

62 Mansfield Road

LIFETIME HOMES STATEMENT

Criterion 1b

“Where parking is provided by communal or shared bays, spaces with a width of 3300mm should be provided.”

A disabled parking space is available on the opposite site of Courthope Rd.
Please refer to figure 1.

Criterion 2

“The distance from the car parking space of Criterion 1 to the dwelling entrance (or relevant block entrance or lift core), should be kept to a minimum and be level or gently sloping. The distance from visitors parking to relevant entrances should be as short as practicable and be level or gently sloping.”

The disabled parking space is located approximately 30 metres from the property. Figure 1 shows a schematic itinerary from the disabled parking space to the property.

Criterion 3

“The approach to all entrances should preferably be level or gently sloping.”

Two existing ramps provide access from the disabled parking space to to the property. Please refer to figure 1 for ramp locations.

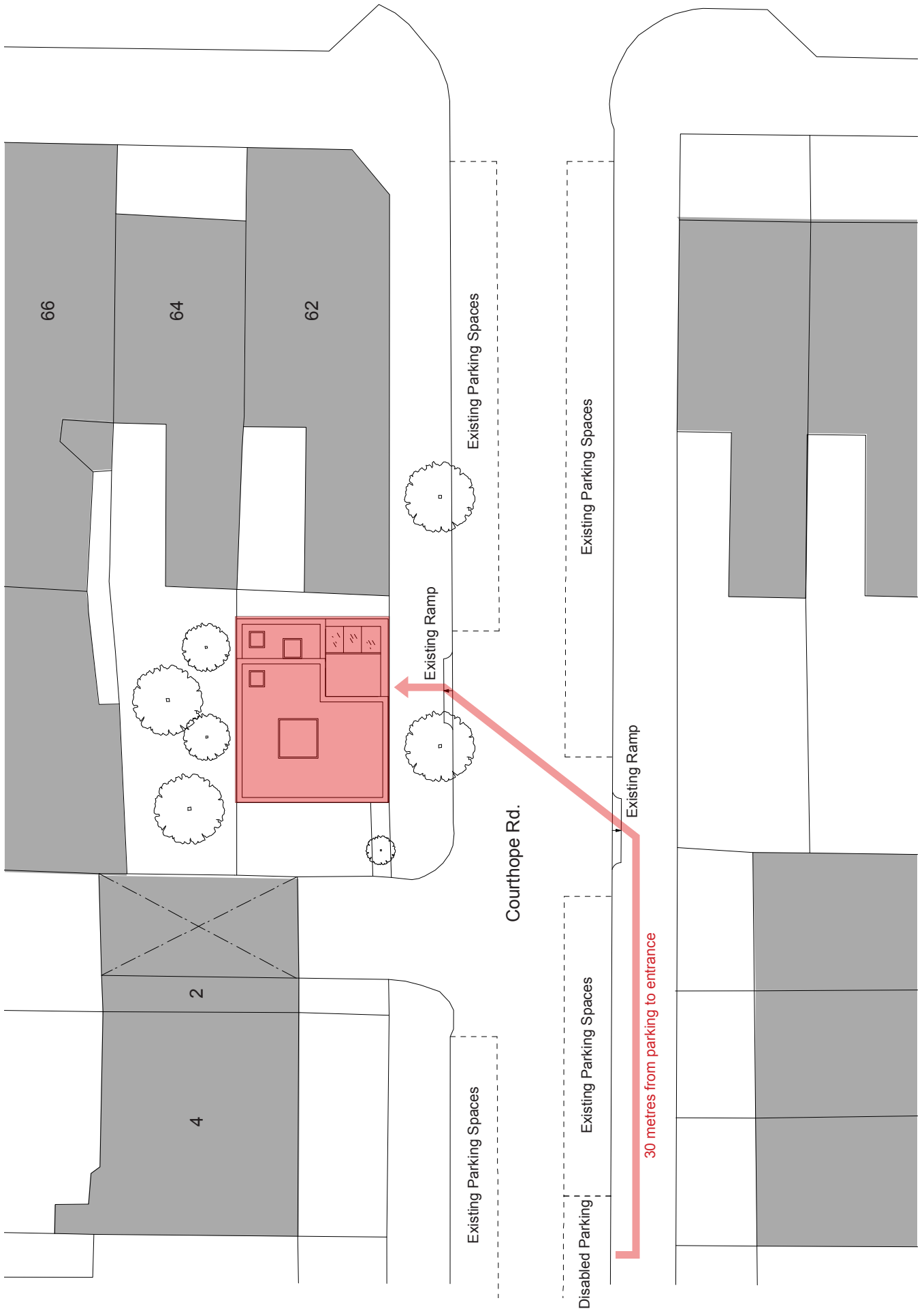


Figure 1 - Site Plan, scale 1:200.

