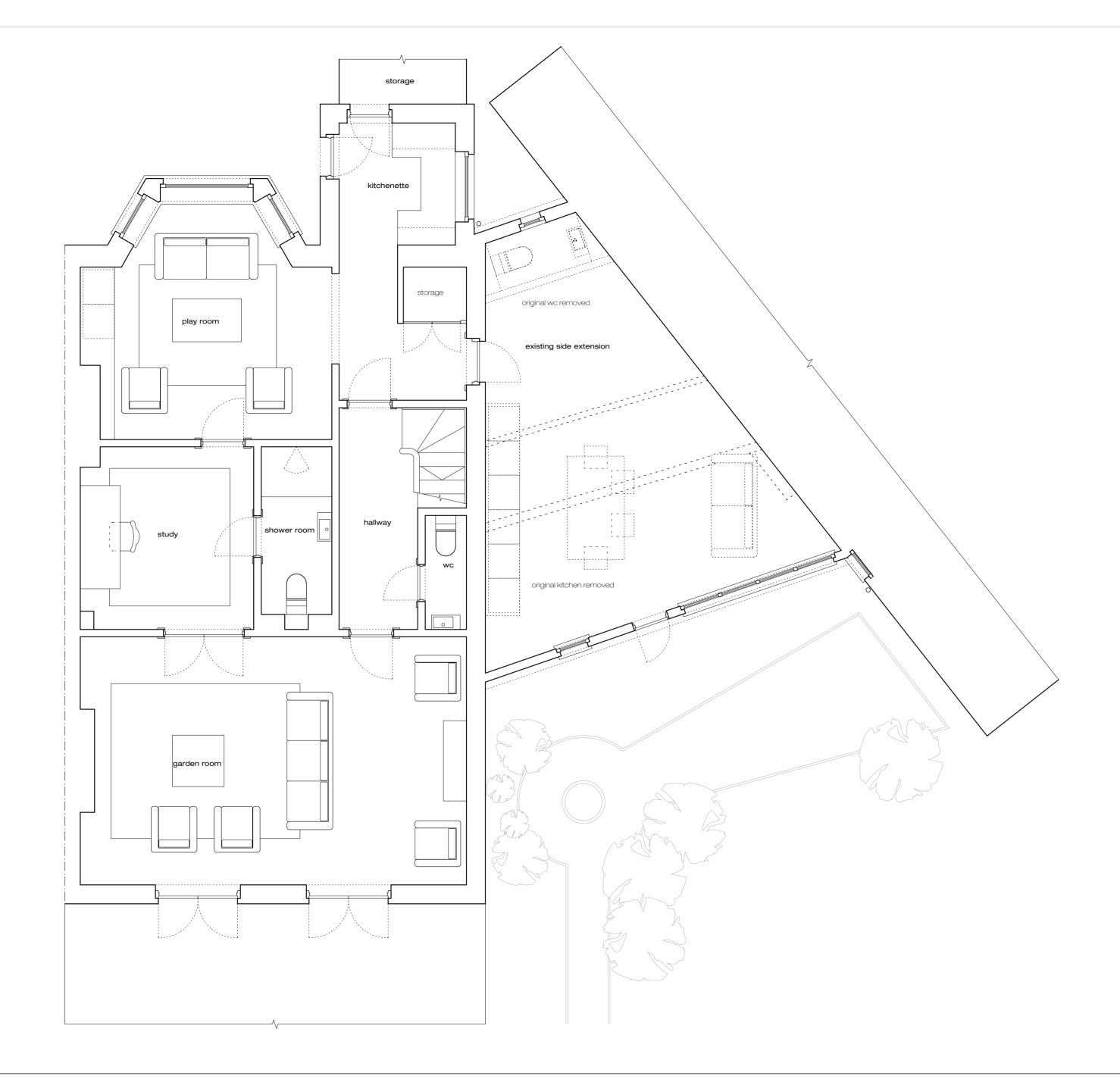
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These drawings have been based on OS maps and survey drawings by others. Spots checks have been carried out to ensure reasonable accuracy for planning purposes.

All gridlines centred on existing walls and/or structure at ground floor level.

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\bigvee	Scale 1	Ocm	25cm	50cm	5	5	ш	Existing ridg windows co	e height, front balust rrected	trade height and

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Gridlines:

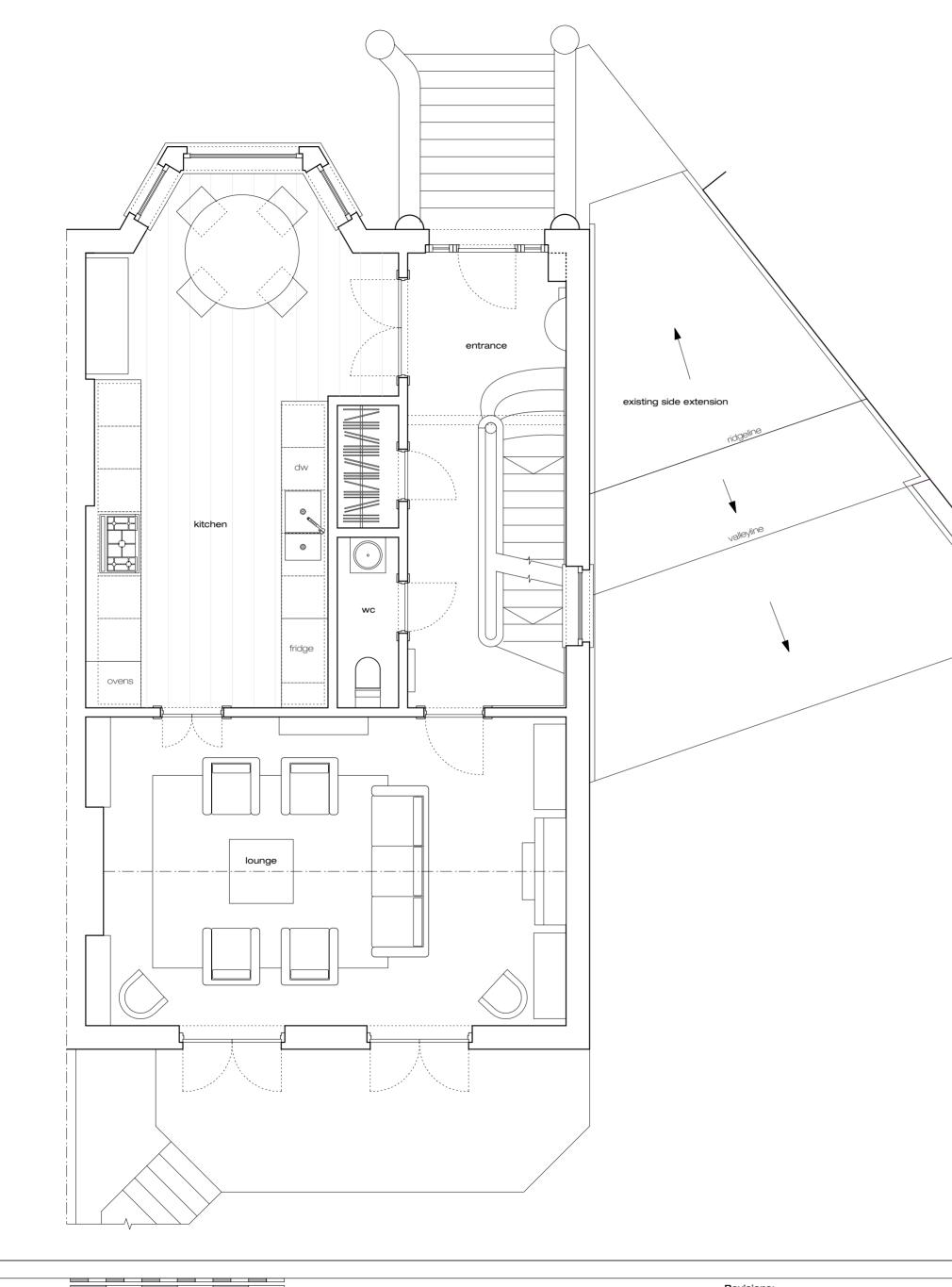
All gridlines centred on existing walls and/or structure at ground floor level.

