

planning

application for certificate of lawfulness



contents:

statement	p3
location plan	p4
aerial photo	p5
site photos	p6
 records of the existing building	 p7
existing site plan	782/S/100 b
existing lower GF plan	782/S/109 b
existing raised GF plan	782/S/110 b
existing first floor plan	782/S/111 b
existing 2F & 3F plan	782/S/112 b
existing front elevation	782/S/210 b
existing side elevation	782/S/211 b
existing rear elevation	782/S/212 b
 proposed alterations	 p16
proposed site plan	782/P/100 b
proposed lower GF plan	782/P/109 b
proposed raised GF plan	782/P/110 b
proposed first floor plan	782/P/111 b
proposed 2F & 3F plan	782/P/112 b
proposed front elevation	782/P/210 b
proposed side elevation	782/P/211 b
proposed rear elevation	782/P/212 b

statement:

Number 21 Belsize Crescent is an end of terrace Victorian town house in the centre of the western side of Belsize Crescent. It is in the Belsize Village sub-area of the Belsize Conservation Area. The crescent is made up of three straight runs of terraces hinged at two corners, number 21 forms one of the corners.

Number 21 has an existing lower ground floor side extension which currently connects number 21 to number 19, its southern neighbour, that is the subject of this application. The side extension is not an original part of the Victorian fabric and is in a poor state of repair.

At the end of 2013 a Certificate of Lawfulness was given to acknowledge that the extension forms part of number 21 Belsize Crescent. With that established we are now seeking a certificate of lawfulness to refurbish the extension and bring its fabric up to a standard appropriate to the host building and the streetscape.

The proposed improvements fall within Permitted Development Classes A and C, they are as follows:

- Replacement of the existing asphalt roof finish with standing seam leadwork to match the dormer window of the main roof.
- Addition of two roof lights to the rear roof slope.
- Repairs to the existing rendered front and rear elevations.
- Enlargement of the existing front and rear window openings and installation of traditional timber framed doors.

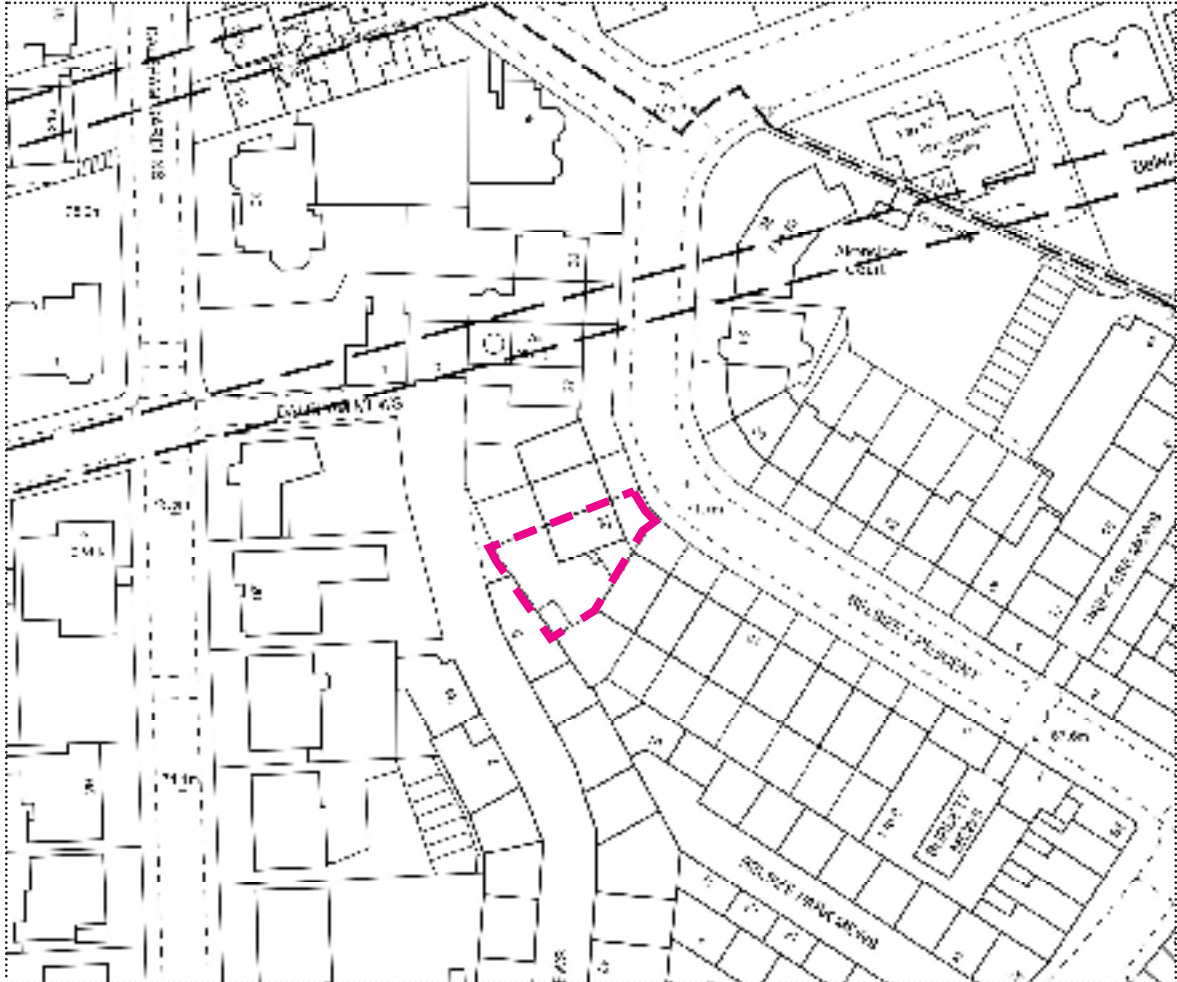
We have enclosed photographs and drawings of the existing building alongside annotated drawings of the proposed alterations.

notes:

Belsize Park Tube Sign
Numbers 19 and 21 Belsize Crescent
Belsize Village Shops



location plan:



scale 1:1250

aerial photo:



site photos 1/2:



1



2



3



4



5



6

key:

- number 21 1
- front elevation of number 19 + 21 2
- front elevation of side elevation 3
- rear elevation of main house 4
- side extension roof + flank walls of 19 + 21 5
- rear elevation of side extension 6
- aerial view 7
- interior view of side extension 1 8
- interior view of side extension 1 9



7



8



9

existing site plan
existing lower GF plan
existing raised GF plan
existing first floor plan
existing 2F & 3F plans
existing front elevation
existing side elevation
existing rear elevation

782/S/100 b
782/S/109 b
782/S/110 b
782/S/111 b
782/S/112 b
782/S/210 b
782/S/211 b
782/S/212 b

