

21construction

TRAFFIC AND LOGISTICS MANAGEMENT PLAN

44-46 Whitfield Street, London W1



44-46 WHITFIELD STREET

TRAFFIC MANAGEMENT PLAN

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44-46 WHITFIELD STREET

TRAFFIC AND LOGISTICS MANAGEMENT PLAN

Overview

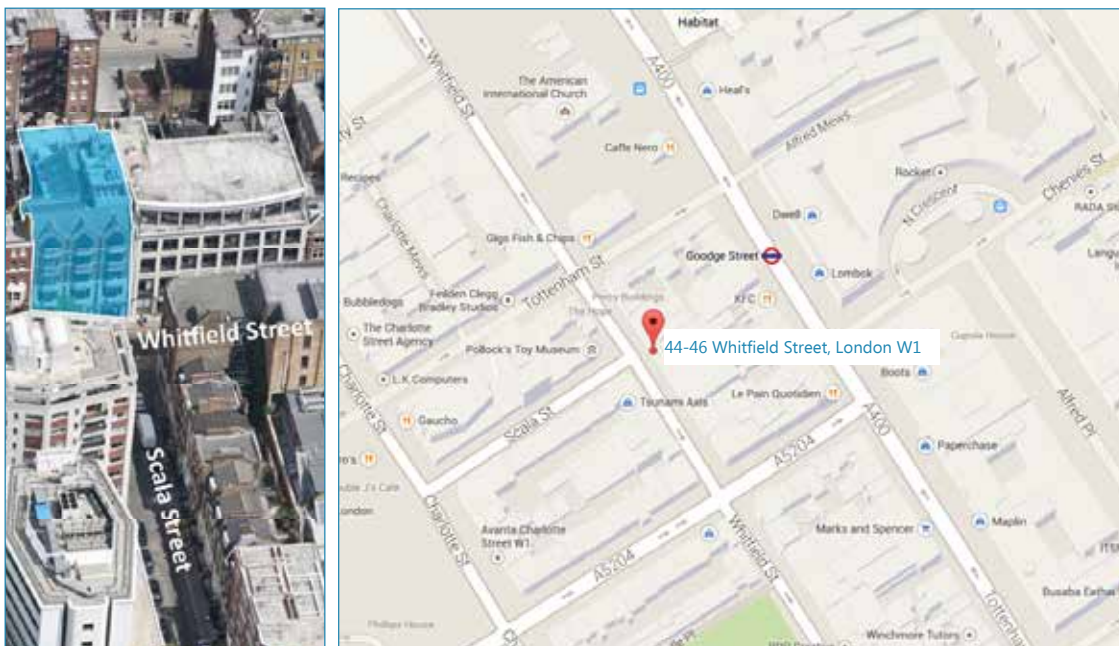
The 44-46 Whitfield Street project is a five storey office building and is located opposite the junction with Scala Street. Both Whitfield Street and Scala Street are one way traffic heading towards Goodge Street. Directly outside 44-46 Whitfield Street are two residential parking bays.

Our provisional Traffic and Logistics Management Plan takes into consideration the construction traffic including large and small deliveries, and how this will intergrate with local traffic in the area. Due to the access and size of Whitfield Street we will encourage materials to be delivered in small couriers where possible and any large deliveries will be arranged in advance with consideration to traffic and local residents.

Adjacent to the site are several existing trees. We will ensure the trees are not harmed or damaged throughout our works at Whitfield Street.

We have noted from visiting the site that Whitfield Street and the surrounding area is moderately pedestrianised. We will ensure that a safe and well signed footpath is made available to the public at all times.

Careful consideration will be made to lessen the impact of dust, noise and vibration to preserve the surrounding residential and local areas.



➤ Whitfield Street Location

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Scaffold and Gantry Erection

Due to the nature of the proposed works regarding the facade and the close proximity of neighbours and public highways it is proposed that a full height scaffold is erected which will be fully encapsulated and sheeted to minimise both dust and noise. (Refer to Diagram 001 - Whitfield Street Front Facade.)