Revision B - 25.04.14 Existing eaves and guttering corrected. onse to neighbours'

and side elevation

drawing titie: job name: job number: scale: drawing number: drawing number: revision: BEXisting Lower GF Plan Belsize Crescent 782 1:50@A2 30 June 2011 782/S/109 B





				Revisions:
20 9				Revision A - 09.09.13 Proposal revised to retain original roof in response to neighbours objections.
scale 1:	0cm 50cm	Ę	Ê	Existing ridge height, front balustrade height and side elevation windows corrected

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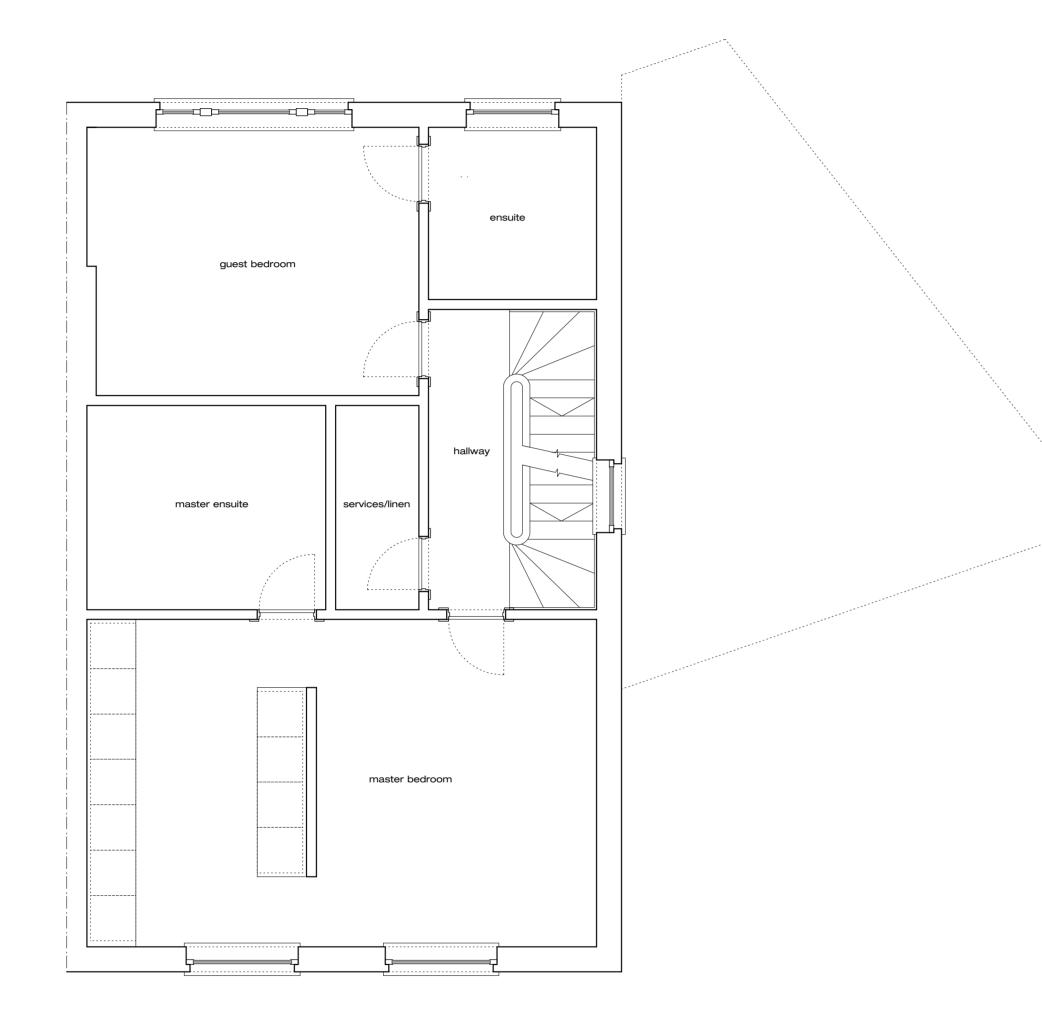
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drawing title: job name: job number: scale: date: drawing number: date: date: revision: B Existing Raised GF Plan Belsize Crescent 782 1:50@A2 30 June 2011 782/S/110 B

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	Revisions:
90 0 0 0 VS	Revision A - 09.09.13 Proposal revised to retain original roof in response to neighbours' objections.
Scale 1 Scale 1 0cm 25cm 3m 2m	Existing ridge height, front balustrade height and side elevation windows corrected

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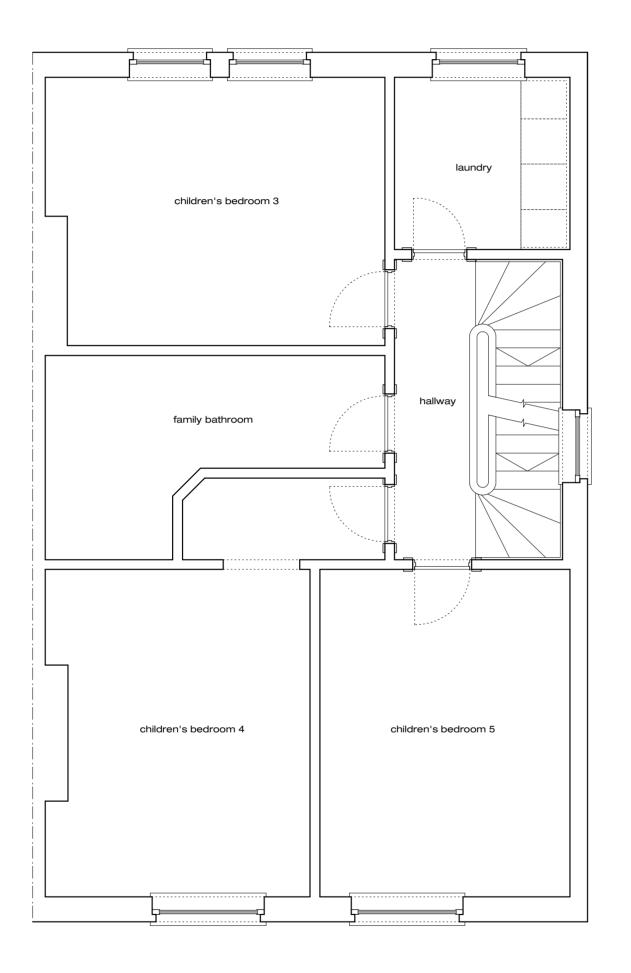
Gridlines:

All gridlines centred on existing walls and/or structure at ground floor level.

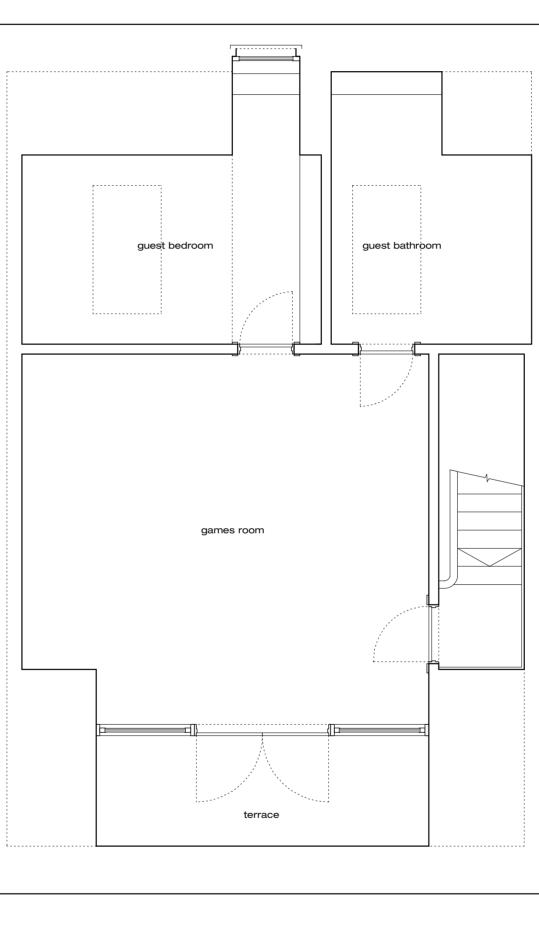
Revision B - 25.04.14 Existing eaves and guttering corrected.