existing

records of the existing building

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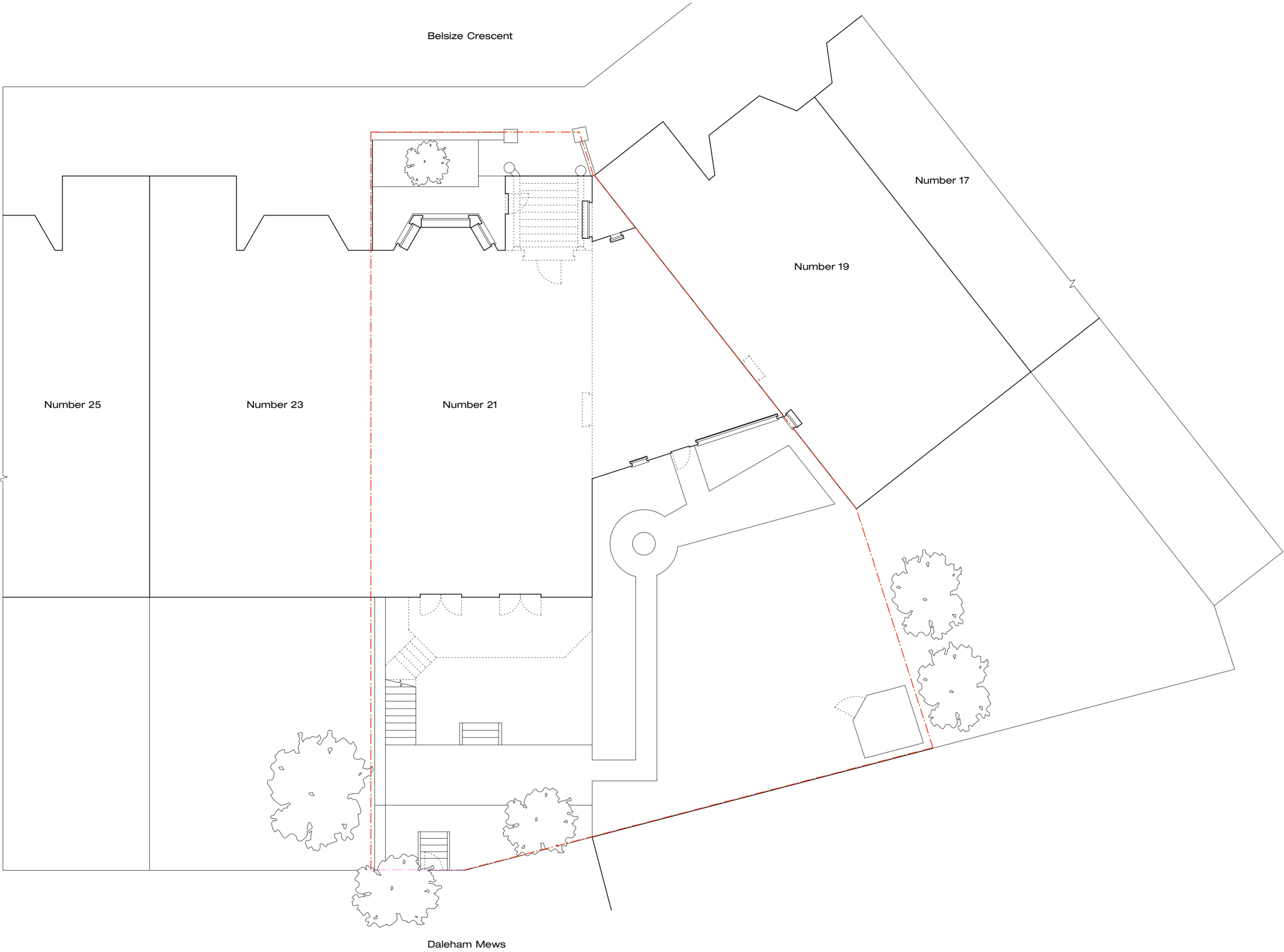
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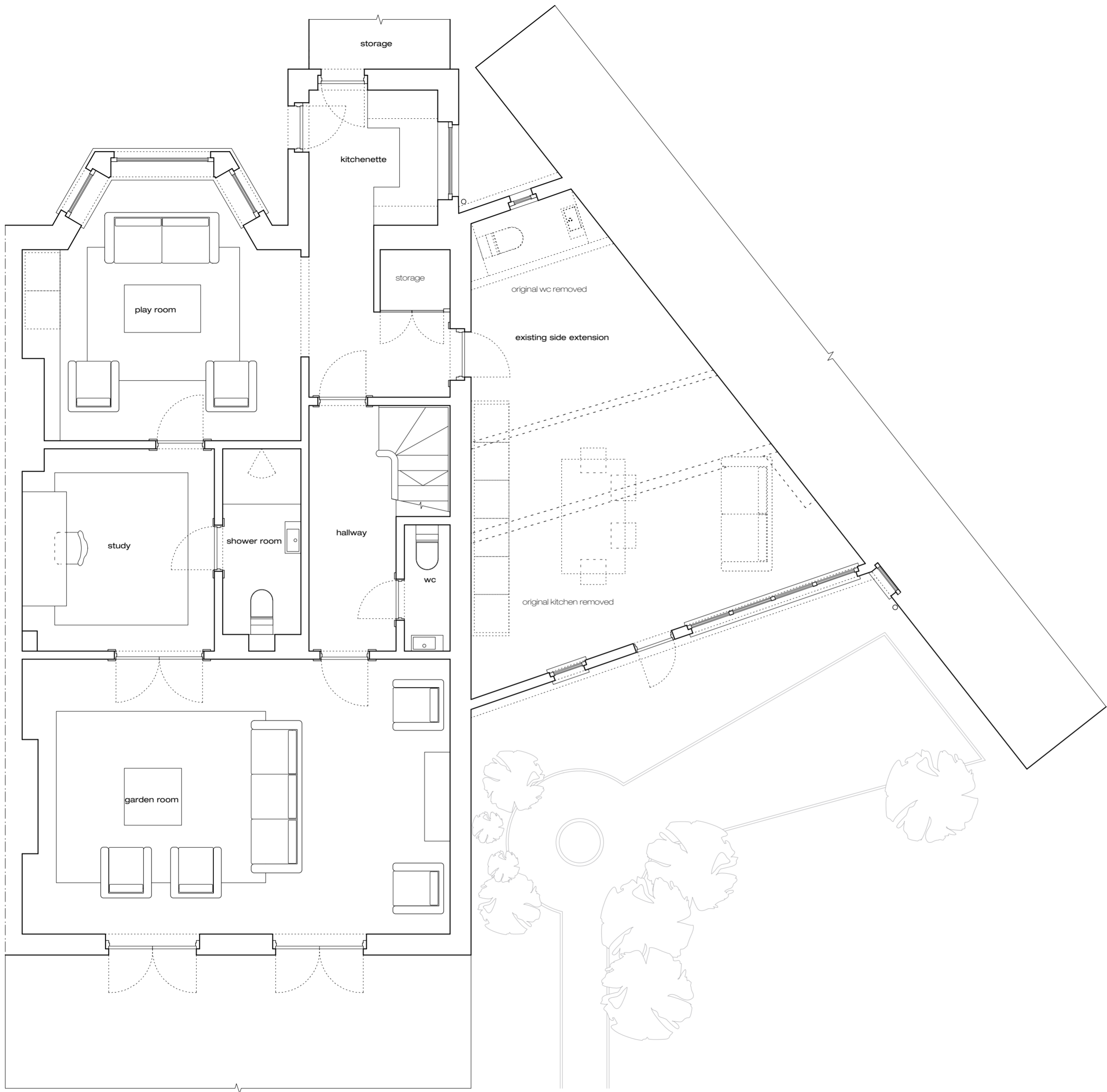
Survey:

These drawings have been based on OS maps and survey drawings by others. Spots checks have been carried out to ensure reasonable accuracy for planning purposes.

Gridlines:

All gridlines centred on existing walls and/or structure at ground floor level.





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Notes:

Survey:

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Gridlines:

All gridlines centred on existing walls and/or structure at ground floor level.

Revisions:

Revision A - 09.09.13
Proposal revised to retain original roof in response to neighbours' objections.

Existing ridge height, front balustrade height and side elevation windows corrected

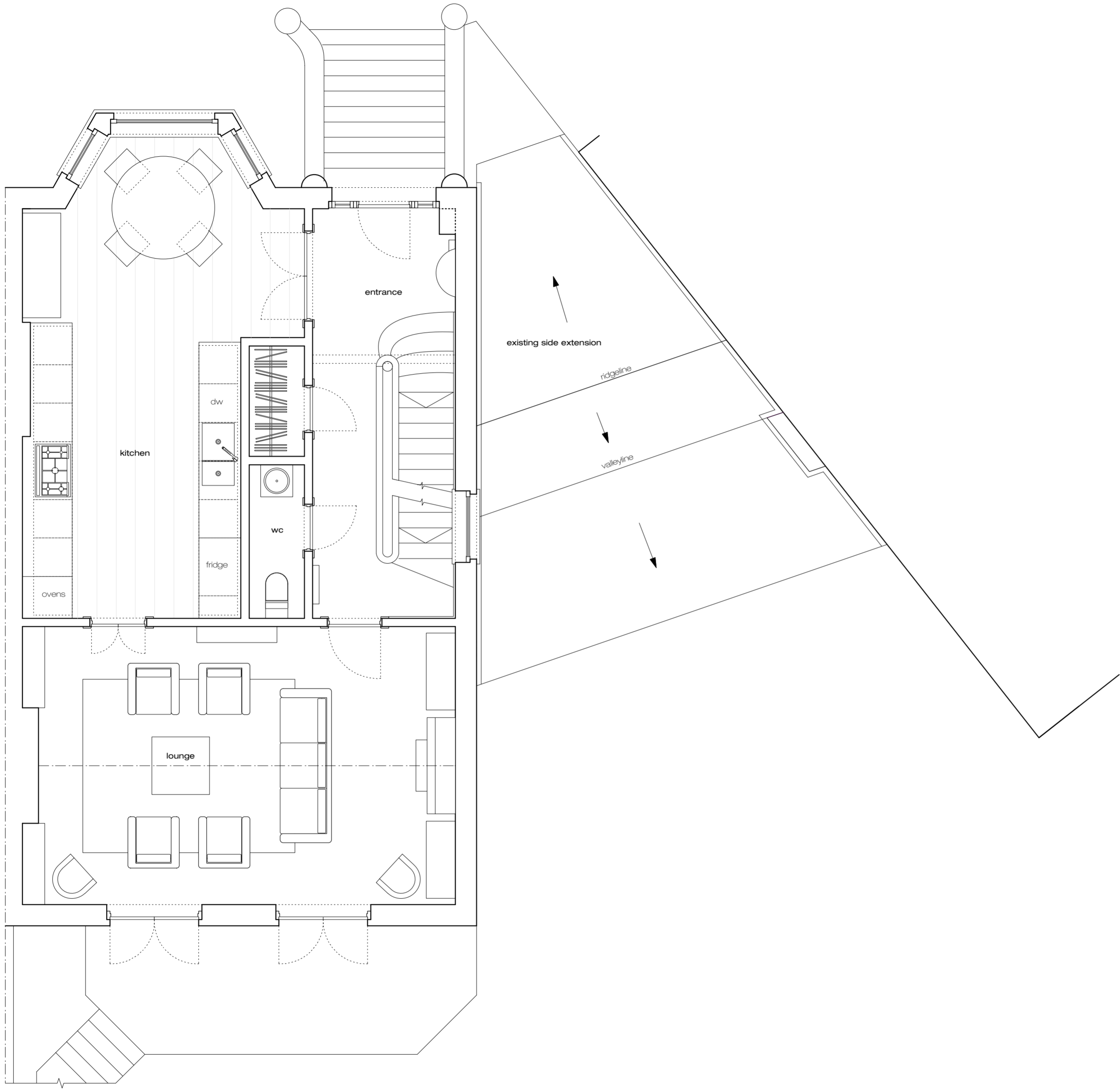
Revision B - 25.04.14
Existing eaves and guttering corrected.

drawing title:
job name:
job number:
scale:
date:
drawing number:
revision:

Existing Lower GF Plan
Belsize Crescent
782
1:50@A2
30 June 2011
782/S/109
B

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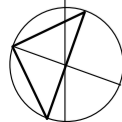
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Survey:

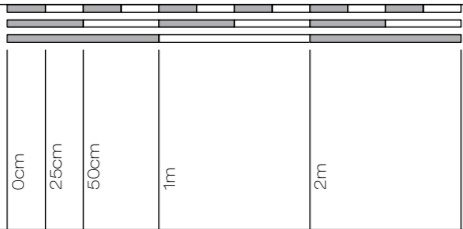
These drawings have been based on survey drawings by others. Spots checks have been carried out to establish deviations from the original survey.

Gridlines:

All gridlines centred on existing walls and/or structure at ground floor level.



scale 1:50 @ A2



Revisions:

Revision A - 09.09.13
Proposal revised to retain original roof in response to neighbours' objections.