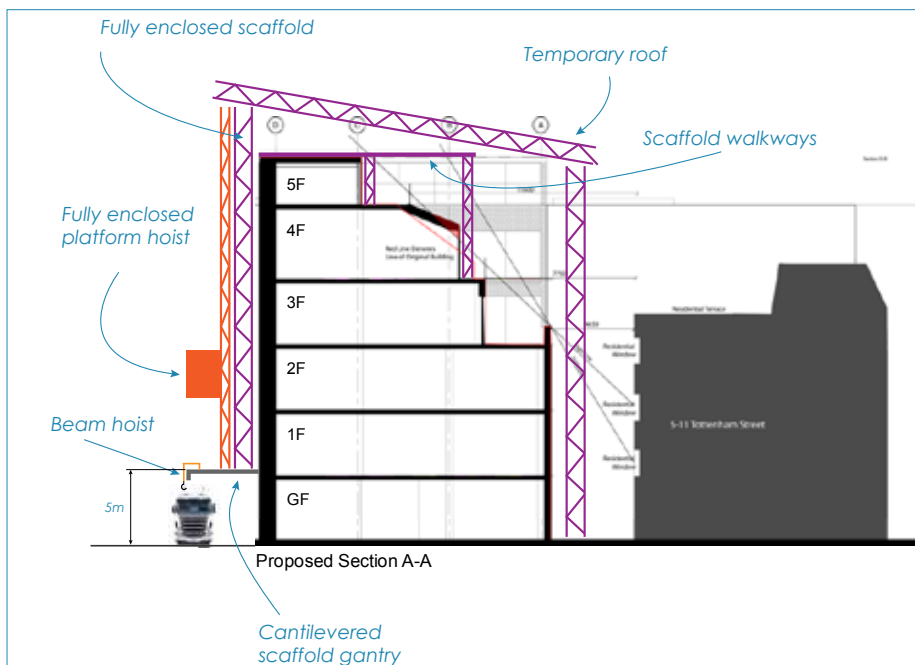


➤ Diagram 001 - Whitfield Street Front Facade

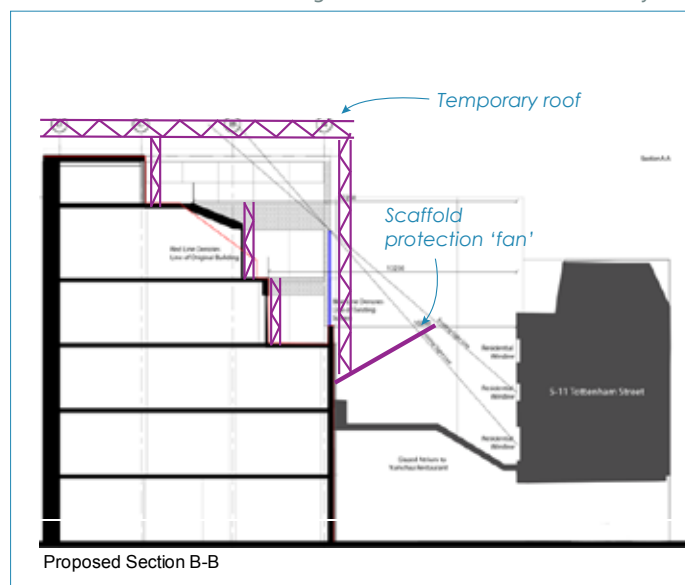
The scaffold and gantry will be fully encapsulated with continuous reinforced sheeting and acoustics material will be placed around the goods hoist.

TRAFFIC AND LOGISTICS MANAGEMENT PLAN

The scaffold will be founded on part building demise and part local authority demise with a full protection gantry based on circa 4.5/5m above the road level (refer to Diagram 002 A&B - Scaffold and Gantry Sections.)



➤ Diagram 002A - Whitfield Street Gantry Plan



➤ Diagram 002B - Whitfield Street Gantry Plan

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To maintain traffic flow to ease of turning circle from Scala Street we will cantilever the last section of the gantry to maximise the road space at this point (refer Diagram 003 - Whitfield Street Gantry Plan).

It is also possible, subject to permits and further discussions with Camden Council that a footpath diversion maybe preferable, however a protected tunnel walkway could also be constructed beneath.



Diagram 003 - Whitfield Street Gantry Plan

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Deliveries, Loading and Off Loading

All delivery requirements will be channelled through our management team who will operate a master delivery schedule and will ensure that deliveries are staggered.