Criterion 4

“All entrances should:

- Be illuminated*
- Have level access over the threshold; and*
- Have effective clear opening widths and nibs*

In addition, main entrances should also:

- Have adequate weather protection*
- Have a level external landing”*

The entrance area to the property will be suitably illuminated and have level access over the threshold. The effective clear opening of the door is 800mm. Weather protection can be easily installed if necessary. Please refer to figure 3 for clear opening of the door.

Criterion 5

5a - “Principal access stairs should provide easy access in accordance with the specification below, regardless of whether or not a lift is provided.”

5b - “Where a dwelling is reached by a lift, it should be fully accessible.”

Being a single family house, no communal stairs or lifts are present.

Criterion 6

“Movement in hallways and through doorways should be as convenient to the widest range of people, including those using mobility aids or wheelchairs, and those moving furniture or other objects.”

The minimum clear width of the doors throughout the property is 750mm. Please refer to figure 2 for the dimensions of hallways and landings.

Criterion 7

“There should be space for turning a wheelchair in dining areas and living rooms and basic circulation space for wheelchair users elsewhere.”

Living room and kitchen are located on the ground floor of the property. The potential installation of an external lift in the patio area could provide easy access to any floor of the property.

Criterion 8

“A living room/living space should be provided on entrance level of every dwelling“

Living room and kitchen are located on the ground floor of the property.