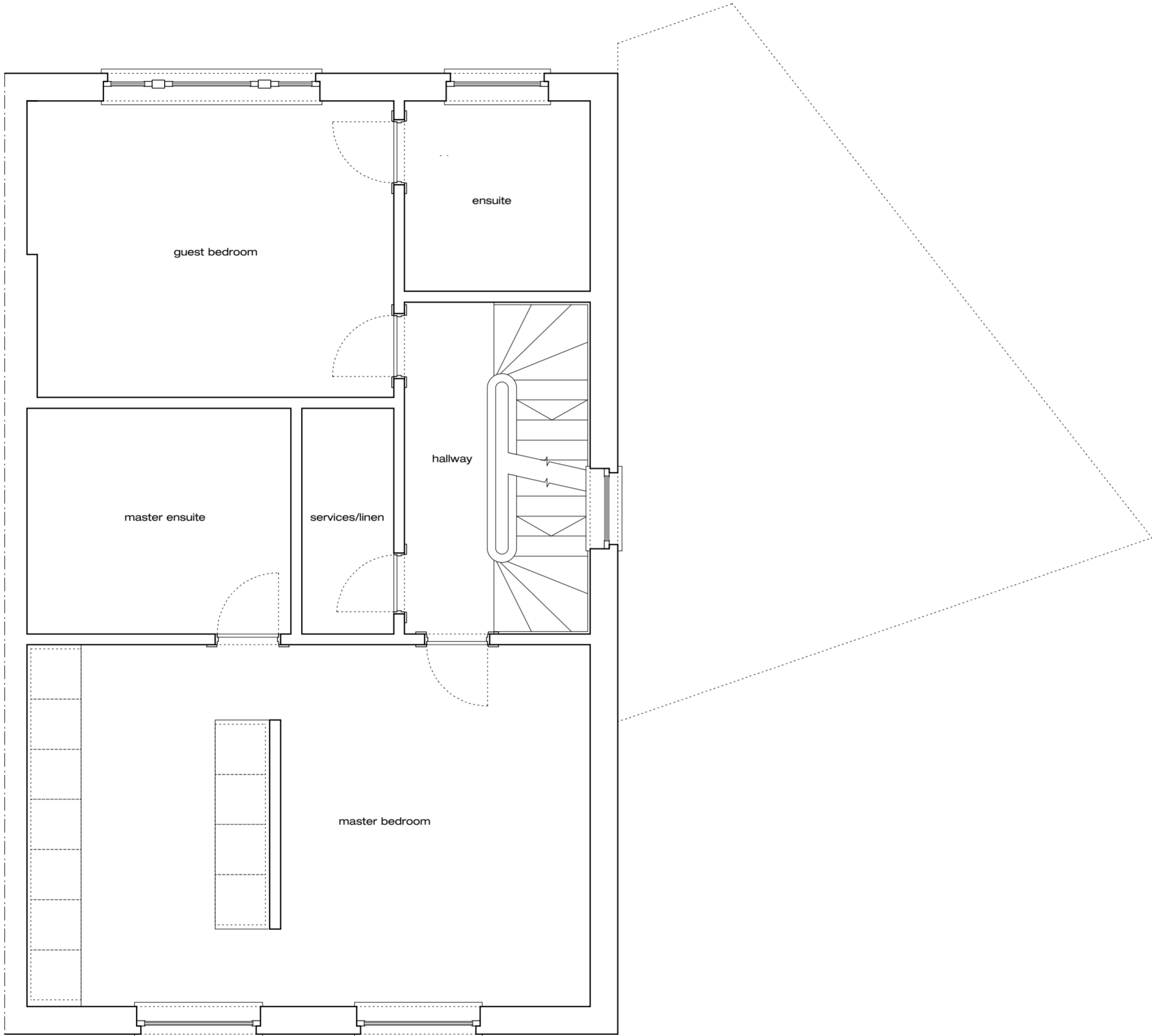
Existing ridge height, front balustrade height and side elevation windows corrected

Revision B - 25.04.14
Existing eaves and guttering corrected.

drawing title:
job name:
job number:
scale:
date:
drawing number:
revision:

Existing Raised GF Plan
Belsize Crescent
782
1:50@A2
30 June 2011
782/S/110
B

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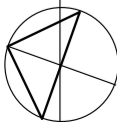
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Survey:

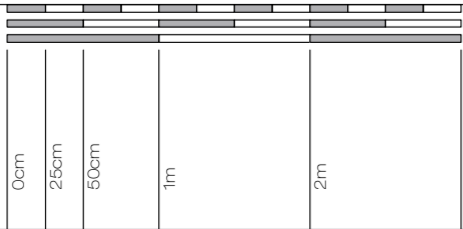
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Gridlines:

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scale 1:50 @ A2



Revisions:

Revision A - 09.09.13
Proposal revised to retain original roof in response to neighbours' objections.

Existing ridge height, front balustrade height and side elevation windows corrected

Revision B - 25.04.14
Existing eaves and guttering corrected.

drawing title:
job name:
job number:
scale:
date:
drawing number:
revision:

Existing First Floor Plan
Belsize Crescent
782
1:50@A2
30 June 2011
782/S/111
B



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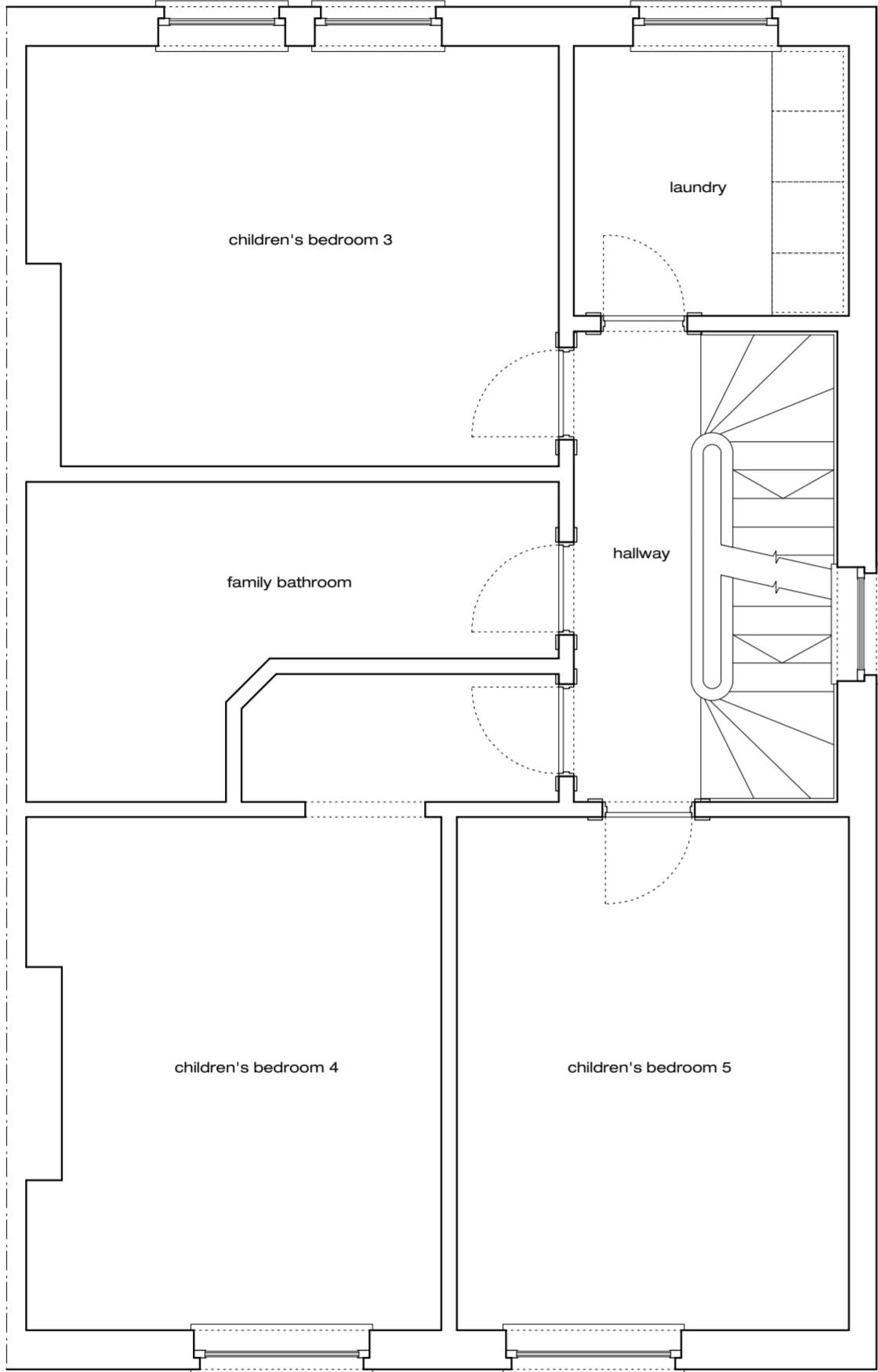
Notes:

Survey:

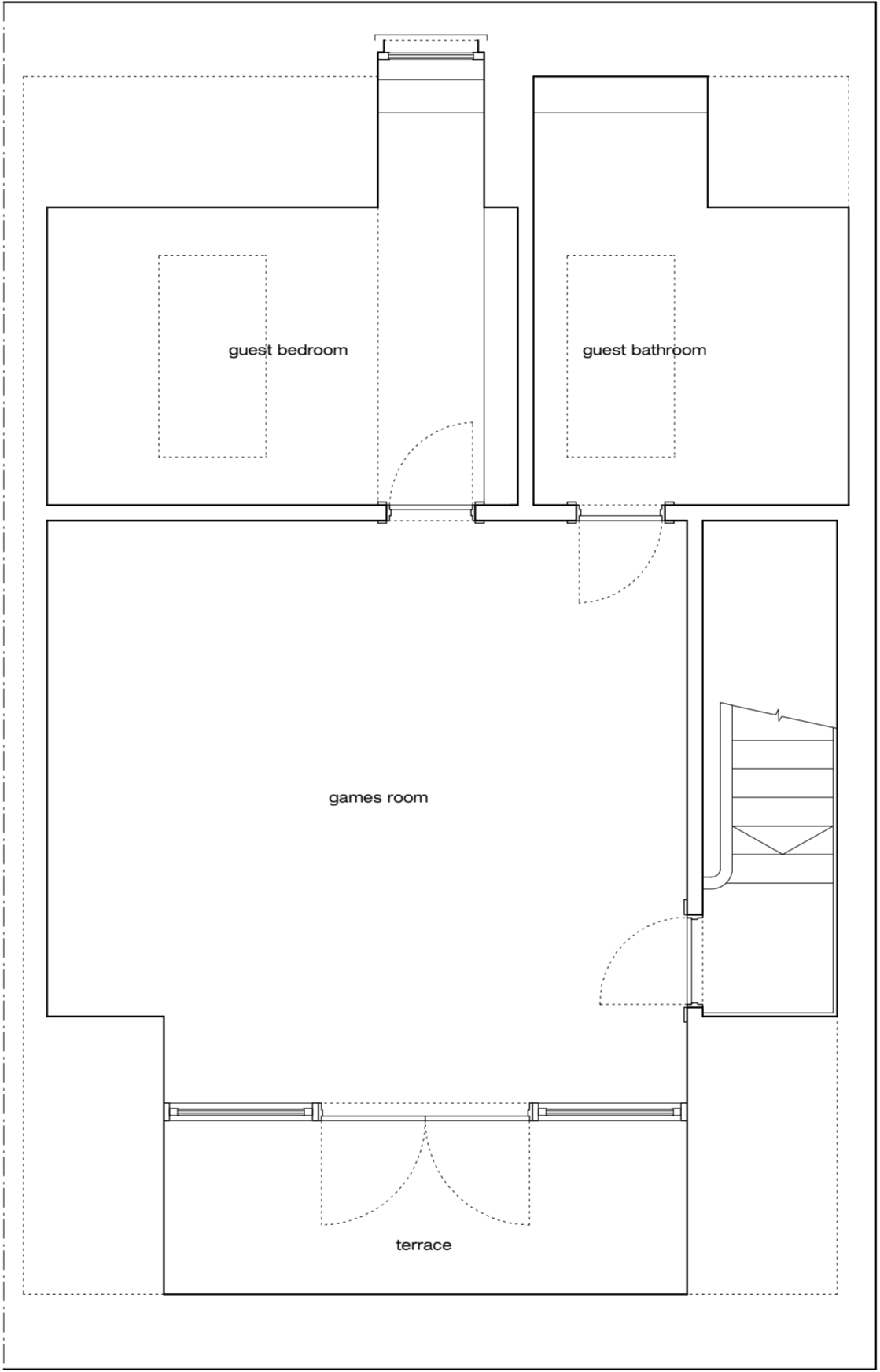
These drawings have been based on survey drawings by others. Spots checks have been carried out to establish deviations from the original survey.