All of our suppliers will be instructed to book deliveries 48 hours in advance to ensure that there is sufficient capacity available to allow the delivery to take place.

A limitation on vehicle size will be enforced due to the turning circle allowance on Whitfield Street. Large material deliveries will be via pre-arranged and permitted road closures and crane access, however it is envisaged that only two crane lifts will be required. We are familiar with using a crane at 44-46 Whitfield Street as we previously removed redundant plant using a 120T crane located within the intersection of Whitfield Street and Scala Street.

Vehicles will be positioned within the cantilevered section of the gantry and a Traffic Marshall will ensure Scala Street and through traffic on Whitfield Street flows.

Once the vehicle is in position a dedicated unloading team using a gantry mounted beam hoist will unload materials on to the gantry storage area.

Whilst parked the vehicle engine will be switched off to reduce emissions and noise.

Waste materials leaving the site will be stored on the gantry and loaded into fully enclosed vehicles. Water spray and sheeting enclosures will be used to minimise dust and noise.

Hoisting facilities will be erected on and above the gantry for the vertical distribution of materials.

General and small deliveries will be made utilising our own vehicles to ensure minimum amount of transport and on site storage is required.



➤ Crane at Whitfield Street

44-46 WHITFIELD STREET

Site Parking

There will be no parking permitted on site and all site personnel and sub contractors will be required to use public transport.

Delivery Restrictions and Parking Bay Suspensions

The building currently sits back from the local authority pavement boundary by approximately 1.1m wide to the full building frontage.

Whitfield Street at this location is approximately 6m wide and a one way system operates with vehicles turning left only onto Goodge Street. Directly opposite 44-46 Whitfield Street is Scala Street, which also operates a one way system onto Whitfield Street. (See Diagram 004 - Traffic Plan).



➤ Diagram 004 - Whitfield Street Traffic Plan

TRAFFIC AND LOGISTICS MANAGEMENT PLAN



Diagram 005 - Scaffold Plan

The proposed nature of the works dictates that a full scaffold will be required to the entire Whitfield Street elevation (refer to Diagram 005 - Scaffold Plan). It is envisaged at this point that the scaffold will sit partly on the private land back but also bridge the pedestrian footpath on the east side of Whitfield Street.

To reduce the impact of construction traffic and enable the pedestrian footpath to be maintained it is proposed to construct a loading/unloading gantry as part of the scaffold access.

We propose to obtain permits to suspend two of the parking bays directly outside 44-46 Whitfield Street. (See Diagram 004 - Traffic Plan).

Due to the location of Scala Street it is also proposed to cantilever a section of the gantry to ensure the maximum turning radius from Scala Street is maintained.

Construction delivery vehicles will be restricted to certain hours during the day to minimise congestion. Vehicles will be marshalled into the unloading position below the gantry and materials will be unloaded using a gantry mounted beam hoist for movement into the building and a gantry mounted goods hoist from the first floor level to move material vertically.

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Facade Delivery Regime

The lorry delivering the glass will be positioned in the delivery area under the gantry. The gantry system will enable us to lift off the stillages and place them on the ground behind the vehicle. Due to the small space, the vehicle will have to move forward to allow the second stillage to be lifted off.

Once the stillages are on the ground, the beam hoist will transport the glass to the lifting gantry where the individual glass panes will be placed onto a smaller portable wheeled glass trolley. We can then move each pane into the 6m free zone.