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Second Floor Plan



Third Floor Plan

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R	50 @ A2						Revision A - 09.09.13 Proposal revised to retain origin objections.	nal roof in response
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	Revision B - 25.04.14	
se to neighbours'	Existing eaves and guttering corrected.	
d side elevation		

drawing title:	Existing 2F & 3F Plan
job name:	Belsize Crescent
job number:	782
scale:	1:50@A2
date:	30 June 2011
wing number:	782/S/112
revision:	в
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]]]	Revisions:
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, aca	Ocm	25cm	50cm	Ę	Ę	E	Existing ridge height, front balustrade height an windows corrected

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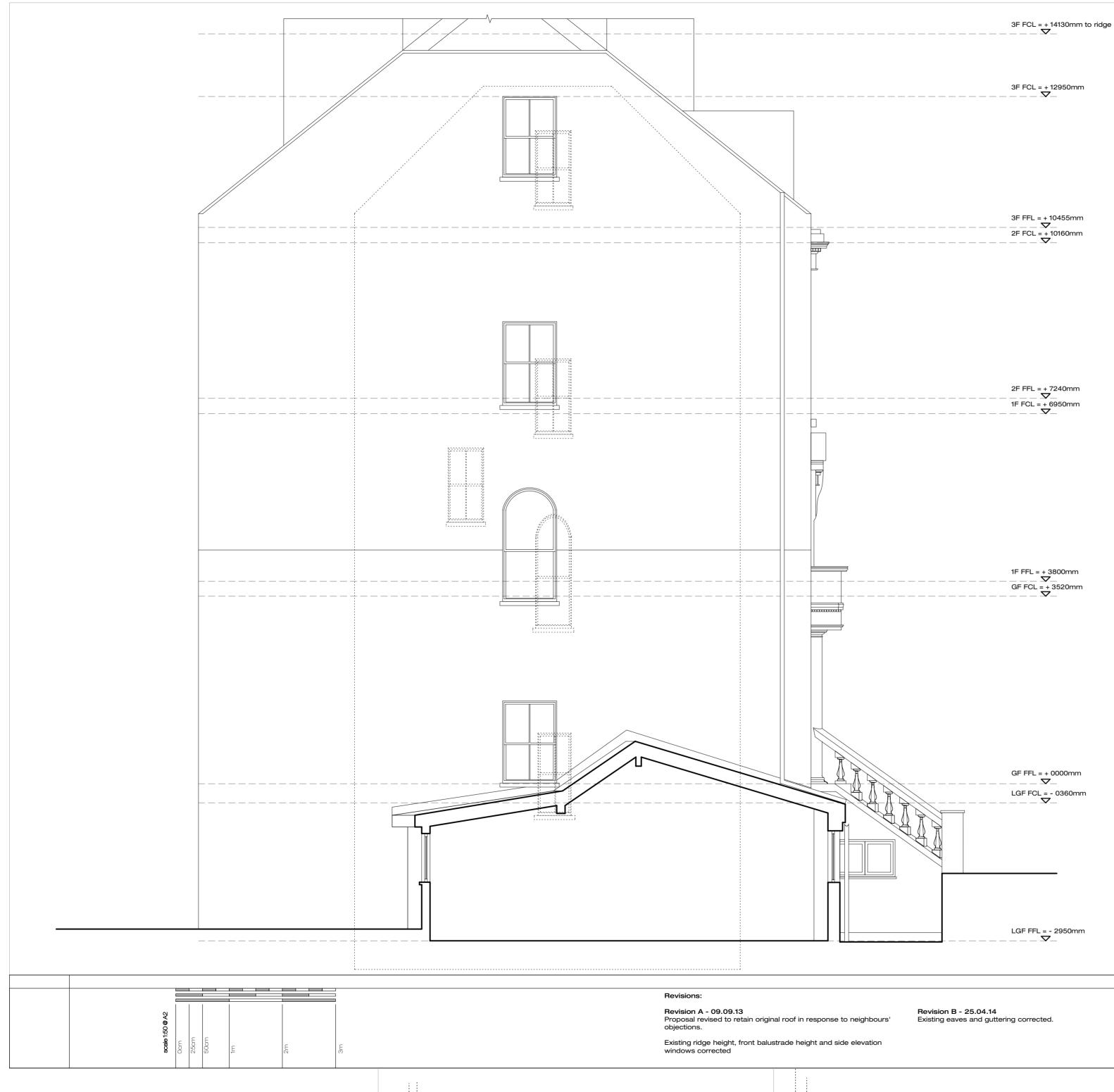
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Existing Front Elevation Belsize Crescent drawing title: Revision B - 25.04.14 Existing eaves and guttering corrected. job name: 782 1:50@A2 oonse to neighbours' job number: scale: 30 June 2011 782/S/210 B date: and side elevation drawing number: revision:





drawing title: job name: job number: 782 1:50@A2 scale: date: drawing number: revision: В

Existing Side Elevation Belsize Crescent 30 June 2011 782/S/211



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Belsize Crescent > stage c/d - planning application

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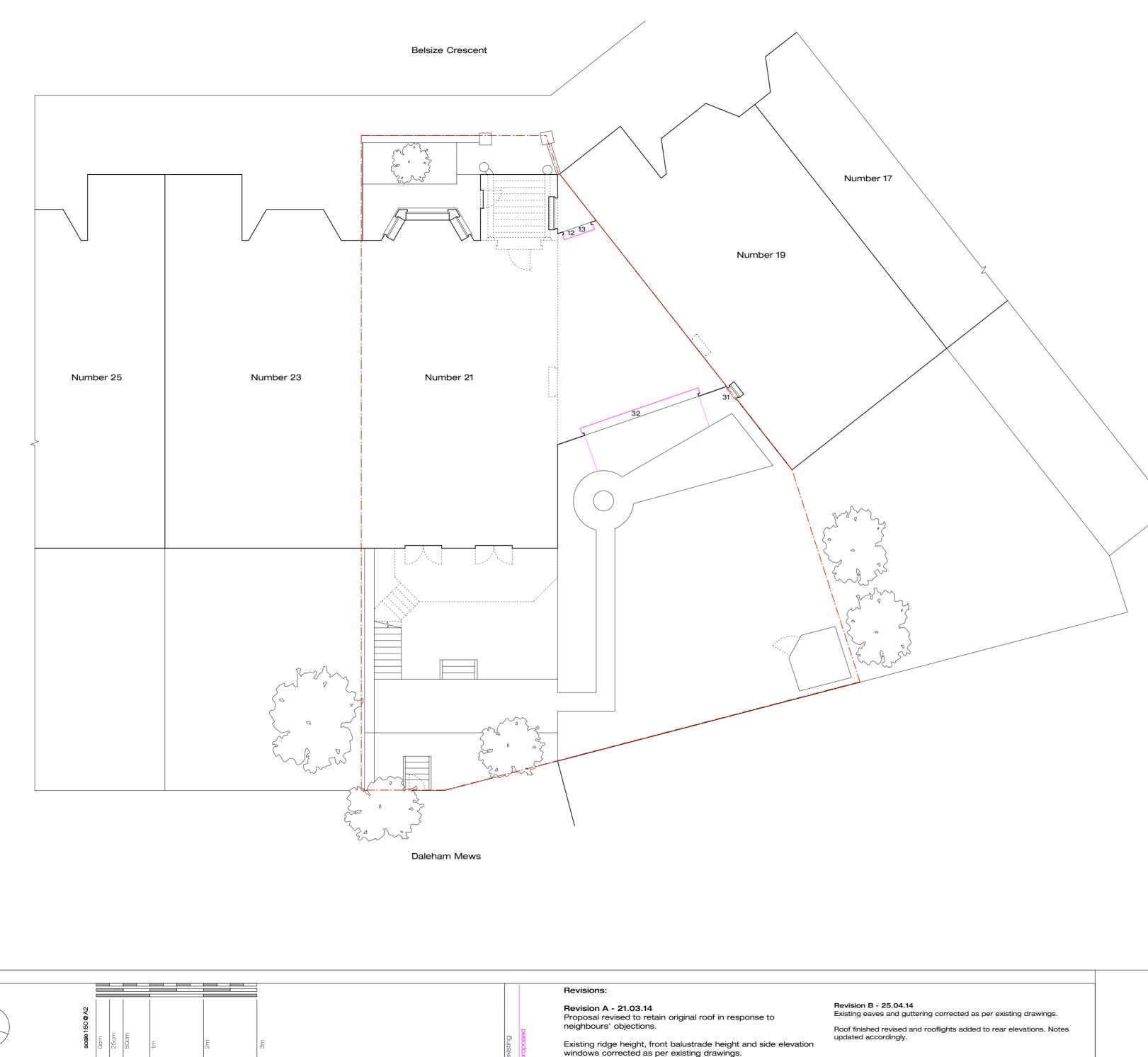
proposed site plan	782/P/100 b
proposed lower GF plan	782/P/109 b
proposed raised GF plan	782/P/110 b
proposed first floor plan	782/P/111 b
proposed 2F & 3F plan	782/P/112 b
proposed front elevation	782/P/210 b
proposed side elevation	782/P/211 b
proposed rear elevation	782/P/212 b

proposed

proposed alterations

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Planning Key:

FRONT ELEVATION

TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A COMPLYING WITH THE CONDITION A.3:

(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse

10 The front elevation of the existing side extension is set at LGF level and is concealed from the street by the front steps to numbers 19 and 21.

Existing rendered masonry to the front elevation to be repaired or replaced like for like as necessary.

12

New opening to be created symmetrically in front elevation for timber framed glazed doors to be set into. Doors to be set back into the facade behind traditional half brick reveals.

13 Access doors to the front light well will allow for better maintenance of the area and improvement of its appearance.

ROOF

TO BE REFURBISHED & RE-FINISHED UNDER PERMITTED DEVELOPMENT CLASS C COMPLYING WITH THE CONDITION C.1:

(a) the alteration would not protrude more than 150mm beyond the plane of the slope of the original roof when measured perpendicular with the external surface of the original roof.

20 Existing asphalt finish to be replaced with standing seam lead roof to match the leadwork on the front dormer of the main roof.

21 Two conservation style rooflights added to the rear slope of the roof.

The relationship between the existing roof and the neighbour's existing side stair window is unchanged.

23

22

The existing lead flashings to numbers 19 and 21 to be retained and repaired if necessary. Any repair that affects the party wall with number 19 to be dealt with via the party wall process.

24

Existing roof structure to be repaired or replaced as necessary. Any replacement that affects the party wall with number 19 to be dealt with via the party wall process.

25

Existing fascia boards to be refurbished or replaced like for like and new leadwork lapped into new gutters and downpipes to match existing.

REAR ELEVATION

TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A FOLLOWING THE CONDITION A.3:

(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse.

30

Existing fabric to the rear elevation to be improved, repaired and replaced as necessary and refinished in render to match the existing.

The relationship between the rear wall of the side extension and neighbour's existing lower ground floor window is unchanged.

New opening to be created symmetrically in rear elevation for traditional timber framed concertina doors to be set into. Doors to be set back into the façade behind traditional half brick reveals.

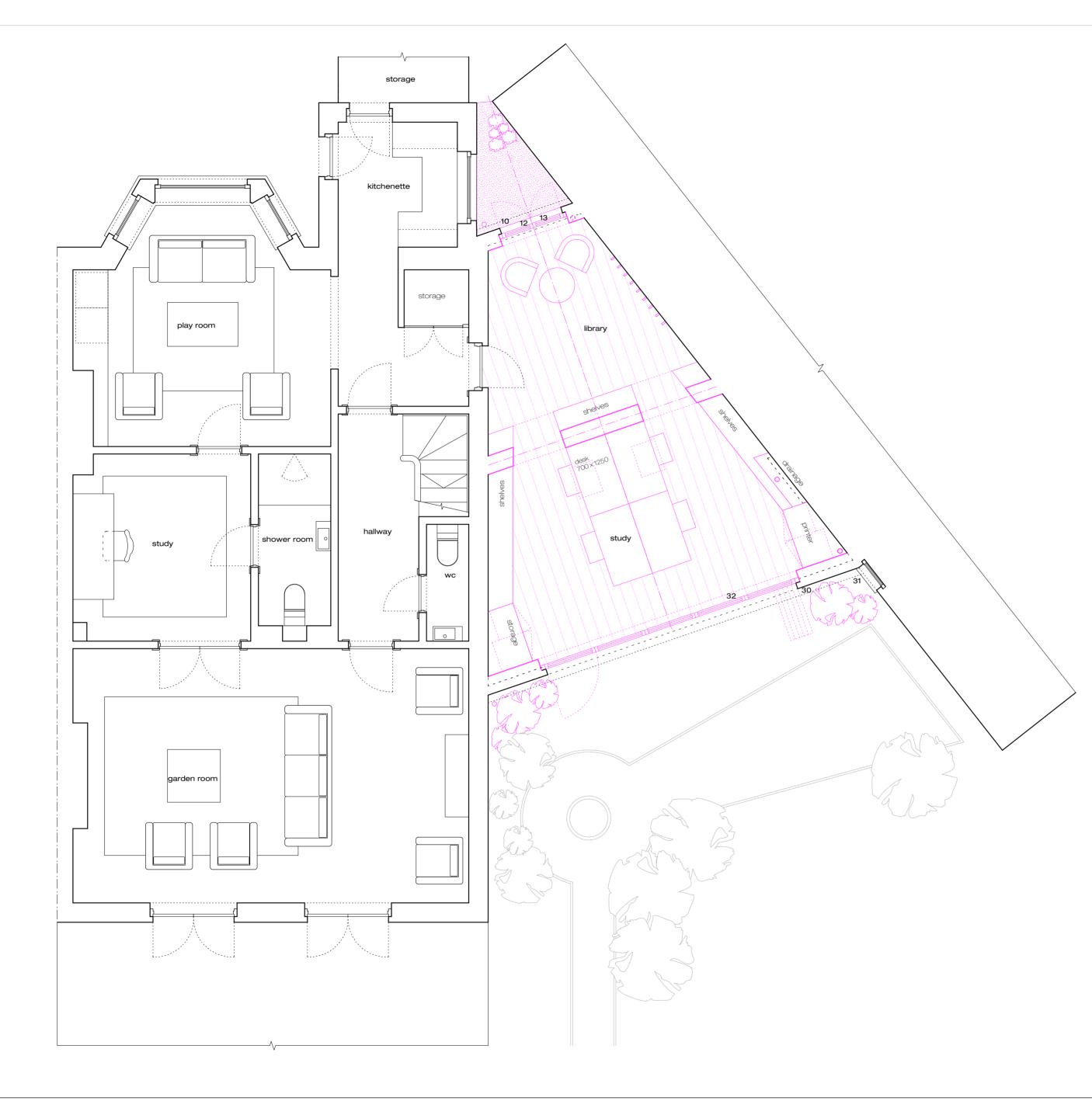
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Proposed Site Plan drawing title: job name: job number: scale: date: drawing number: B revision:

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Belsize Crescent 782 1:100@A2 17 May 2013 782/P/100



	Ξ									Revisions:
scale 150@A2	Ocm	25cm	50cm	Æ	Ę	ξ	existing	0	peso	Revision A - 21.03.14 Proposal revised to retain original roof in response to neighbou objections. Existing ridge height, front balustrade height and side elevation windows corrected as per existing drawings.

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Planning Key:

FRONT ELEVATION

TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A COMPLYING WITH THE CONDITION A.3:

(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse

The front elevation of the existing side extension is set at LGF level and

12

is concealed from the street by the front steps to numbers 19 and 21.

Existing rendered masonry to the front elevation to be repaired or replaced like for like as necessary.

New opening to be created symmetrically in front elevation for timber framed glazed doors to be set into. Doors to be set back into the facade behind traditional half brick reveals.

13

Access doors to the front light well will allow for better maintenance of the area and improvement of its appearance.

ROOF

TO BE REFURBISHED & RE-FINISHED UNDER PERMITTED DEVELOPMENT CLASS C COMPLYING WITH THE CONDITION C.1:

(a) the alteration would not protrude more than 150mm beyond the plane of the slope of the original roof when measured perpendicular with the external surface of the original roof.