Gridlines:

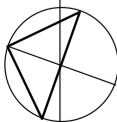
All gridlines centred on existing walls and/or structure at ground floor level.



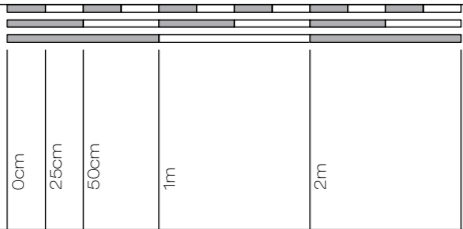
Second Floor Plan



Third Floor Plan



scale 1:50 @ A2



Revisions:

Revision A - 09.09.13
Proposal revised to retain original roof in response to neighbours' objections.

Existing ridge height, front balustrade height and side elevation windows corrected

Revision B - 25.04.14
Existing eaves and guttering corrected.

drawing title:
job name:
job number:
scale:
date:
drawing number:
revision:

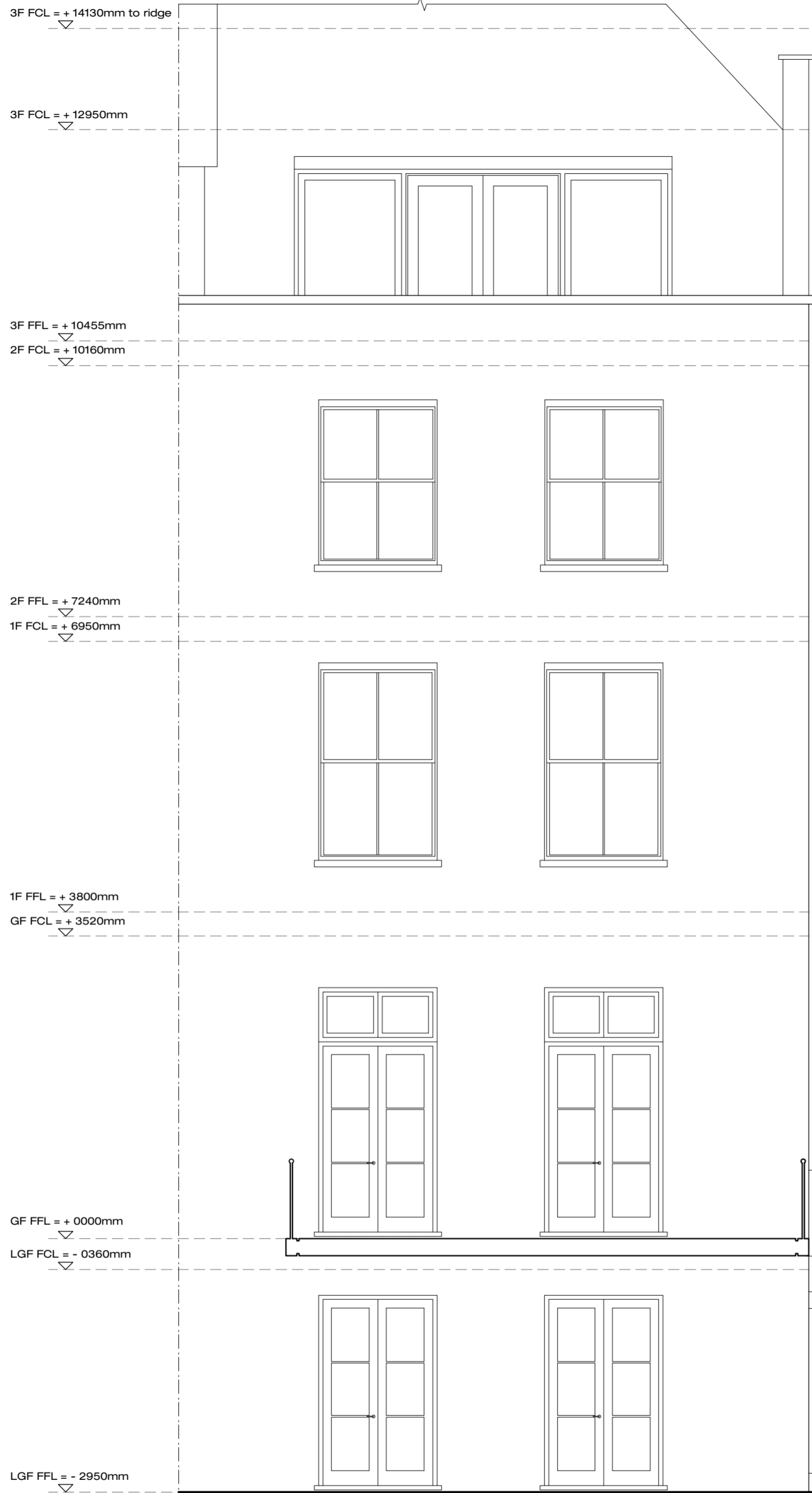
Existing 2F & 3F Plan
Belsize Crescent
782
1:50@A2
30 June 2011
782/S/112
B

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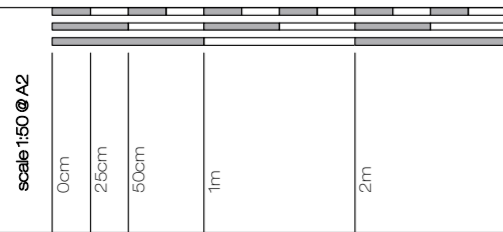
LGF FFL = - 2950mm

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Revisions:
Revision A - 09.09.13
Proposal revised to retain original roof in response to neighbours' objections.
Existing ridge height, front balustrade height and side elevation windows corrected
Revision B - 25.04.14
Existing eaves and guttering corrected.

drawing title:
job name:
job number:
scale:
date:
drawing number:
revision:

Existing Rear Elevation
Belsize Crescent
782
1:50@A2
30 June 2011
782/S/212
B



proposed site plan
proposed lower GF plan
proposed raised GF plan
proposed first floor plan
proposed 2F & 3F plan
proposed front elevation
proposed side elevation
proposed rear elevation

782/P/100 b
782/P/109 b
782/P/110 b
782/P/111 b
782/P/112 b
782/P/210 b
782/P/211 b
782/P/212 b

proposed

proposed alterations

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Notes:

Survey:

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Gridlines:

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Planning Key:

FRONT ELEVATION

TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A COMPLYING WITH THE CONDITION A.3:

(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse

10
The front elevation of the existing side extension is set at LGF level and is concealed from the street by the front steps to numbers 19 and 21.

11
Existing rendered masonry to the front elevation to be repaired or replaced like for like as necessary.

12
New opening to be created symmetrically in front elevation for timber framed glazed doors to be set into. Doors to be set back into the facade behind traditional half brick reveals.

13
Access doors to the front light well will allow for better maintenance of the area and improvement of its appearance.

ROOF

TO BE REFURBISHED & RE-FINISHED UNDER PERMITTED DEVELOPMENT CLASS C COMPLYING WITH THE CONDITION C.1:

(a) the alteration would not protrude more than 150mm beyond the plane of the slope of the original roof when measured perpendicular with the external surface of the original roof.

20
Existing asphalt finish to be replaced with standing seam lead roof to match the leadwork on the front dormer of the main roof.

21
Two conservation style rooflights added to the rear slope of the roof.

22
The relationship between the existing roof and the neighbour's existing side stair window is unchanged.

23
The existing lead flashings to numbers 19 and 21 to be retained and repaired if necessary. Any repair that affects the party wall with number 19 to be dealt with via the party wall process.

24
Existing roof structure to be repaired or replaced as necessary. Any replacement that affects the party wall with number 19 to be dealt with via the party wall process.

25
Existing fascia boards to be refurbished or replaced like for like and new leadwork lapped into new gutters and downpipes to match existing.