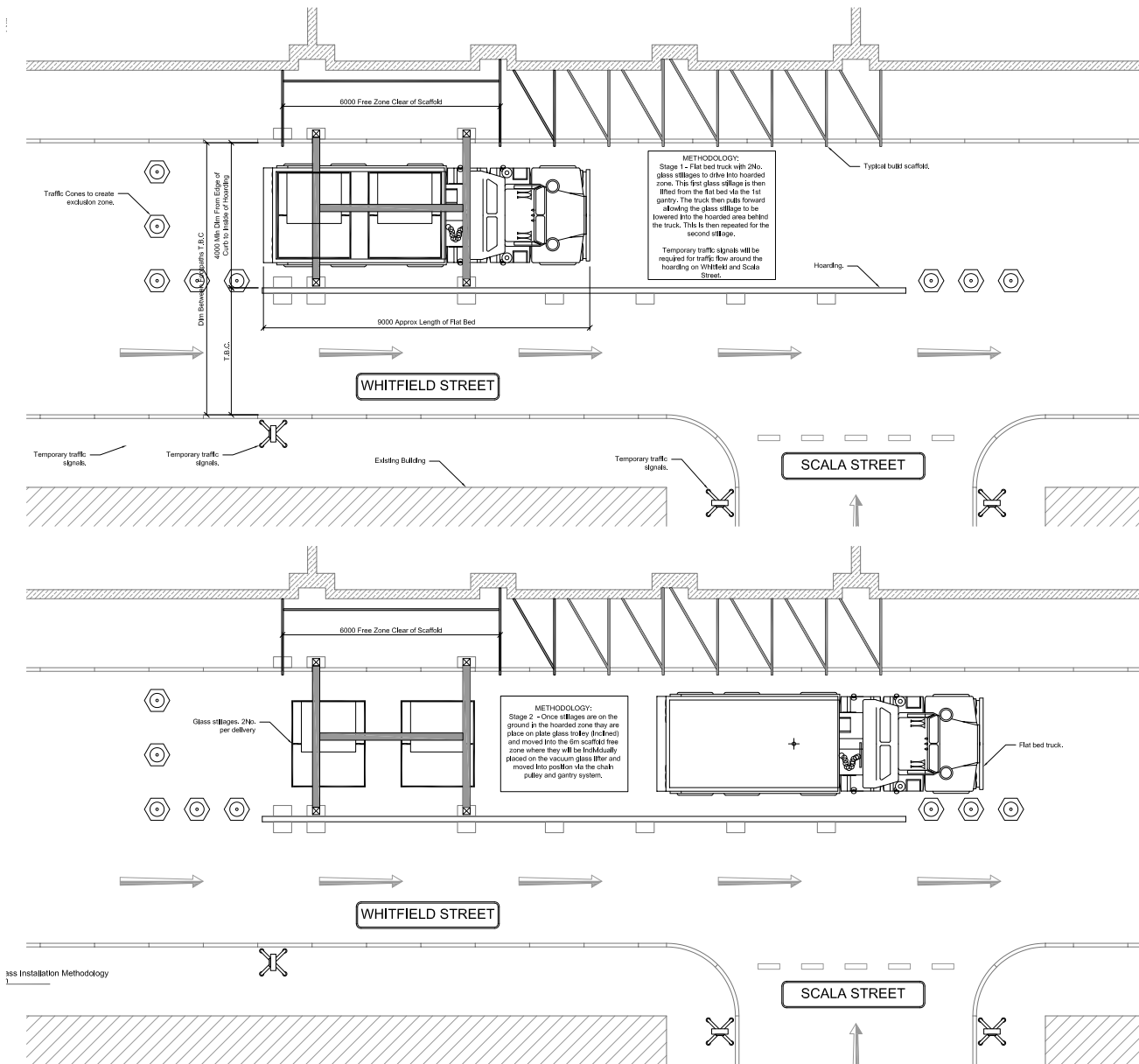
The scaffolding running up the façade will have a lifting / running beam across the entire front of the building. We will attach a vacuum sucker to the glass which is connected to the high level running beam and lift the glass up the face of the façade and into position. A gap of approx. 600mm from the final face of the façade will be required to allow the glass to be lifted vertically and also horizontally to enable us to get each pane to its required position.

The entire operation will be carried out behind the fully sheeted scaffold and hoarding panels.

This method will ensure the smallest vehicles are used and are parked under the gantry to a minimum time.