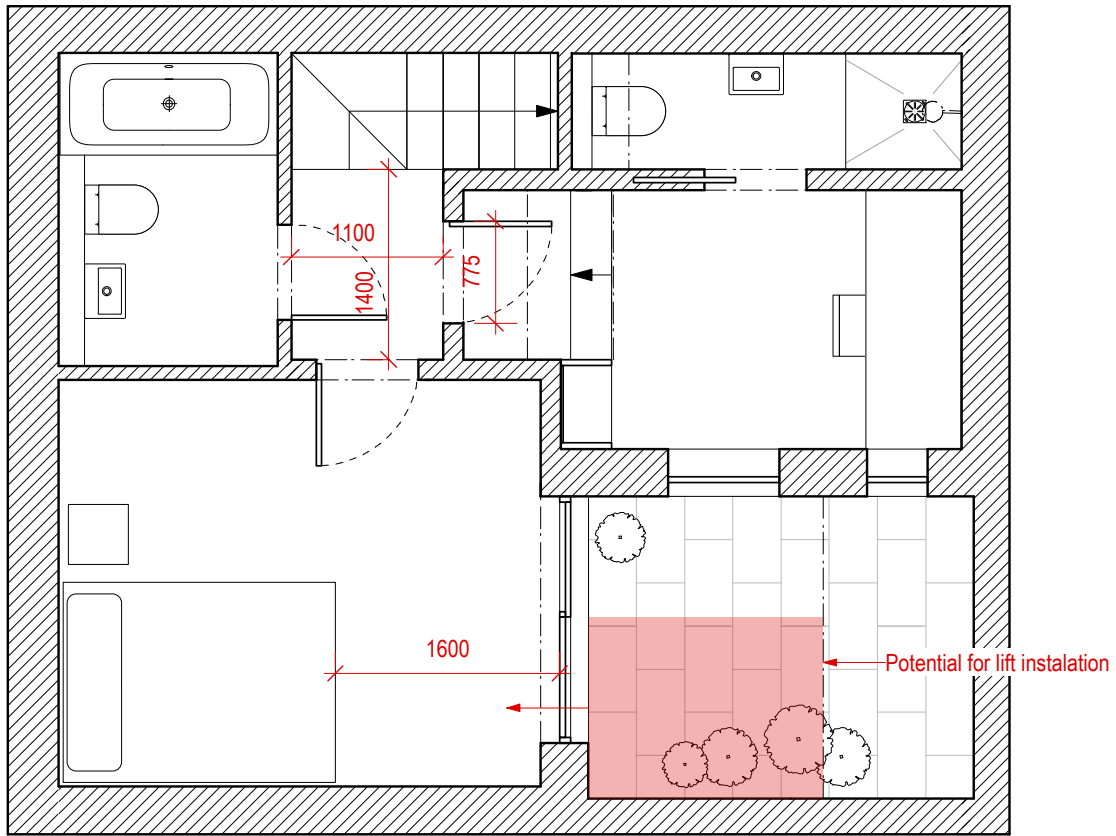


Figure 2 - Lower Ground Floor Plan, scale 1:50.

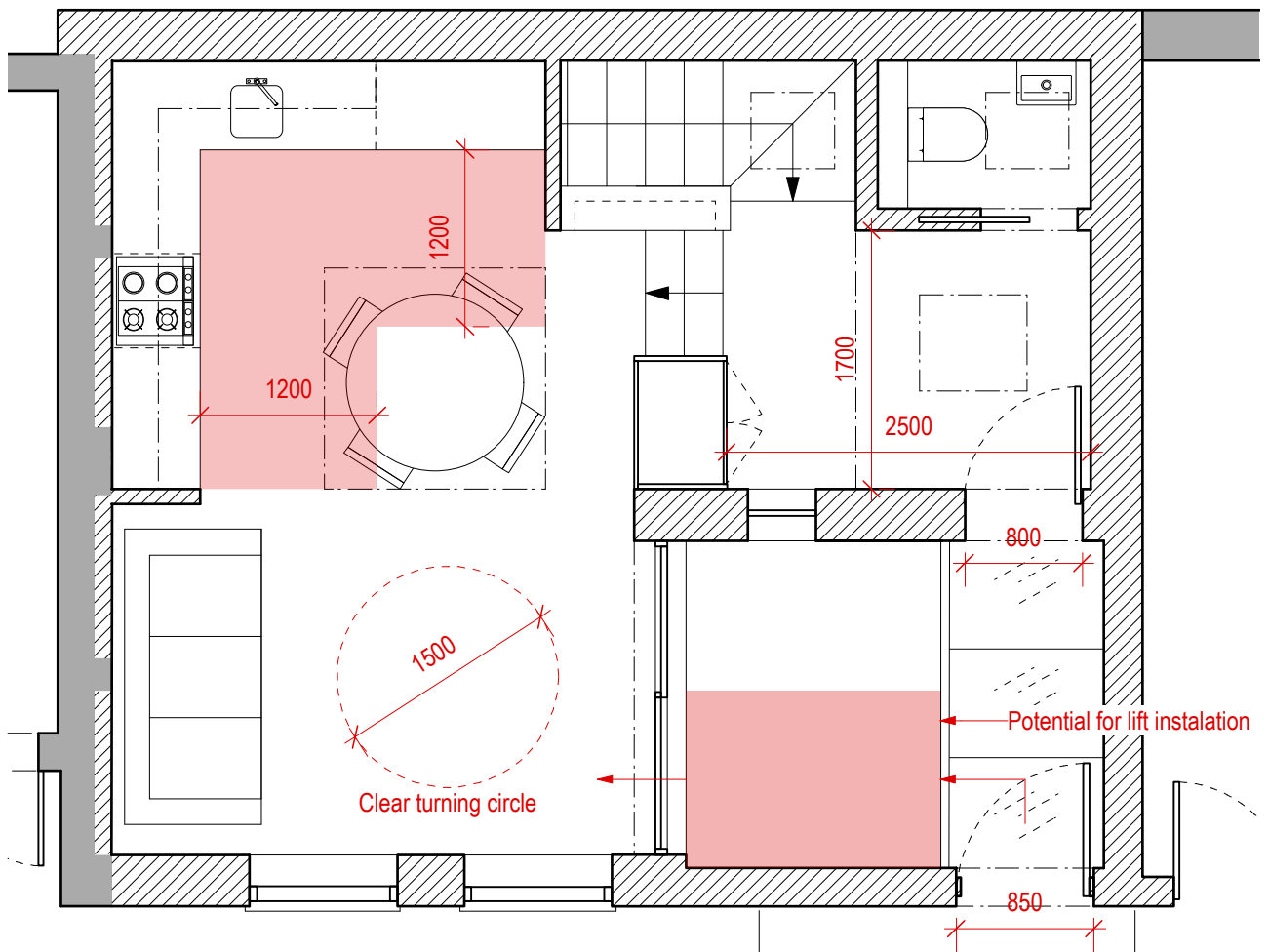


Figure 3 - Ground Floor Plan, scale 1:50.