REAR ELEVATION

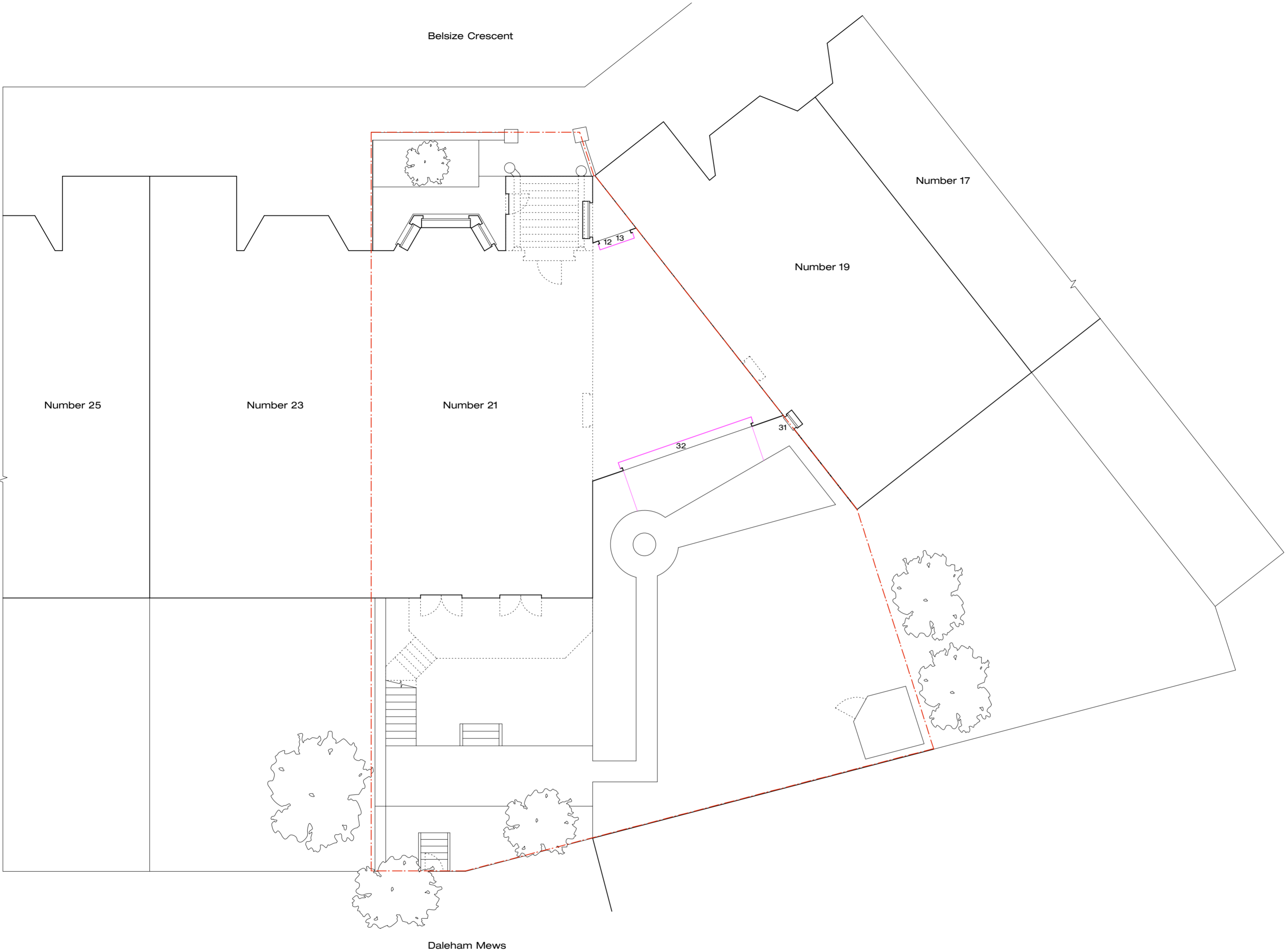
TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A FOLLOWING THE CONDITION A.3:

(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse.

30
Existing fabric to the rear elevation to be improved, repaired and replaced as necessary and refinished in render to match the existing.

31
The relationship between the rear wall of the side extension and neighbour's existing lower ground floor window is unchanged.

32
New opening to be created symmetrically in rear elevation for traditional timber framed concertina doors to be set into. Doors to be set back into the façade behind traditional half brick reveals.



Revisions:

Revision A - 21.03.14
Proposal revised to retain original roof in response to neighbours' objections.

Existing ridge height, front balustrade height and side elevation windows corrected as per existing drawings.

Revision B - 25.04.14
Existing eaves and guttering corrected as per existing drawings.

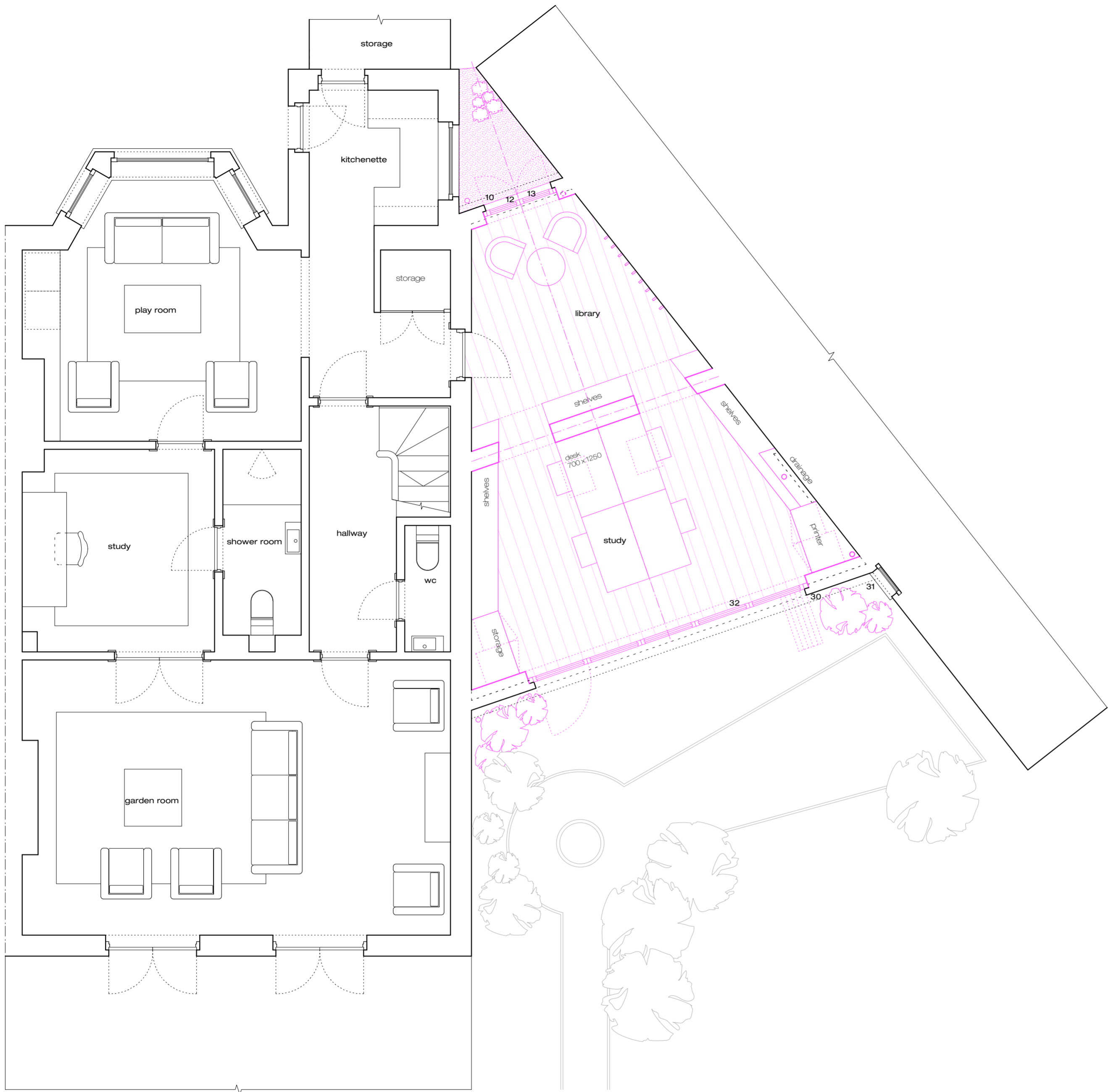
Roof finished revised and rooflights added to rear elevations. Notes updated accordingly.

drawing title
job name
job number
scale
date
drawing number
revision

Proposed Site Plan
Belsize Crescent
782
1:100@A2
17 May 2013
782/P/100
B

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Notes:

Survey:

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Gridlines:

All gridlines centred on existing walls and/or structure at ground floor level.

Planning Key:

FRONT ELEVATION

TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A COMPLYING WITH THE CONDITION A.3:

(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse

10
The front elevation of the existing side extension is set at LGF level and is concealed from the street by the front steps to numbers 19 and 21.

11
Existing rendered masonry to the front elevation to be repaired or replaced like for like as necessary.

12
New opening to be created symmetrically in front elevation for timber framed glazed doors to be set into. Doors to be set back into the facade behind traditional half brick reveals.

13
Access doors to the front light well will allow for better maintenance of the area and improvement of its appearance.

ROOF

TO BE REFURBISHED & RE-FINISHED UNDER PERMITTED DEVELOPMENT CLASS C COMPLYING WITH THE CONDITION C.1:

(a) the alteration would not protrude more than 150mm beyond the plane of the slope of the original roof when measured perpendicular with the external surface of the original roof.

20
Existing asphalt finish to be replaced with standing seam lead roof to match the leadwork on the front dormer of the main roof.

21
Two conservation style rooflights added to the rear slope of the roof.

22
The relationship between the existing roof and the neighbour's existing side stair window is unchanged.

23
The existing lead flashings to numbers 19 and 21 to be retained and repaired if necessary. Any repair that affects the party wall with number 19 to be dealt with via the party wall process.

24
Existing roof structure to be repaired or replaced as necessary. Any replacement that affects the party wall with number 19 to be dealt with via the party wall process.

25
Existing fascia boards to be refurbished or replaced like for like and new leadwork lapped into new gutters and downpipes to match existing.

REAR ELEVATION

TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A FOLLOWING THE CONDITION A.3:

(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse.

30
Existing fabric to the rear elevation to be improved, repaired and replaced as necessary and refinished in render to match the existing.

31
The relationship between the rear wall of the side extension and neighbour's existing lower ground floor window is unchanged.

32
New opening to be created symmetrically in rear elevation for traditional timber framed concertina doors to be set into. Doors to be set back into the facade behind traditional half brick reveals.

Revisions:

Revision A - 21.03.14
Proposal revised to retain original roof in response to neighbours' objections.

Existing ridge height, front balustrade height and side elevation windows corrected as per existing drawings.

Revision B - 25.04.14
Existing eaves and guttering corrected as per existing drawings.