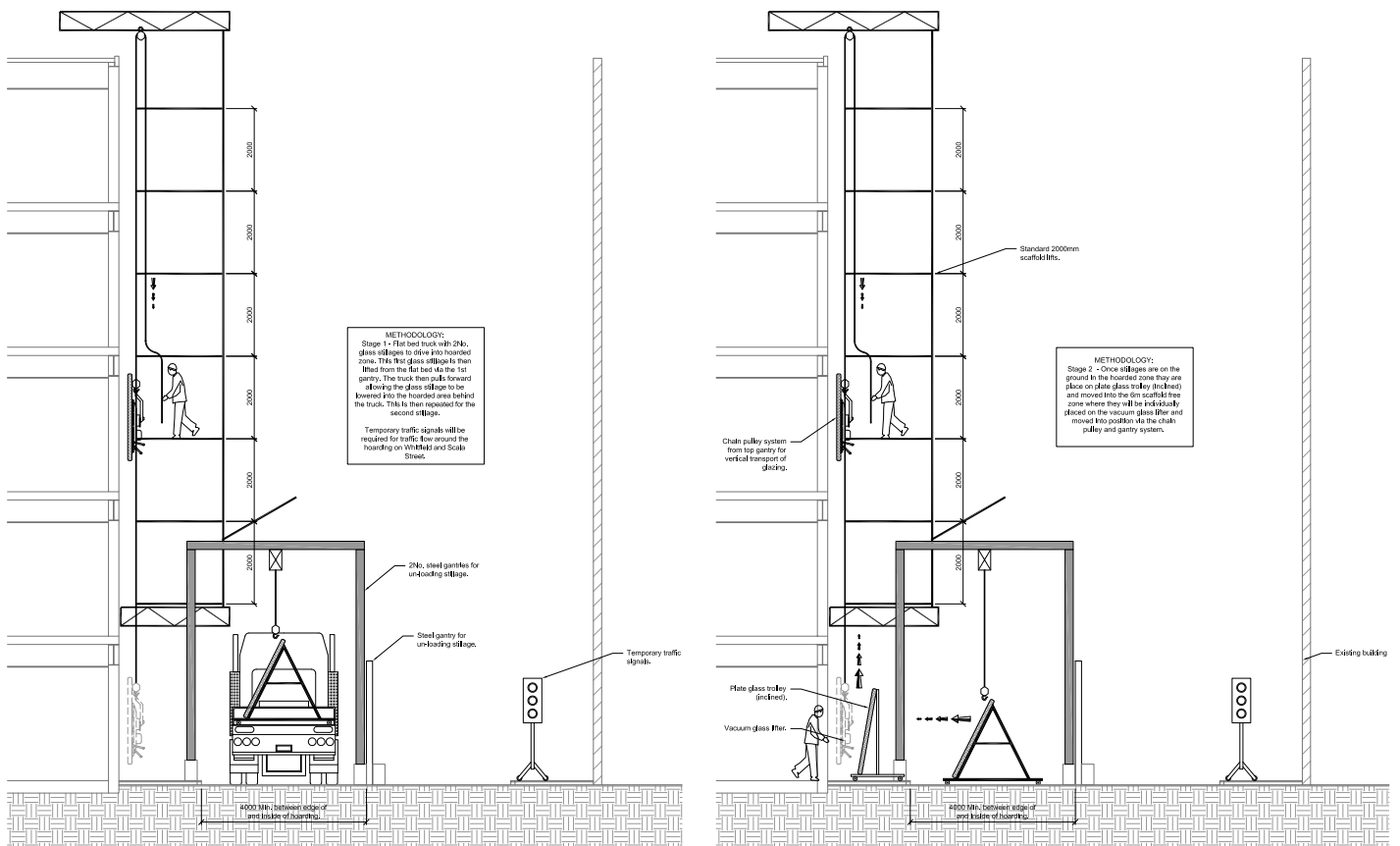
We expect to need two or three road closures during the project for large items of HVAC equipment and possibly a glass delivery for the rear elevations.

TRAFFIC AND LOGISTICS MANAGEMENT PLAN



➤ Facade Delivery Plan

44-46 WHITFIELD STREET



➤ Facade Delivery Plan

TRAFFIC AND LOGISTICS MANAGEMENT PLAN

Method Statement - Removal of Plant

METHOD STATEMENT

21construction

Removal of Plant from the Roof and Balcony Areas

Tender – 44-46 Whitfield Street

Authorised By:	Name:	Signature:
Project Manager		
Construction Manager		
Senior Engineer		
Senior Safety Manager		
Safety Manager		

Issued to: 21 Construction		
Response required by (date):	MS Approved/Agreed by:	
MS Approved/Agreed Status: <i>(Indicate by circling relevant option)</i>	YES <i>(Accepted, ready for implementation.)</i>	NO <i>(Rejected, work cannot commence, must be amended & resubmitted.)</i>

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The existing Mechanical and Electrical Services that are located on the flat roof, plant rooms and walkway areas are to be decommissioned by appropriately trained personnel.