Criterion 9

“In dwelling with two or more storeys, with no permanent bedroom on the entrance level there should be space on the entrance level that could be used as a convenient temporary bed space.”

A temporary bed space can be provided in the living room space. Please refer to figure 4.

Criterion 10

“Where an accessible bathroom, in accordance with Criterion 14, is not provided on the entrance level of a dwelling, the entrance level should have an accessible WC compartment, with potential for a shower to be installed.”

A part M WC compartment can be obtained with minor adaptations to the current layout of the bathroom as described in figure 4:

- The WC is provided in the entrance storey of the dwelling.
- The door to the WC compartment opens outwards, and is positioned to enable wheelchair users to access the WC and has a clear opening of 800mm
- The WC compartment provides a clear space for wheelchair users to access the WC and the washbasin is positioned so that it does not impede access.
- A floor drain for a future accessible shower is located in the lower ground floor bathroom.

Criterion 11

“Walls in all bathrooms and WC compartments should be capable of firm fixing and support for adaptations such as grab rails.”

Adequate fixing and support for grab rails will be allowed for within the wall at all possible future locations.

Figure 5.

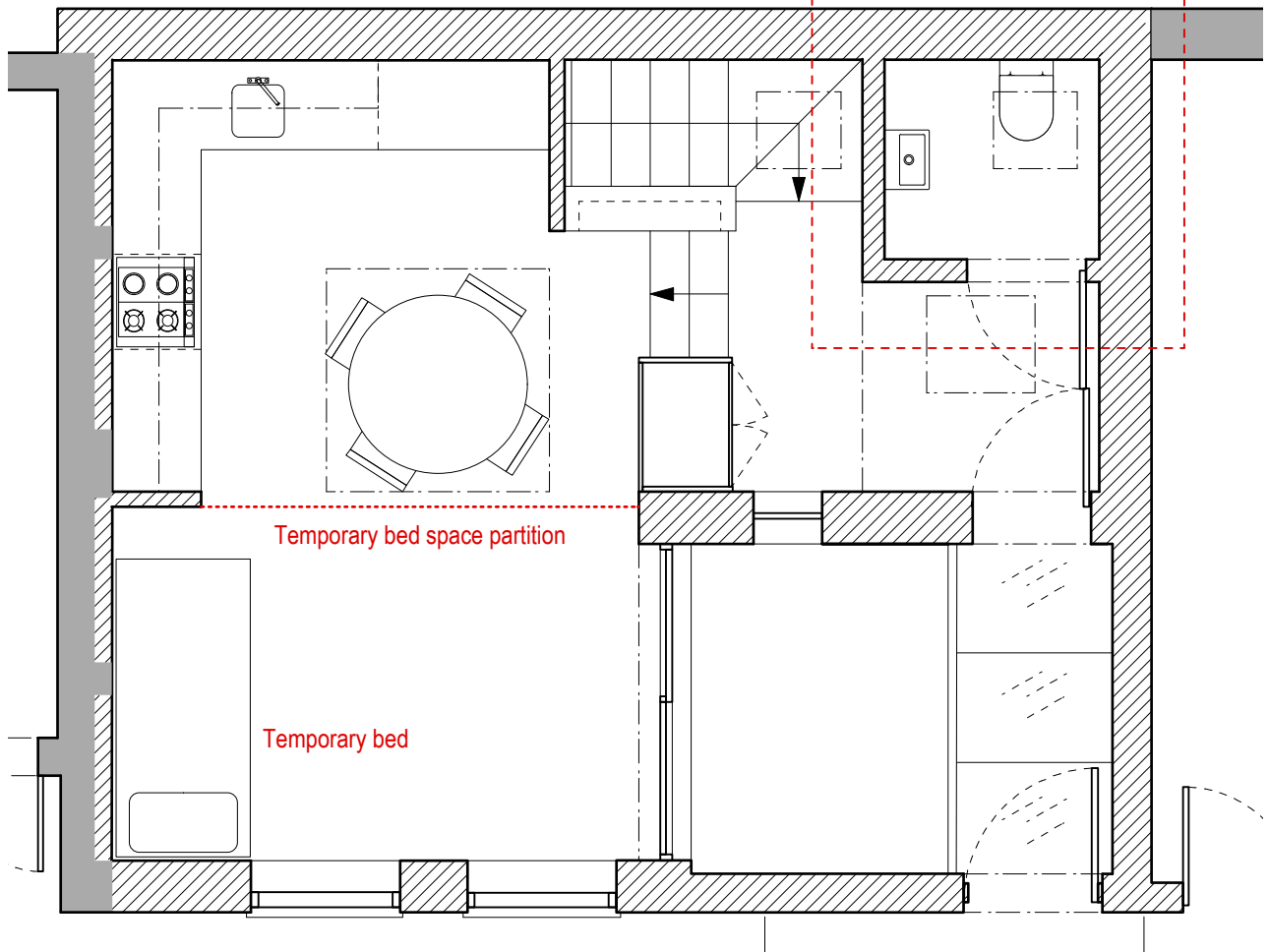


Figure 4 - Ground Floor Plan, scale 1:50.

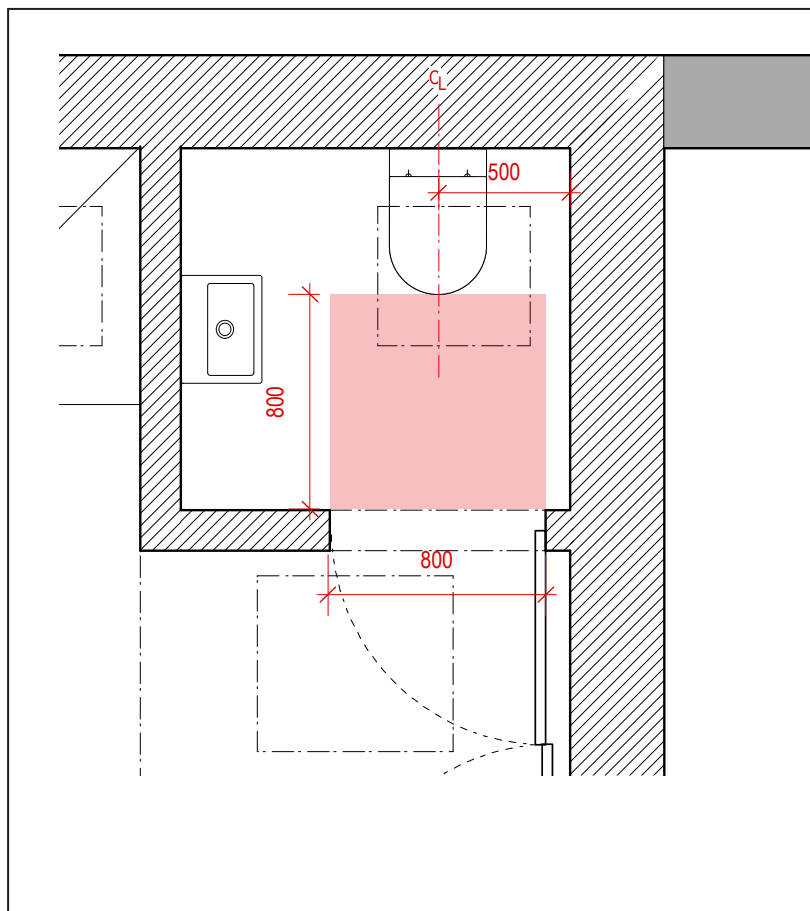


Figure 5 - Ground Floor WC.

Criterion 12

“The design within a dwelling of two or more storeys should incorporate both: a potential for stair lift installation; and, a suitable identified space for a through-the-floor lift from the entrance level to a storey containing a main bedroom and bathroom satisfying Criterion 14.”

The patio area could be altered to allow the installation of a lift to provide access to the entrance bridge, kitchen and living room and master bedroom. In this case the lift route would arrive directly into a bedroom and the proposed study could be used as a new double bedroom. Please refer to figure 6 and 7. A potential area for a lift through floor is highlighted in figure 6 and 7.