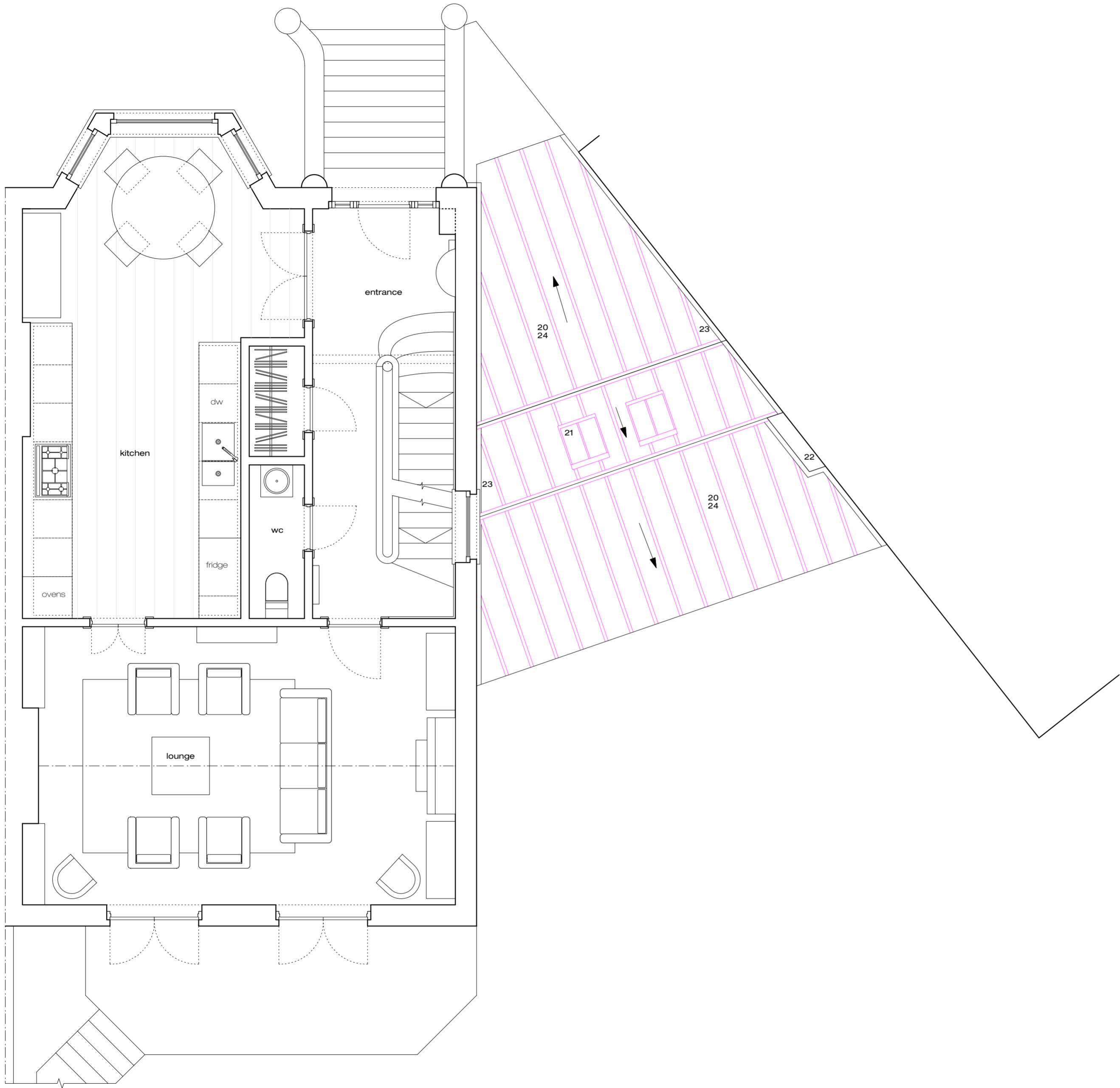
Roof finished revised and rooflights added to rear elevations. Notes updated accordingly.

drawing title
job name
job number
scale
date
drawing number
revision

Proposed Lower GF Plan
Belsize Crescent
782
1:50@A2
17 May 2013
782/P/109
B

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Notes:

Survey:

These drawings have been based on survey drawings by others. All setting out to be checked on site before construction.

Gridlines:

All gridlines centred on existing walls and/or structure at ground floor level.

Planning Key:

FRONT ELEVATION

TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A COMPLYING WITH THE CONDITION A.3:

(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse

10
The front elevation of the existing side extension is set at LGF level and is concealed from the street by the front steps to numbers 19 and 21.

11
Existing rendered masonry to the front elevation to be repaired or replaced like for like as necessary.

12
New opening to be created symmetrically in front elevation for timber framed glazed doors to be set into. Doors to be set back into the facade behind traditional half brick reveals.

13
Access doors to the front light well will allow for better maintenance of the area and improvement of its appearance.

ROOF

TO BE REFURBISHED & RE-FINISHED UNDER PERMITTED DEVELOPMENT CLASS C COMPLYING WITH THE CONDITION C.1:

(a) the alteration would not protrude more than 150mm beyond the plane of the slope of the original roof when measured perpendicular with the external surface of the original roof.

20
Existing asphalt finish to be replaced with standing seam lead roof to match the leadwork on the front dormer of the main roof.

21
Two conservation style rooflights added to the rear slope of the roof.

22
The relationship between the existing roof and the neighbour's existing side stair window is unchanged.

23
The existing lead flashings to numbers 19 and 21 to be retained and repaired if necessary. Any repair that affects the party wall with number 19 to be dealt with via the party wall process.

24
Existing roof structure to be repaired or replaced as necessary. Any replacement that affects the party wall with number 19 to be dealt with via the party wall process.

25
Existing fascia boards to be refurbished or replaced like for like and new leadwork lapped into new gutters and downpipes to match existing.

REAR ELEVATION

TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A FOLLOWING THE CONDITION A.3:

(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse.

30
Existing fabric to the rear elevation to be improved, repaired and replaced as necessary and refinished in render to match the existing.

31
The relationship between the rear wall of the side extension and neighbour's existing lower ground floor window is unchanged.

32
New opening to be created symmetrically in rear elevation for traditional timber framed concertina doors to be set into. Doors to be set back into the façade behind traditional half brick reveals.

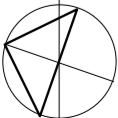
Revisions:

Revision A - 21.03.14
Proposal revised to retain original roof in response to neighbours' objections.

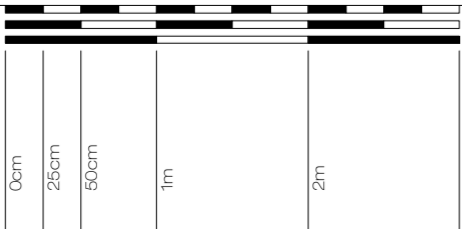
Existing ridge height, front balustrade height and side elevation windows corrected as per existing drawings.

Revision B - 25.04.14
Existing eaves and guttering corrected as per existing drawings.

Roof finished revised and rooflights added to rear elevations. Notes updated accordingly.



scale 1:50 @ A2



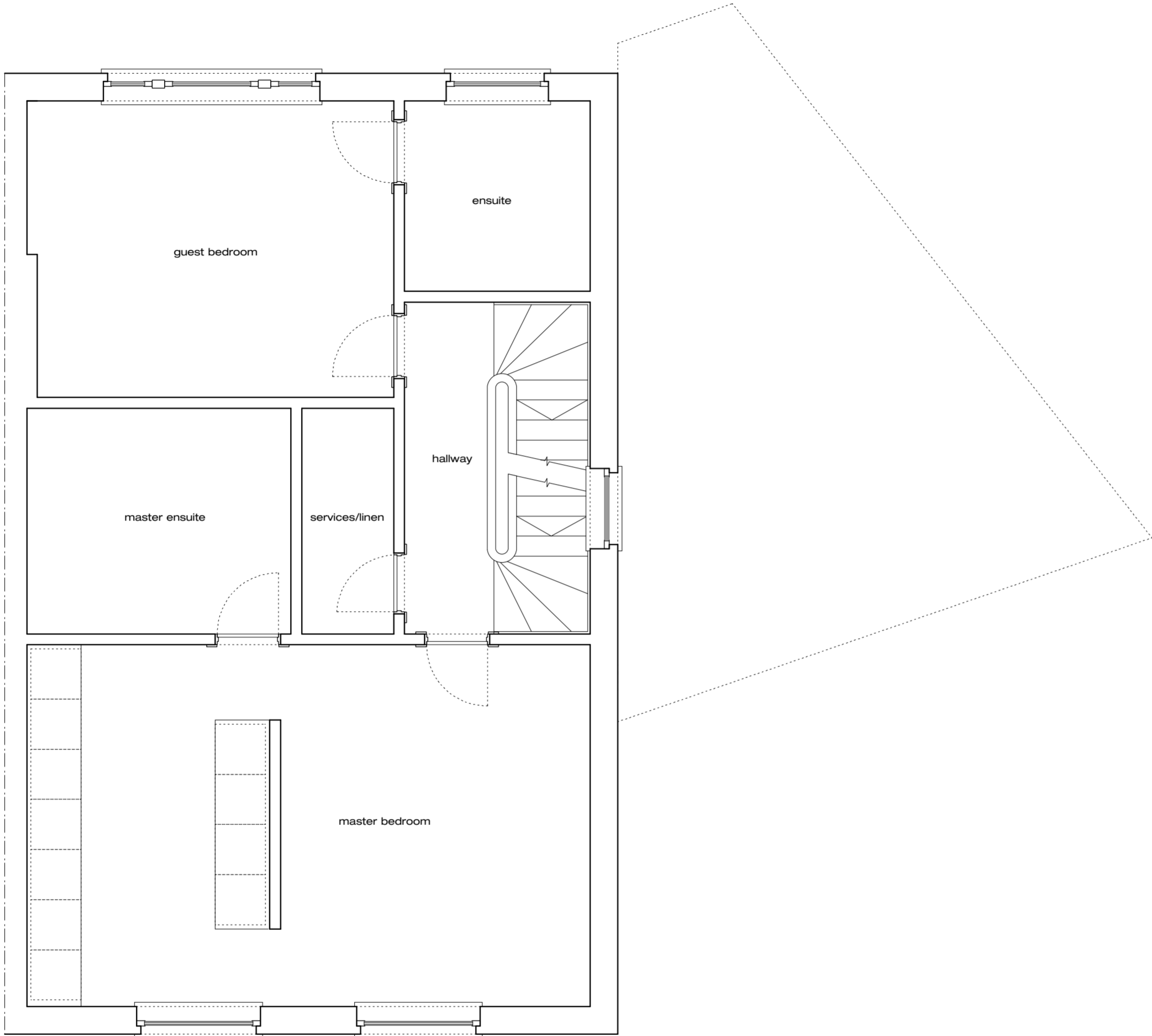
existing

proposed

drawing title
job name
job number
scale
date
drawing number
revision

Proposed Raised GF Plan
Belsize Crescent
782
1:50@A2
17 May 2013
782/P/110
B





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Notes:

Survey:

These drawings have been based on survey drawings by others. All setting out to be checked on site before construction.

Gridlines:

All gridlines centred on existing walls and/or structure at ground floor level.

Planning Key:

FRONT ELEVATION

TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A COMPLYING WITH THE CONDITION A.3:

(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse

10
The front elevation of the existing side extension is set at LGF level and is concealed from the street by the front steps to numbers 19 and 21.

11
Existing rendered masonry to the front elevation to be repaired or replaced like for like as necessary.

12
New opening to be created symmetrically in front elevation for timber framed glazed doors to be set into. Doors to be set back into the facade behind traditional half brick reveals.

13
Access doors to the front light well will allow for better maintenance of the area and improvement of its appearance.

ROOF

TO BE REFURBISHED & RE-FINISHED UNDER PERMITTED DEVELOPMENT CLASS C COMPLYING WITH THE CONDITION C.1:

(a) the alteration would not protrude more than 150mm beyond the plane of the slope of the original roof when measured perpendicular with the external surface of the original roof.