Once the plant has been decommissioned the individual equipment will be reduced to the basic components by removing all auxiliary pipework, cabling and framing.

Removal of the larger items will be carried out by mobile crane situated in Whitfield Street using one of the four licences which would be applied for.

Smaller plant will be removed by loading onto one of the two roof gantries and lowered to road level by the external hoist.

All dismantling and lifting operations will be carried using trained and experienced individuals.

Hand held water misting appliances will be used to control any dust arising from the works.

METHOD STATEMENT

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HAZARD IDENTIFICATION/RISK ASSESSMENT

1. PREVENTATIVE AND PROTECTIVE MEASURES

A segregated lifting zone will be set up using Chapter 8 barriers to ensure no unauthorised person or the general public enter the area. This will be set up for lifting both by the mobile crane and the hoist. To prevent dust inhalation, water will be doused over the appliances during deconstruction.

2. TRAINING, INFORMATION AND INSTRUCTION

All operatives will have relevant CSCS cards to the task they are undertaking including crane driver, banksman etc.

3. SUPERVISION AND RESOURCES

21construction will have a Manager who is a trained first-aider on site at all times. The lifting sub-contractor will have their own supervisor also, all names TBC.

4. MATERIAL

No new materials will be installed. Deconstruction only.

5. PLANT & EQUIPMENT

All lifting equipment and slings will be fully inspected before use, and will have a record of inspection.

6. TECHNICAL INFORMATION

The type of mobile crane will be agreed nearer to the time, as will the hoist.

7. ACCESS AND EGRESS

Access will be an agreed route through the building, as agreed with building management.

8. WASTE CONTROL

The decommissioned units will be taken away and disposed of in the correct manner.

9. THIRD PARTY PROTECTION

A segregated lifting zone will be set up using Chapter 8 barriers to ensure no unauthorised person or the general public enter the area. This will be set up for lifting both by the

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METHOD STATEMENT

21construction

mobile crane and the hoist. To prevent dust inhalation, water will be doused over the appliances during deconstruction.

10. EMERGENCY ARRANGEMENTS

All 21construction managers are trained first aiders, and the lifting supervisor has their mobile phone numbers in case of emergency.

11. COMMUNICATION

Communication between the crane driver and the banksman will be through agreed hand signals and walkie-talkies. Communication between the hoist driver and the banksman/slinger will be by hand signals.

12. PPE

Hard hats, hi-visibility waistcoats and steel toe capped boots will be worn at all times on site. Gloves will be worn when handling decommissioned plant, and safety goggles for any cutting operations.

13. POWER

All power tools will be 110v.

14. LIGHTING

Task lighting will be provided if there is a low light level.

15. WORKING PLATFORMS

All working platforms will have handrails.

16. EXCAVATIONS

N/A

17. FIRE

A muster point will be designated by 21construction staff. The location of the fire alarms will be explained to all operatives also. The 21construction manager will be the designated fire warden.

18. INFORMATION & INSPECTION

METHOD STATEMENT	21 construction
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The completed strip out will be inspected by 21construction staff to ensure it is left in a safe and stable state.

19. MONITORING

21construction staff will be on site monitor the entire process.

METHOD STATEMENT



Termination of Permanent Services to Building and Installation of a Temporary Electrical and Water Supply

Tender CD09 – 44-46 Whitfield Street

Authorised By:	Name:	Signature:
Project Manager		
Construction Manager		
Senior Engineer		
Senior Safety Manager		
Safety Manager		

Issued to: 21 Construction		
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MS Approved/Agreed Status: <i>(Indicate by circling relevant option)</i>	YES <i>(Accepted, ready for implementation.)</i>	NO <i>(Rejected, work cannot commence, must be amended & resubmitted.)</i>

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TRAFFIC AND LOGISTICS MANAGEMENT PLAN

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Site Manager is to liaise with Building owner and identify all incoming Services.

Services throughout building are to be isolated to ensure no hazards exist and there is no possibility of accidental leaks.