20 Existing asphalt finish to be replaced with standing seam lead roof to match the leadwork on the front dormer of the main roof.

Two conservation style rooflights added to the rear slope of the roof.

22 The relationship between the existing roof and the neighbour's existing side stair window is unchanged.

The existing lead flashings to numbers 19 and 21 to be retained and repaired if necessary. Any repair that affects the party wall with number 19 to be dealt with via the party wall process.

24 Existing roof structure to be repaired or replaced as necessary. Any replacement that affects the party wall with number 19 to be dealt with via the party wall process.

25 Existing fascia boards to be refurbished or replaced like for like and new leadwork lapped into new gutters and downpipes to match existing.

REAR ELEVATION

TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A FOLLOWING THE CONDITION A.3:

(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse.

30 Existing fabric to the rear elevation to be improved, repaired and replaced as necessary and refinished in render to match the existing.

The relationship between the rear wall of the side extension and neighbour's existing lower ground floor window is unchanged.

New opening to be created symmetrically in rear elevation for traditional timber framed concertina doors to be set into. Doors to be set back into the façade behind traditional half brick reveals.

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Existing eaves and guttering corrected as per existing drawings.

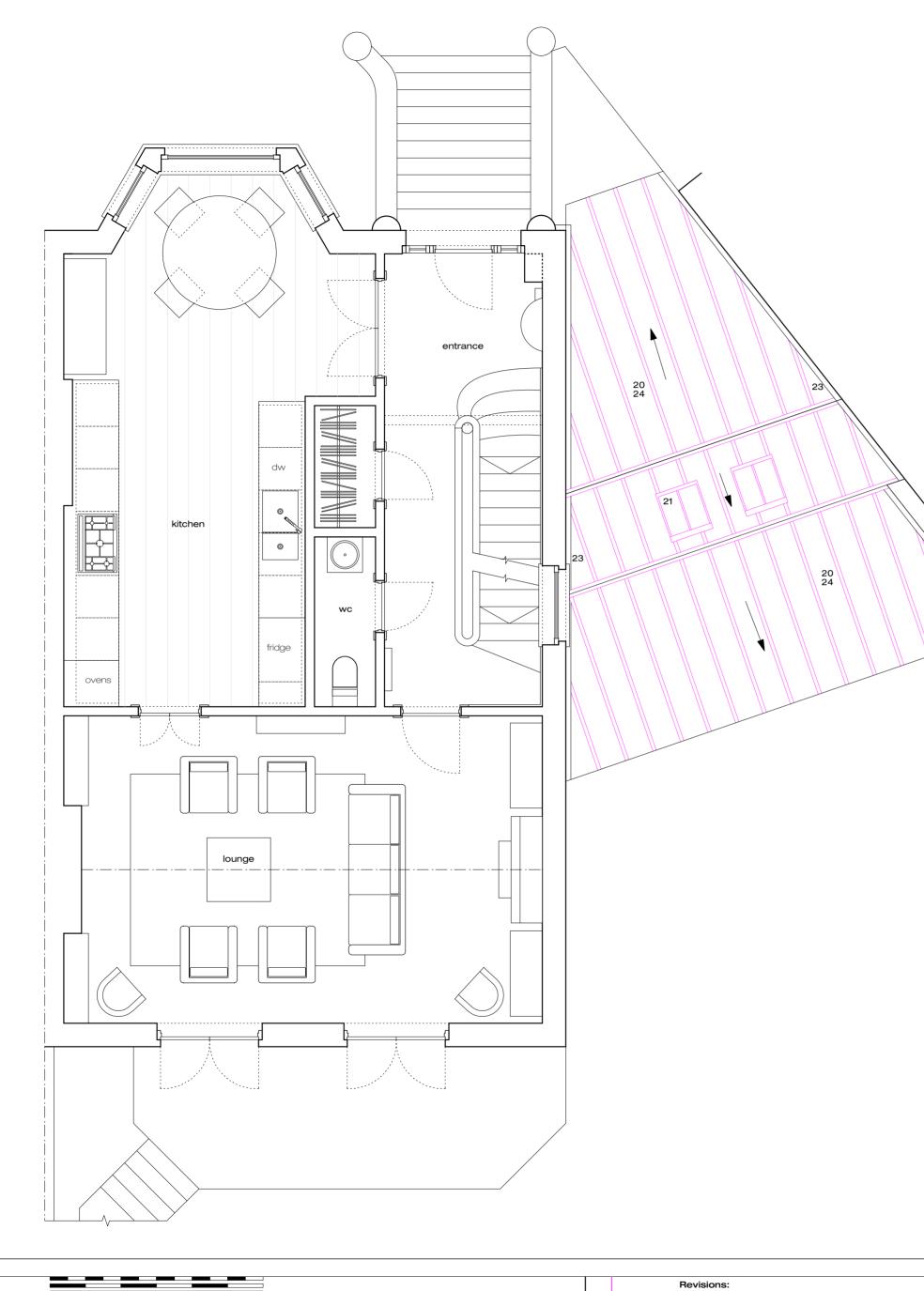
Roof finished revised and rooflights added to rear elevations. Notes updated accordingly.

Revision B - 25.04.14

drawing title job name: job number: scale date: drawing number: revision: в

Proposed Lower GF Plan Belsize Crescent 782 1:50@A2 17 May 2013 782/P/109





						Revisions:
	50@A2				7	Revision A - 21.03.14 Proposal revised to retain original roof in response to neighbour objections.
\rightarrow	scale 1:5 0cm 50cm 1m	53	Ē	existing	proposed	Existing ridge height, front balustrade height and side elevation windows corrected as per existing drawings.

o neighbours'

22`

Revision B - 25.04.14

Existing eaves and guttering corrected as per existing drawings. Roof finished revised and rooflights added to rear elevations. Notes updated accordingly.

job name: job number: drawing number:

drawing title:

scale

revision:

в

Proposed Raised GF Plan Belsize Crescent 782 1:50@A2 17 May 2013 782/P/110

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Notes:

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Planning Key:

FRONT ELEVATION

TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A COMPLYING WITH THE CONDITION A.3:

(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse

The front elevation of the existing side extension is set at LGF level and

is concealed from the street by the front steps to numbers 19 and 21.

Existing rendered masonry to the front elevation to be repaired or replaced like for like as necessary.

New opening to be created symmetrically in front elevation for timber framed glazed doors to be set into. Doors to be set back into the

12

facade behind traditional half brick reveals 13 Access doors to the front light well will allow for better maintenance of

the area and improvement of its appearance. ROOF

TO BE REFURBISHED & RE-FINISHED UNDER PERMITTED DEVELOPMENT CLASS C COMPLYING WITH THE CONDITION C.1:

(a) the alteration would not protrude more than 150mm beyond the plane of the slope of the original roof when measured perpendicular with the external surface of the original roof.

20 Existing asphalt finish to be replaced with standing seam lead roof to match the leadwork on the front dormer of the main roof.

Two conservation style rooflights added to the rear slope of the roof.

22 The relationship between the existing roof and the neighbour's existing side stair window is unchanged.

The existing lead flashings to numbers 19 and 21 to be retained and repaired if necessary. Any repair that affects the party wall with number 19 to be dealt with via the party wall process.

Existing roof structure to be repaired or replaced as necessary. Any replacement that affects the party wall with number 19 to be dealt with via the party wall process.

25 Existing fascia boards to be refurbished or replaced like for like and new leadwork lapped into new gutters and downpipes to match existing.