20
Existing asphalt finish to be replaced with standing seam lead roof to match the leadwork on the front dormer of the main roof.

21
Two conservation style rooflights added to the rear slope of the roof.

22
The relationship between the existing roof and the neighbour's existing side stair window is unchanged.

23
The existing lead flashings to numbers 19 and 21 to be retained and repaired if necessary. Any repair that affects the party wall with number 19 to be dealt with via the party wall process.

24
Existing roof structure to be repaired or replaced as necessary. Any replacement that affects the party wall with number 19 to be dealt with via the party wall process.

25
Existing fascia boards to be refurbished or replaced like for like and new leadwork lapped into new gutters and downpipes to match existing.

REAR ELEVATION

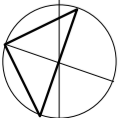
TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A FOLLOWING THE CONDITION A.3:

(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse.

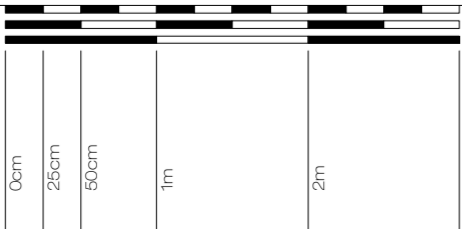
30
Existing fabric to the rear elevation to be improved, repaired and replaced as necessary and refinished in render to match the existing.

31
The relationship between the rear wall of the side extension and neighbour's existing lower ground floor window is unchanged.

32
New opening to be created symmetrically in rear elevation for traditional timber framed concertina doors to be set into. Doors to be set back into the façade behind traditional half brick reveals.



scale 1:50 @ A2



existing

proposed

Revisions:

Revision A - 21.03.14
Proposal revised to retain original roof in response to neighbours' objections.

Existing ridge height, front balustrade height and side elevation windows corrected as per existing drawings.

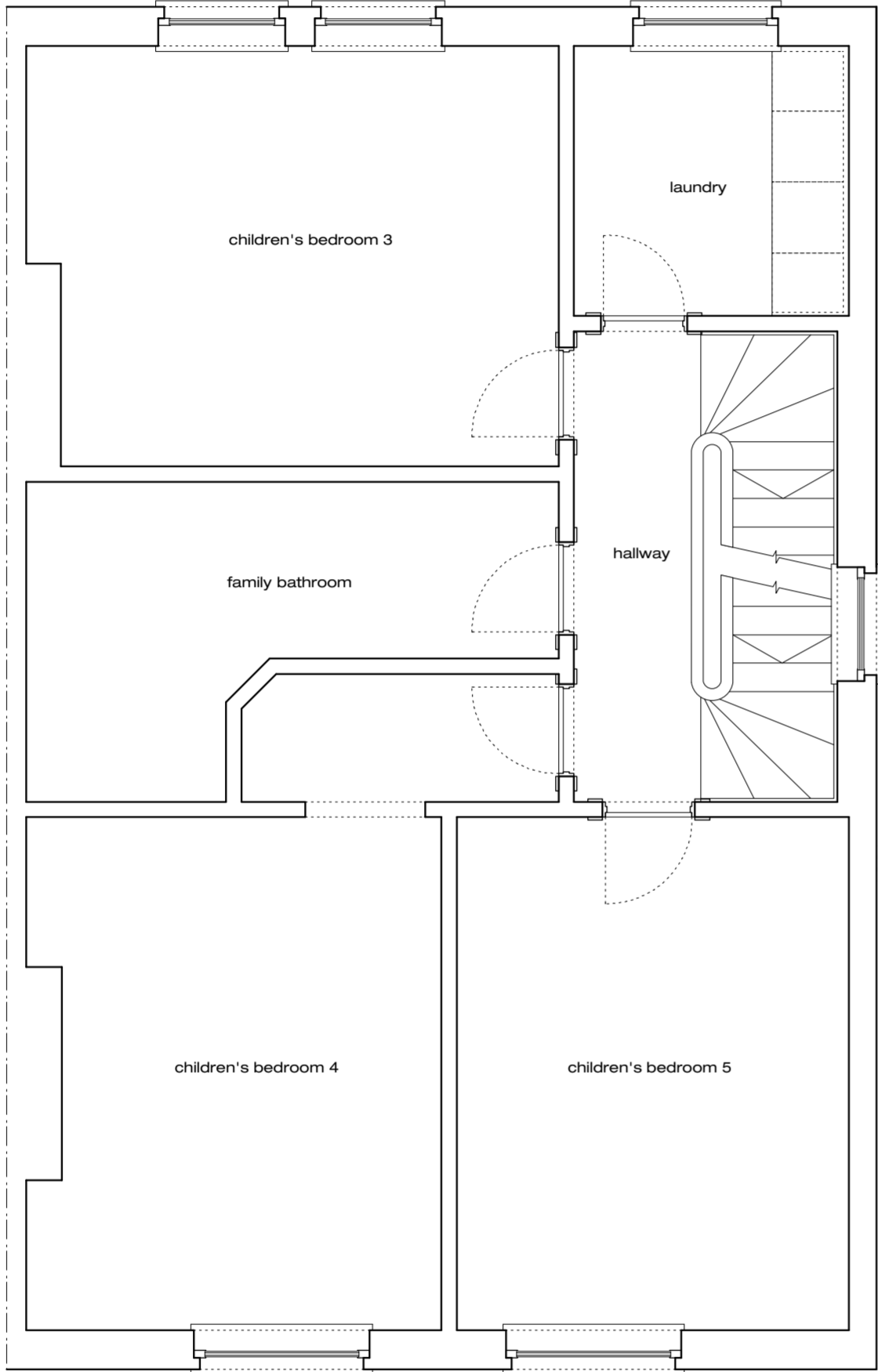
Revision B - 25.04.14
Existing eaves and guttering corrected as per existing drawings.

Roof finished revised and rooflights added to rear elevations. Notes updated accordingly.

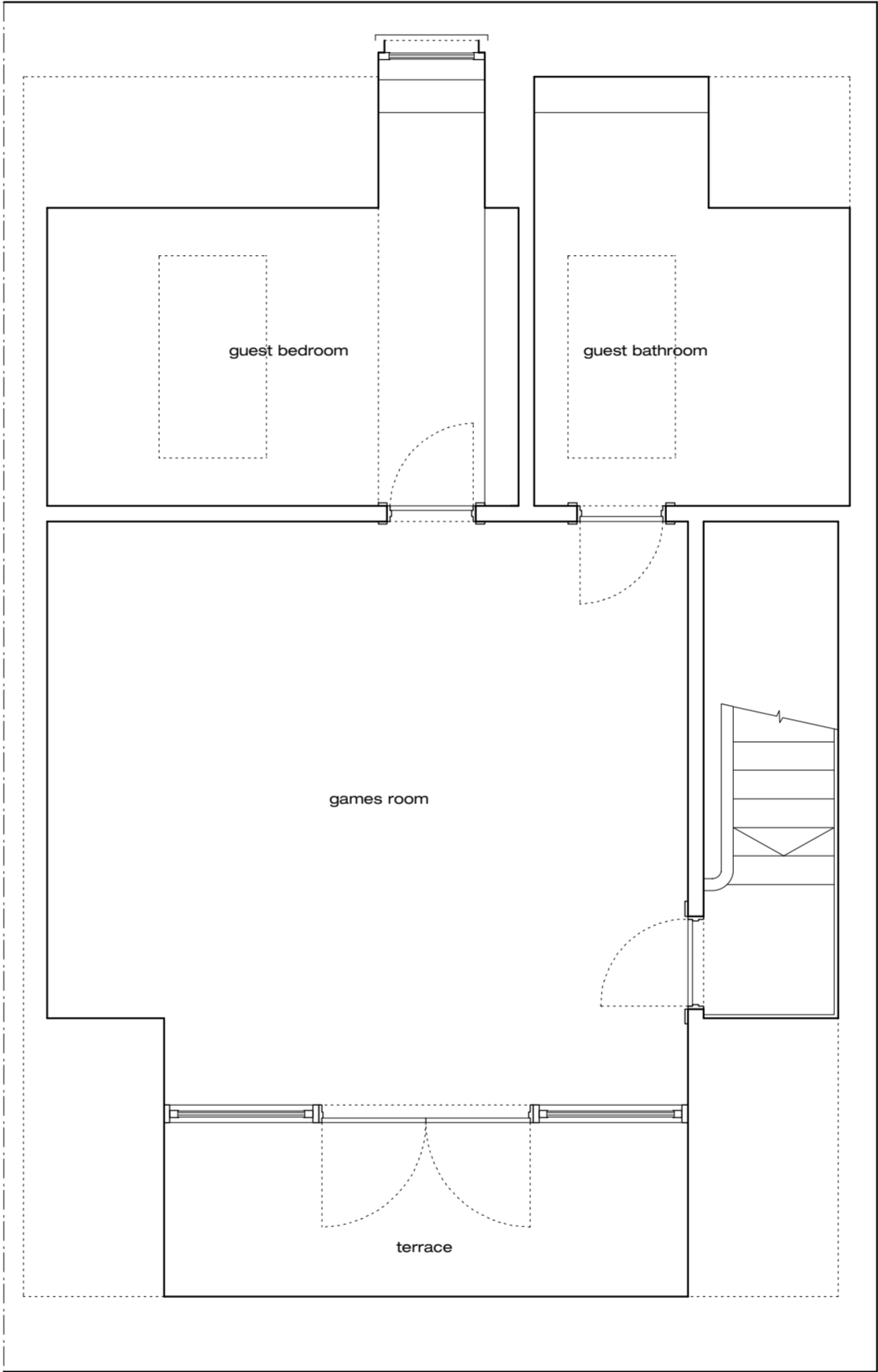
drawing title
job name
job number
scale
date
drawing number
revision

Proposed First Floor Plan
Belsize Crescent
782
1:50@A2
17 May 2013
782/P/111
B





Second Floor Plan



Third Floor Plan

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Notes:

Survey:

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Gridlines:

All gridlines centred on existing walls and/or structure at ground floor level.

Planning Key:

FRONT ELEVATION

TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A COMPLYING WITH THE CONDITION A.3:

(a) the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse

10
The front elevation of the existing side extension is set at LGF level and is concealed from the street by the front steps to numbers 19 and 21.

11
Existing rendered masonry to the front elevation to be repaired or replaced like for like as necessary.

12
New opening to be created symmetrically in front elevation for timber framed glazed doors to be set into. Doors to be set back into the facade behind traditional half brick reveals.