Temporary 110 volt Electrics to power outlets and lighting on each floor, roof levels and front and rear scaffolding to be installed and maintained through duration of contract.

The site water supply is to be taken from the mains incoming service and will run through all levels including the roof. The pipework will be insulated.

METHOD STATEMENT	21 construction
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Termination of Permanent Services to Building and Installation of a Temporary Electrical and Water Supply

Tender CD09 – 44-46 Whitfield Street		
Authorised By:	Name:	Signature:
Project Manager		
Construction Manager		
Senior Engineer		
Senior Safety Manager		
Safety Manager		

Issued to: 21 Construction		
Response required by (date):	MS Approved/Agreed by:	
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Site Manager is to liaise with Building owner and identify all incoming Services.

Services throughout building are to be isolated to ensure no hazards exist and there is no possibility of accidental leaks.

Temporary 110 volt Electrics to power outlets and lighting on each floor, roof levels and front and rear scaffolding to be installed and maintained through duration of contract.

The site water supply is to be taken from the mains incoming service and will run through all levels including the roof. The pipework will be insulated.

METHOD STATEMENT

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HAZARD IDENTIFICATION/RISK ASSESSMENT

1. PREVENTATIVE AND PROTECTIVE MEASURES

A permit to work system will be in place for switchrooms. Isolation certificates will be produced also.

2. TRAINING, INFORMATION AND INSTRUCTION

All operatives will have relevant CSCS cards to the task they are undertaking including electrical work, plumbing etc.

3. SUPERVISION AND RESOURCES

21construction will have a Manager who is a trained first-aider on site at all times.

4. MATERIAL

New pipework and valves, new electrical cabling and distribution boards, scaffolding boards and clips, monarflex.

5. PLANT & EQUIPMENT

Screwgun, spanner, grips, pliers, reciprocating saw, hammer drill, Stanley knife, hacksaw

6. TECHNICAL INFORMATION

Mechanical & Electrical install specification is TBC

7. ACCESS AND EGRESS

Access will be as agreed with building management.

8. WASTE CONTROL

Waste will be disposed of in the correct manner through a wait & load caged lorry parked in 2 suspended parking bays.

9. THIRD PARTY PROTECTION

The construction area will be segregated from the general public by use of hoarding.

10. EMERGENCY ARRANGEMENTS

METHOD STATEMENT

21construction

21 Construction managers are first aiders and the supervisor has their mobile phone numbers in case of emergency. The nearest A&E will be made clear to operatives during the site induction.

11. COMMUNICATION

21construction management will provide contact details including email addresses and mobile phone numbers to building management.

12. PPE

Hard hats, hi-visibility waistcoats and steel toe capped boots will be worn at all times on site. Safety goggles will be worn for any cutting operations. Scaffolders will wear harnesses.

13. POWER

All power tools will be 110v or battery powered.

14. LIGHTING

Task lighting will be provided if there is a low light level.

15. WORKING PLATFORMS

Work will be carried out from scaffolding, which will be inspected and signed off weekly.

16. EXCAVATIONS

N/A

17. FIRE

A muster point will be designated by 21construction staff, or be advised by the Building Manager. The location of the fire alarms will be explained to all operatives also during the site induction. The 21construction manager will be the designated fire warden.

18. INFORMATION & INSPECTION

Works will regularly be inspected by 21construction staff to ensure a high standard of work and a quality finish.

19. MONITORING

21construction staff will be on site monitor the entire process.

METHOD STATEMENT	21 construction
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Deconstruction of the Roof Dormers, Mansard and Front Façade

Tender CD09 – 44-46 Whitfield Street		
Authorised By:	Name:	Signature:
Project Manager		
Construction Manager		
Senior Engineer		
Senior Safety Manager		
Safety Manager		

Issued to: 21 Construction		
Response required by (date):	MS Approved/Agreed by:	
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Prior to commencement of any works a detailed survey of the adjoining properties will be undertaken and the results recorded in both video and voice.

Any existing cracks will be fitted with glass tell-tale monitors and the results recorded weekly.

All de construction to the front façade will be done within the confines of a temporary roof covering and scaffold which will be covered with Monarflex sheeting which will be lapped at joints and maintained throughout the works. At gantry level the lift will have two sets of boards with Monarflex sheeting trapped between them to contain any water from the hand held water misters that will control the dust.