REAR ELEVATION

24

TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A FOLLOWING THE CONDITION A.3:

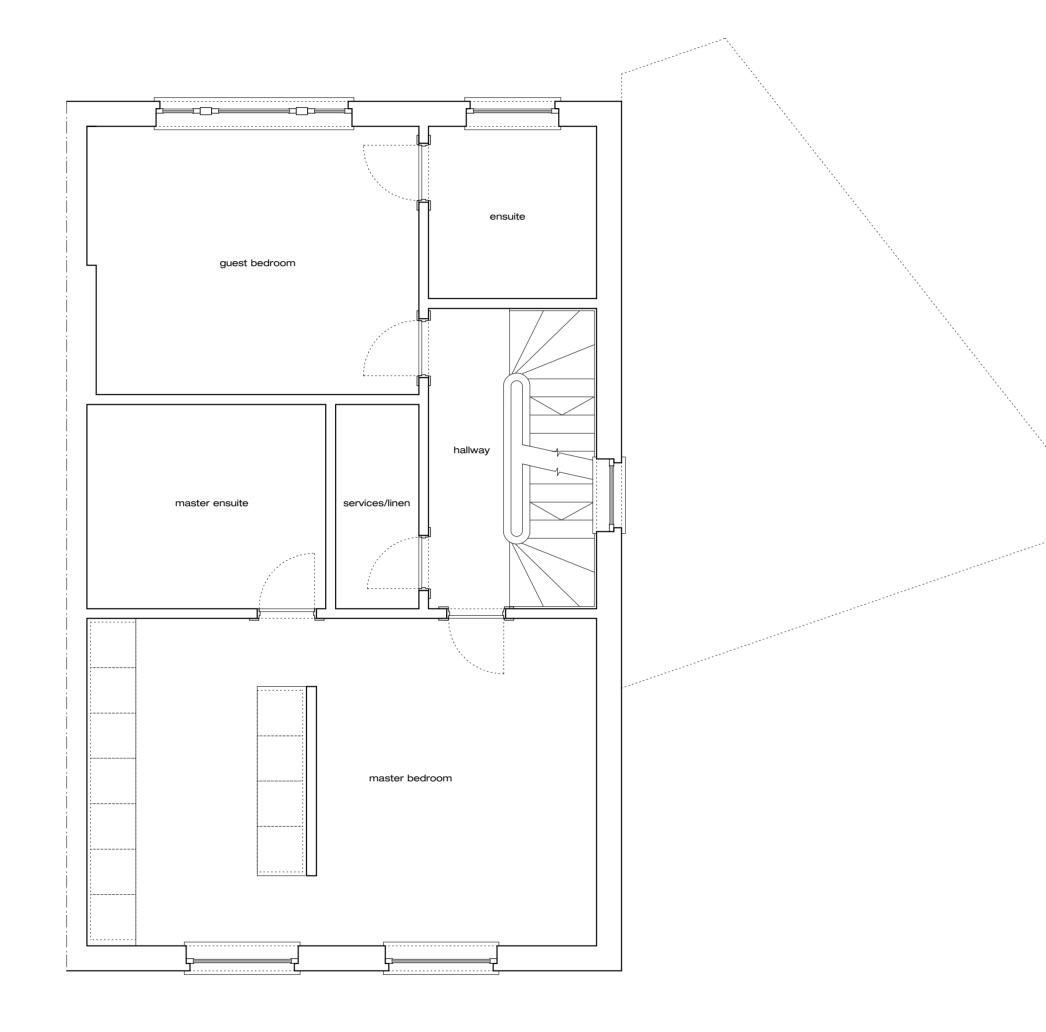
(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse.

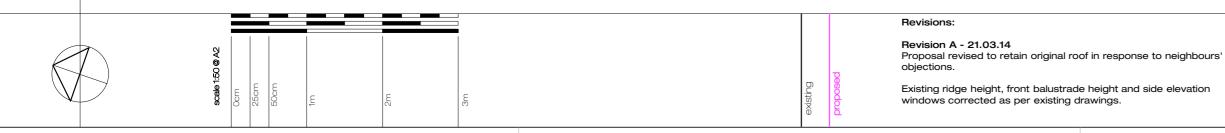
30 Existing fabric to the rear elevation to be improved, repaired and replaced as necessary and refinished in render to match the existing.

The relationship between the rear wall of the side extension and neighbour's existing lower ground floor window is unchanged.

32 New opening to be created symmetrically in rear elevation for traditional timber framed concertina doors to be set into. Doors to be set back into the façade behind traditional half brick reveals.







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Gridlines:

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Planning Key:

FRONT ELEVATION

TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A COMPLYING WITH THE CONDITION A.3:

(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse

The front elevation of the existing side extension is set at LGF level and

is concealed from the street by the front steps to numbers 19 and 21.

Existing rendered masonry to the front elevation to be repaired or replaced like for like as necessary.

New opening to be created symmetrically in front elevation for timber framed glazed doors to be set into. Doors to be set back into the facade behind traditional half brick reveals

13 Access doors to the front light well will allow for better maintenance of the area and improvement of its appearance.

ROOF

12

TO BE REFURBISHED & RE-FINISHED UNDER PERMITTED DEVELOPMENT CLASS C COMPLYING WITH THE CONDITION C.1:

(a) the alteration would not protrude more than 150mm beyond the plane of the slope of the original roof when measured perpendicular with the external surface of the original roof.

20 Existing asphalt finish to be replaced with standing seam lead roof to match the leadwork on the front dormer of the main roof.

Two conservation style rooflights added to the rear slope of the roof.

22 The relationship between the existing roof and the neighbour's existing side stair window is unchanged.

23 The existing lead flashings to numbers 19 and 21 to be retained and repaired if necessary. Any repair that affects the party wall with number 19 to be dealt with via the party wall process.

24 Existing roof structure to be repaired or replaced as necessary. Any replacement that affects the party wall with number 19 to be dealt with via the party wall process.

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REAR ELEVATION

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(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse.

Existing fabric to the rear elevation to be improved, repaired and replaced as necessary and refinished in render to match the existing.

The relationship between the rear wall of the side extension and neighbour's existing lower ground floor window is unchanged.

New opening to be created symmetrically in rear elevation for traditional timber framed concertina doors to be set into. Doors to be set back into the façade behind traditional half brick reveals.

Revision B - 25.04.14

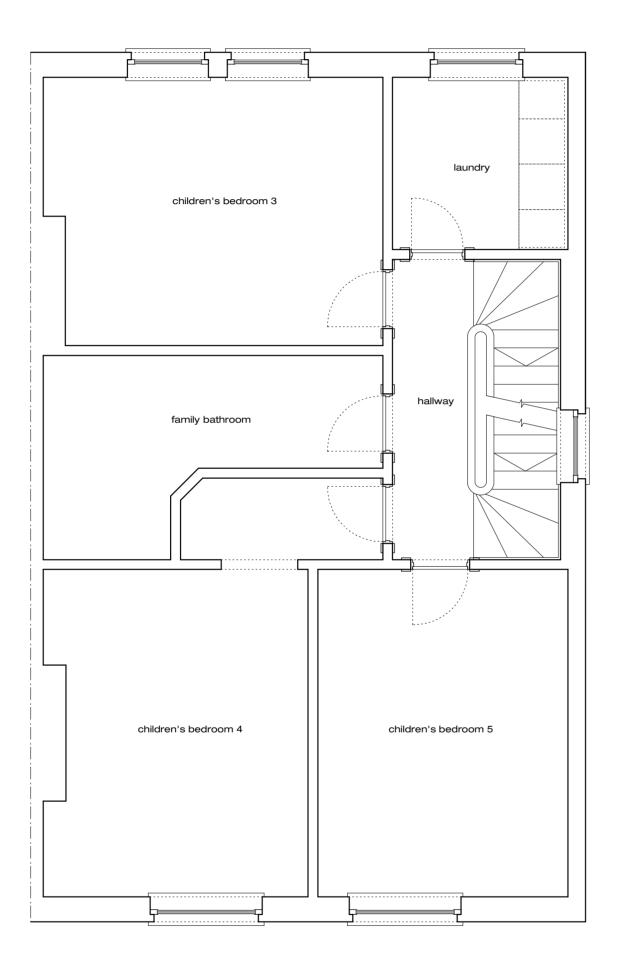
Existing eaves and guttering corrected as per existing drawings. Roof finished revised and rooflights added to rear elevations. Notes updated accordingly.

drawing title job name: 782 job number: scale drawing number: ۱В revision:

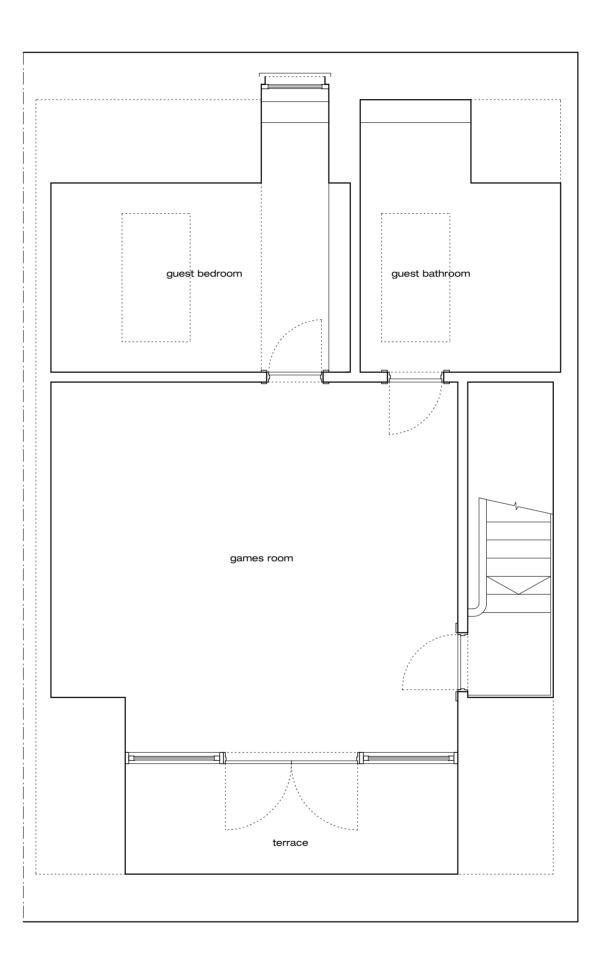
Proposed First Floor Plan Belsize Crescent 1:50@A2 17 May 2013 782/P/111



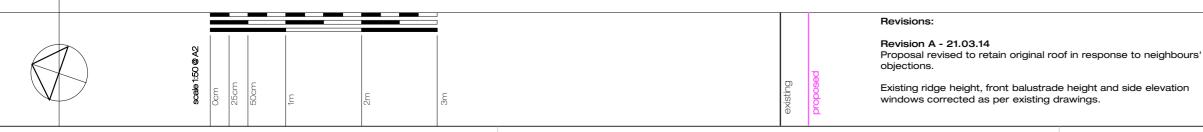
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Second Floor Plan



Third Floor Plan



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Notes:

Survey:

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Gridlines:

All gridlines centred on existing walls and/or structure at ground floor level.

Planning Key:

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(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse

The front elevation of the existing side extension is set at LGF level and

is concealed from the street by the front steps to numbers 19 and 21.

Existing rendered masonry to the front elevation to be repaired or replaced like for like as necessary.

12

New opening to be created symmetrically in front elevation for timber framed glazed doors to be set into. Doors to be set back into the facade behind traditional half brick reveals

13

Access doors to the front light well will allow for better maintenance of the area and improvement of its appearance.

ROOF

TO BE REFURBISHED & RE-FINISHED UNDER PERMITTED DEVELOPMENT CLASS C COMPLYING WITH THE CONDITION C.1:

(a) the alteration would not protrude more than 150mm beyond the plane of the slope of the original roof when measured perpendicular with the external surface of the original roof.

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Two conservation style rooflights added to the rear slope of the roof.

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Revision B - 25.04.14

Existing eaves and guttering corrected as per existing drawings. Roof finished revised and rooflights added to rear elevations. Notes updated accordingly.

drawing title job name: job number: scale drawing number: revision: В

Proposed 2F & 3F Plan Belsize Crescent 782 1:50@A2 17 May 2013 782/P/112

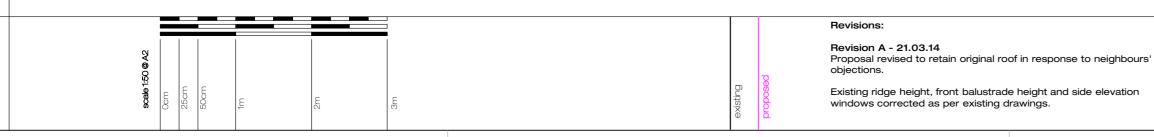






Front Site Elevation

Rear Site Elevation



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Revision B - 25.04.14

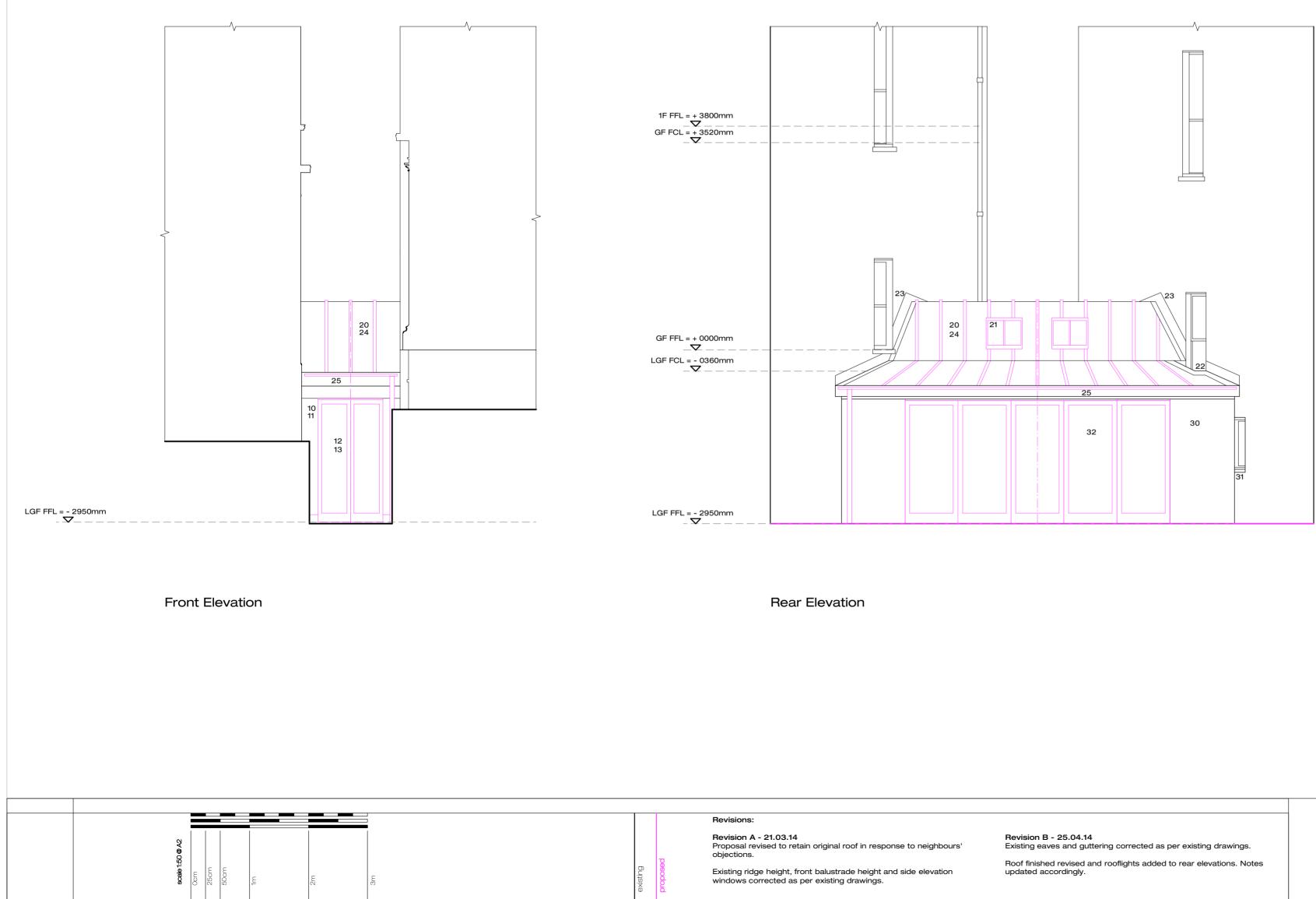
Existing eaves and guttering corrected as per existing drawings. Roof finished revised and rooflights added to rear elevations. Notes updated accordingly.