13
Access doors to the front light well will allow for better maintenance of the area and improvement of its appearance.

ROOF

TO BE REFURBISHED & RE-FINISHED UNDER PERMITTED DEVELOPMENT CLASS C COMPLYING WITH THE CONDITION C.1:

(a) the alteration would not protrude more than 150mm beyond the plane of the slope of the original roof when measured perpendicular with the external surface of the original roof.

20
Existing asphalt finish to be replaced with standing seam lead roof to match the leadwork on the front dormer of the main roof.

21
Two conservation style rooflights added to the rear slope of the roof.

22
The relationship between the existing roof and the neighbour's existing side stair window is unchanged.

23
The existing lead flashings to numbers 19 and 21 to be retained and repaired if necessary. Any repair that affects the party wall with number 19 to be dealt with via the party wall process.

24
Existing roof structure to be repaired or replaced as necessary. Any replacement that affects the party wall with number 19 to be dealt with via the party wall process.

25
Existing fascia boards to be refurbished or replaced like for like and new leadwork lapped into new gutters and downpipes to match existing.

REAR ELEVATION

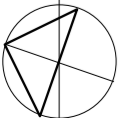
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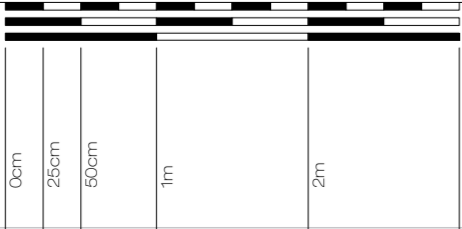
30
Existing fabric to the rear elevation to be improved, repaired and replaced as necessary and refinished in render to match the existing.

31
The relationship between the rear wall of the side extension and neighbour's existing lower ground floor window is unchanged.

32
New opening to be created symmetrically in rear elevation for traditional timber framed concertina doors to be set into. Doors to be set back into the façade behind traditional half brick reveals.



scale 1:50 @ A2



existing

proposed

Revisions:

Revision A - 21.03.14
Proposal revised to retain original roof in response to neighbours' objections.

Existing ridge height, front balustrade height and side elevation windows corrected as per existing drawings.

Revision B - 25.04.14
Existing eaves and guttering corrected as per existing drawings.

Roof finished revised and rooflights added to rear elevations. Notes updated accordingly.

drawing title
job name
job number
scale
date
drawing number
revision

Proposed 2F & 3F Plan
Belsize Crescent
782
1:50@A2
17 May 2013
782/P/112
B



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Planning Key:

FRONT ELEVATION

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Access doors to the front light well will allow for better maintenance of the area and improvement of its appearance.

ROOF

TO BE REFURBISHED & RE-FINISHED UNDER PERMITTED DEVELOPMENT CLASS C COMPLYING WITH THE CONDITION C.1:

(a) the alteration would not protrude more than 150mm beyond the plane of the slope of the original roof when measured perpendicular with the external surface of the original roof.

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Existing asphalt finish to be replaced with standing seam lead roof to match the leadwork on the front dormer of the main roof.

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REAR ELEVATION

TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A FOLLOWING THE CONDITION A.3:

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The relationship between the rear wall of the side extension and neighbour's existing lower ground floor window is unchanged.

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New opening to be created symmetrically in rear elevation for traditional timber framed concertina doors to be set into. Doors to be set back into the façade behind traditional half brick reveals.

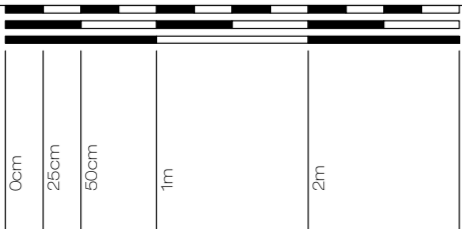


Front Site Elevation



Rear Site Elevation

scale 1:50 @ A2



existing

proposed

Revisions:

Revision A - 21.03.14
Proposal revised to retain original roof in response to neighbours' objections.

Existing ridge height, front balustrade height and side elevation windows corrected as per existing drawings.

Revision B - 25.04.14
Existing eaves and guttering corrected as per existing drawings.

Roof finished revised and rooflights added to rear elevations. Notes updated accordingly.

drawing title
job name
job number
scale
date
drawing number
revision

Proposed Site Elevations
Belsize Crescent
782
1:100@A2
17 May 2013
782/P/210
B

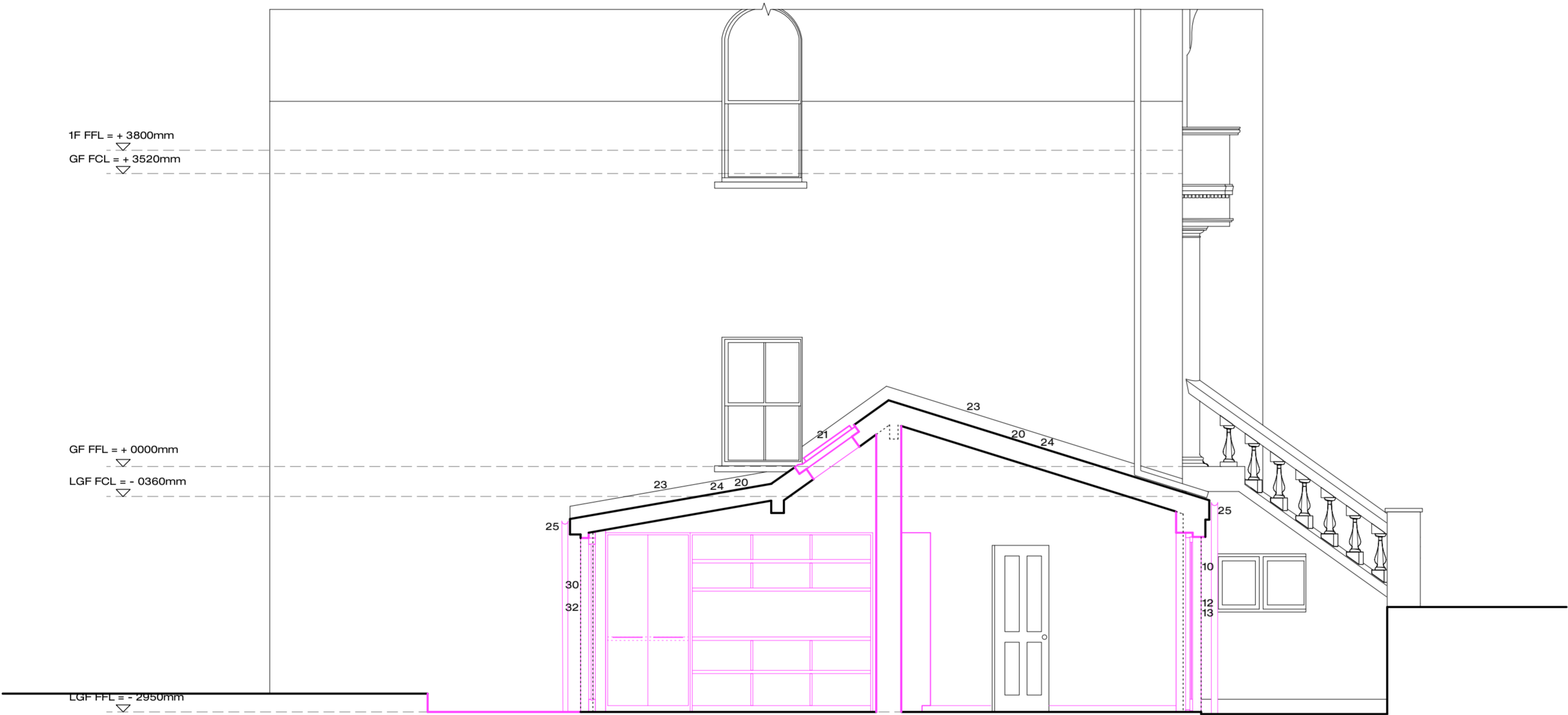


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32 New opening to be created symmetrically in rear elevation for traditional timber framed concertina doors to be set into. Doors to be set back into the façade behind traditional half brick reveals.



scale 1:50 @ A2



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ROOF

TO BE REFURBISHED & RE-FINISHED UNDER PERMITTED DEVELOPMENT CLASS C COMPLYING WITH THE CONDITION C.1:

(a) the alteration would not protrude more than 150mm beyond the plane of the slope of the original roof when measured perpendicular with the external surface of the original roof.

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REAR ELEVATION

TO BE ALTERED AND REFURBISHED UNDER PERMITTED DEVELOPMENT CLASS A FOLLOWING THE CONDITION A.3:

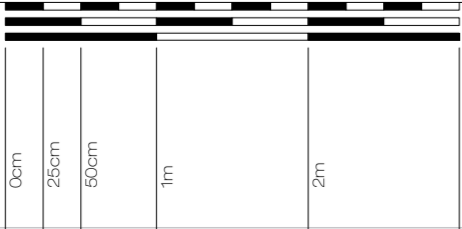
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scale 1:50 @ A2



existing

proposed

Revisions:

Revision A - 21.03.14
Proposal revised to retain original roof in response to neighbours' objections.

Existing ridge height, front balustrade height and side elevation windows corrected as per existing drawings.

Revision B - 25.04.14
Existing eaves and guttering corrected as per existing drawings.

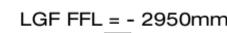
Roof finished revised and rooflights added to rear elevations. Notes updated accordingly.

drawing title
job name
job number
scale
date
drawing number
revision

Proposed Long Section AA
Belsize Crescent
782
1:50@A2
17 May 2013
782/P/310
B

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Notes:

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Planning Key:

FRONT ELEVATION

TO BE ALTERED AND REFURBISHED UNDER PERMITTED
DEVELOPMENT CLASS A COMPLYING WITH THE CONDITION A.3:

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REAR ELEVATION

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DEVELOPMENT CLASS A FOLLOWING THE CONDITION A.3:

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scale 1:50 @ A2

existing	proposed
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Revisions:

Revision A - 21.03.14
Proposal revised to retain original roof in response to neighbours objections.

Existing ridge height, front balustrade height and side elevation windows corrected as per existing drawings.

Revision B - 25.04.14
Existing eaves and guttering corrected as per existing drawings.

Roof finished revised and rooflights added to rear elevations. Notes updated accordingly.

drawing title:
job name:
job number:
scale:
date:
drawing number:
revision:

Proposed Long Section BB
Belsize Crescent
782
1:50@A2
17 May 2013
782/P/311
B

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