The tiled dormers and mansard roof behind will be stripped off first under the protection of the temporary roof covering. Method will generally be a reverse of construction and carried out by hand. Waste will be placed into bins and brought down to gantry level on the hoist. We will then load the materials on to designated wait and load transport parked in the two suspended parking zones. Control of dust will be by the use of the water misters. The majority of operations will not require mechanical means other than cordless screwdrivers.

The copings will then be removed by hand and transported down to the ground using the hoist and gantry. Once these have been removed we will then cut the top level of ties holding the first 600mm of brickwork and prize this away from the substrate. We envisage the majority of brick and blockwork will be reduced to manageable size by this operation. Should the masonry need to be reduced in size this will be carried out on the scaffold with small percussion breakers. Dust will be controlled at all times with the use of water misters.

The top set of bay windows will then be dismantled by releasing the glass from the beaded frames. The glass will be kept intact where possible and taken inside the building where it will be taken to the ground floor and into wait and load transport.

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Deconstructing the remainder of the façade will be a repeat of the top storey and edge protection will be erected as the bay windows are dismantled. The larger ashlar and clinker blocks will be reduced in size on the scaffold.

The rainwater pipes will be taken off as works proceed.

METHOD STATEMENT

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HAZARD IDENTIFICATION/RISK ASSESSMENT

1. PREVENTATIVE AND PROTECTIVE MEASURES

The scaffold will be sheeted by Monarflex or a similar product to prevent any debris/materials falling to the street below. Dust will be suppressed by use of pump action water sprayers. Gloves will be worn when handling glass by glass suction cups.

2. TRAINING, INFORMATION AND INSTRUCTION

All operatives will have relevant CSCS cards to the task they are undertaking including scaffolding, demolition etc.

3. SUPERVISION AND RESOURCES

21construction will have a Manager who is a trained first-aider on site at all times. All subcontractors will have designated works supervisors also.

4. MATERIAL

Scaffolding boards and clips, monarflex. Mainly deconstruction work.

5. PLANT & EQUIPMENT

Screwgun, spanner, grips, pliers, reciprocating saw, hammer drill, wrecking bar, dust suppression water bottle, Stanley knife, hacksaw, breaker, glass suction cups, hammer, bolster, hoist.

6. TECHNICAL INFORMATION

N/A

7. ACCESS AND EGRESS

Access into and around the building will be as agreed with building management. Access between different lifts of the scaffold will be by ladder.

8. WASTE CONTROL

Waste will be disposed of in the correct manner through a wait & load caged lorry parked in 2 suspended parking bays.

9. THIRD PARTY PROTECTION

METHOD STATEMENT

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Chapter 8 barriers will be used to segregate the public during the movement of waste to the wait & load. They will also be used for any lifting operations near the general public. Monarflex sheeting on the scaffold will prevent any debris from hitting passers-by below.

10. EMERGENCY ARRANGEMENTS

21construction managers are first aiders and the supervisor has their mobile phone numbers in case of emergency. The nearest A&E will be made clear to operatives during the site induction.

11. COMMUNICATION

21construction management will provide contact details including email addresses and mobile phone numbers to building management.

12. PPE

Hard hats, hi-visibility waistcoats and steel toe capped boots will be worn at all times on site. Safety goggles will be worn for any cutting operations. Scaffolders will wear harnesses.

13. POWER

All power tools will be 110v or battery powered.

14. LIGHTING

Task lighting will be provided if there is a low light level.

15. WORKING PLATFORMS

Work will be carried out from scaffolding, which will be inspected and signed off weekly.

16. EXCAVATIONS

N/A

17. FIRE

A muster point will be designated by 21construction staff, or be advised by the Building Manager. The location of the fire alarms will be explained to all operatives also during the site induction. The 21construction manager will be the designated fire warden.

18. INFORMATION & INSPECTION

METHOD STATEMENT

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Works will regularly be inspected by 21construction staff to ensure a high standard of work and a quality finish.

19. MONITORING

21construction staff will be on site monitor the entire process.



0203 307 0021

21construction.co.uk

Weston House, 246 High Holborn, London WC1V 7EX