scale date: drawing number: в revision:

drawing title: Proposed Site Elevations job name: Belsize Crescent 1:100@A2 17 May 2013 782/P/210



job number: 782



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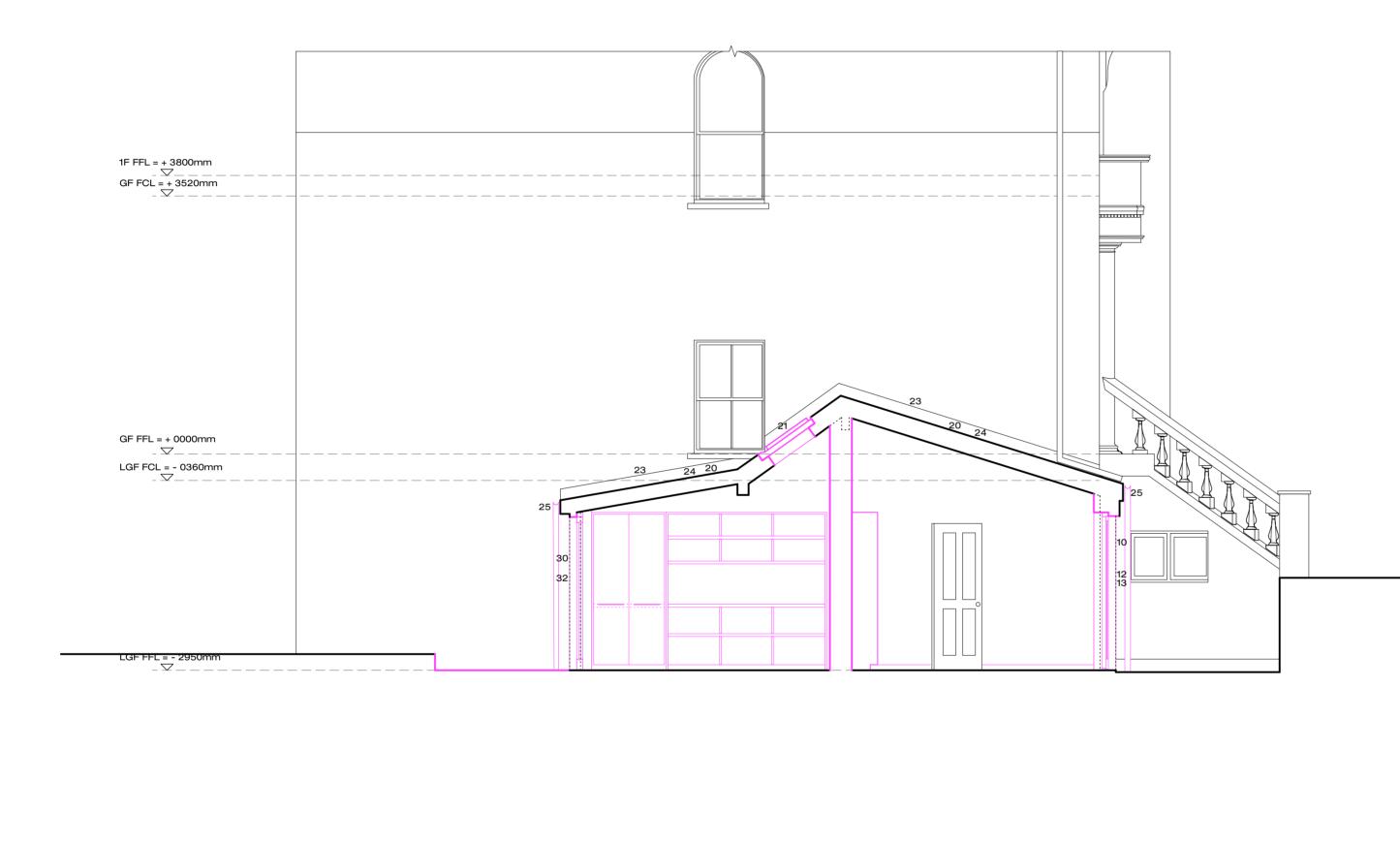
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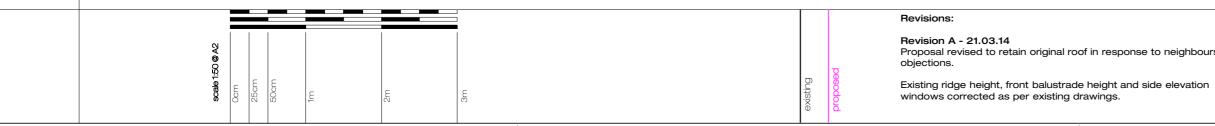
New opening to be created symmetrically in rear elevation for traditional timber framed concertina doors to be set into. Doors to be set back into the façade behind traditional half brick reveals.

drawing title: job number: 782 scale date: drawing number: 782/P/211 B revision

Proposed Front + Rear Elevation job name: Belsize Crescent 1:50@A2 17 May 2013

mik architecture & design 342 old street: shoreditch london ec1v.9ds t +44-(0)2077297729 f +44-(0)2077297791





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ROOF

24

13

12

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neighbours'	
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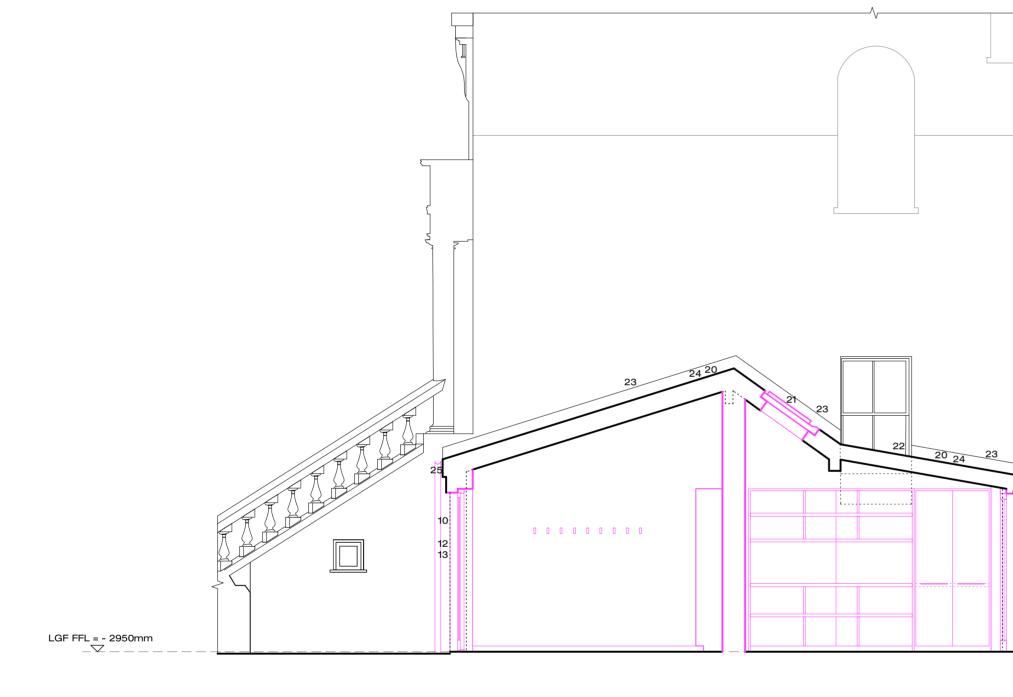
Revision B - 25.04.14

Existing eaves and guttering corrected as per existing drawings. Roof finished revised and rooflights added to rear elevations. Notes updated accordingly.

F	drawing title:
E	job name:
7	job number:
1	scale:
1	date:
7	drawing number:
E	revision:

Proposed Long Section AA Belsize Crescent 782 1:50@A2 17 May 2013 782/P/310 в





				Revisions:
scale 1:50 @ A2 0cm 50cm 1m	E E	existing	pesodoud	 Revision A - 21.03.14 Proposal revised to retain original roof in response to neighbour objections. Existing ridge height, front balustrade height and side elevation windows corrected as per existing drawings.

25 30		
31		

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ROOF

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P	drawing title:
в	job name:
7	job number:
1:	scale:
17	date:
7	drawing number:
В	revision:

Proposed Long Section BB Belsize Crescent 782 1:50@A2 17 May 2013 782/P/311