Criterion 13

“Structure above a main bedroom and bathroom ceilings should be capable of supporting ceiling hoists and the design should provide a reasonable route between this bedroom and the bathroom.”

The ceilings above master bedroom and WC will be capable of adaptation to support the future installation of single point hoists above the bed, bath and WC. This will be included in the specification at construction stage.

Figure 8.

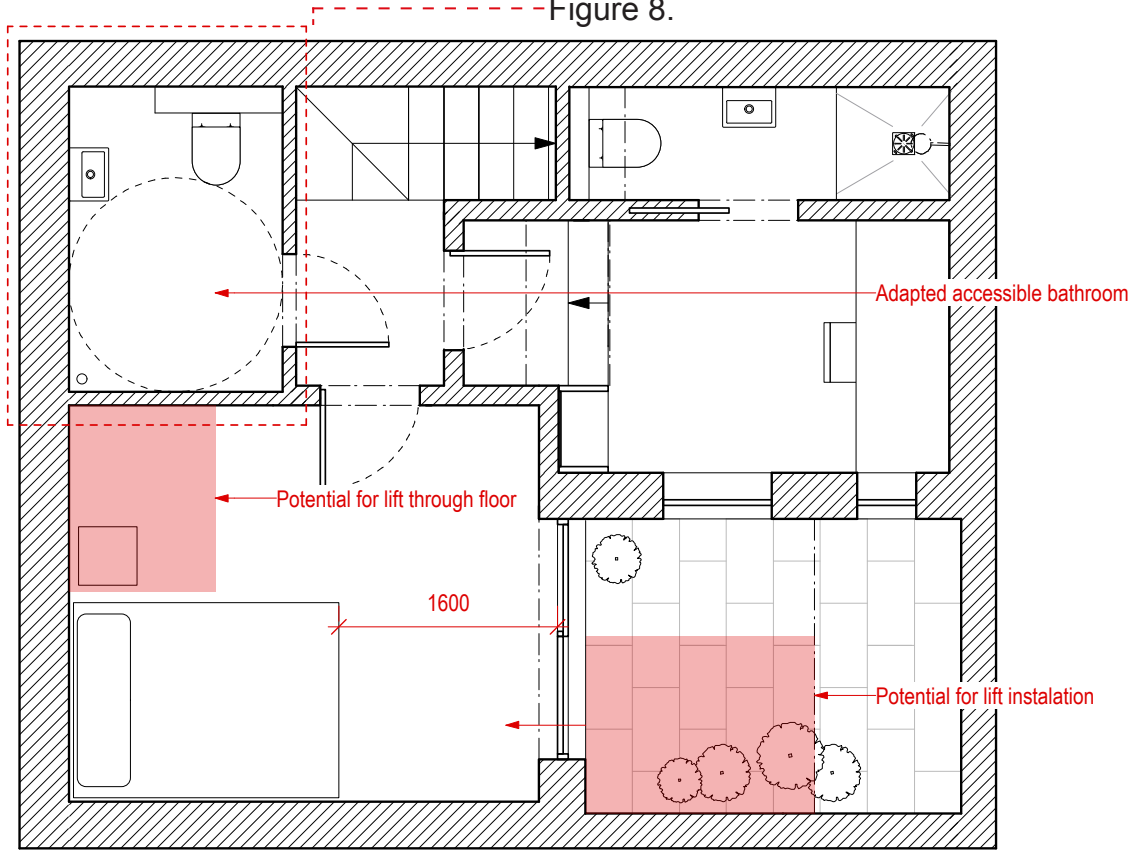


Figure 6 - Lower Ground Floor Plan, scale 1:50.

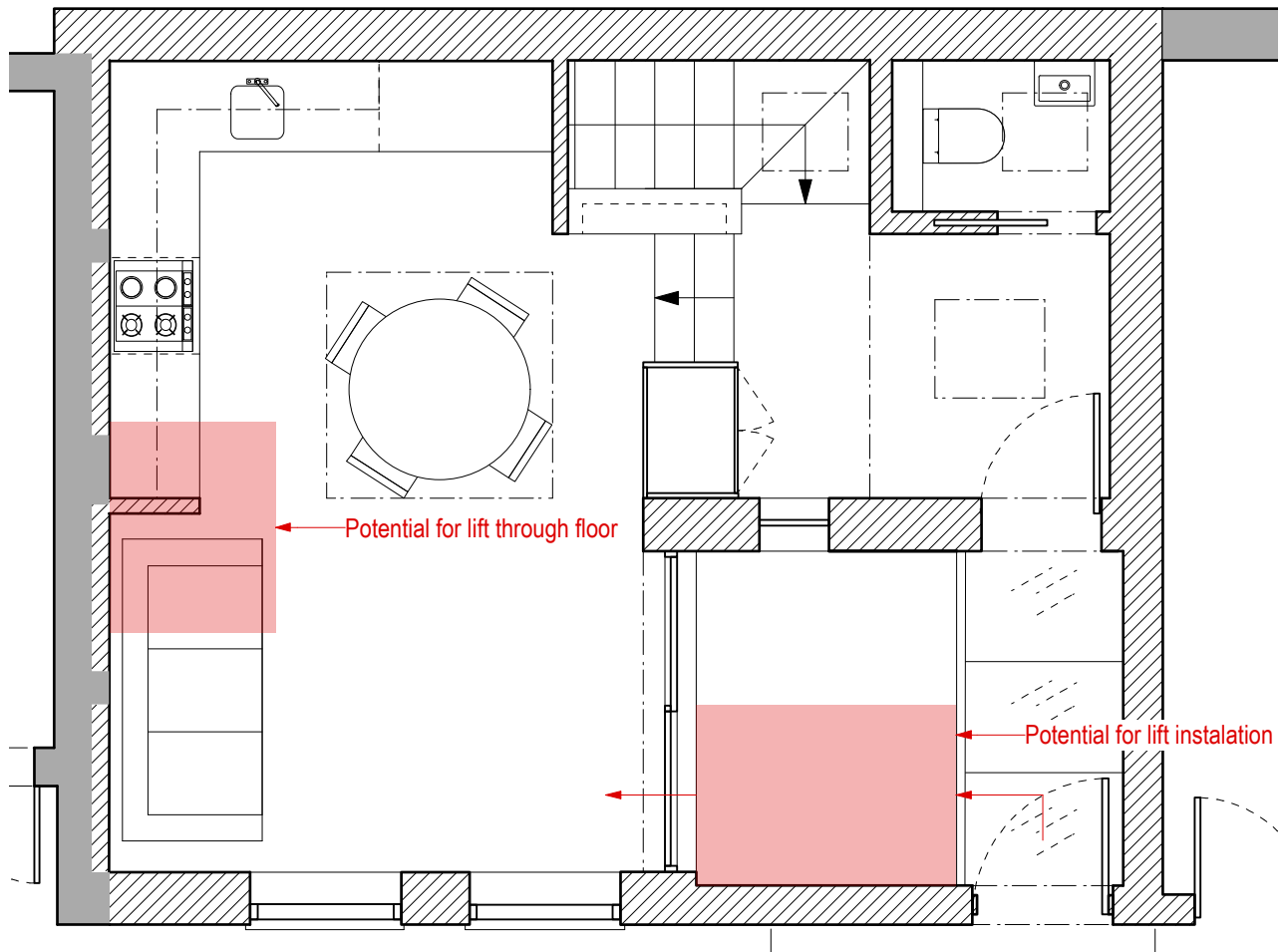


Figure 7 - Ground Floor Plan, scale 1:50.

Criterion 14

“An accessible bathroom, providing ease of access, should be provided in every dwelling, close to a main (double or twin) bedroom.”

The lower ground floor bathroom can be adapted to be accessible with the bathtub replaced with an accessible floor level shower. Please refer to figure 8.

Criterion 15

“Windows in the principal living space (typically the living room), should allow people to see out when seated. In addition, at least one opening light in each habitable room should be approachable and usable by a wide range of people – including those with restricted movement and reach.”

The proposed main living room and kitchen window is fully glazed. Each window located in habitable rooms can be approached by a wheelchair user (approach route 750mm or wider).

Criterion 16

“Service controls should be within a height band of 450mm to 1200mm from the floor and at least 300mm away from any internal room corner.”

Any service control will be located no lower than 450mm and no higher than 1200mm from the floor.

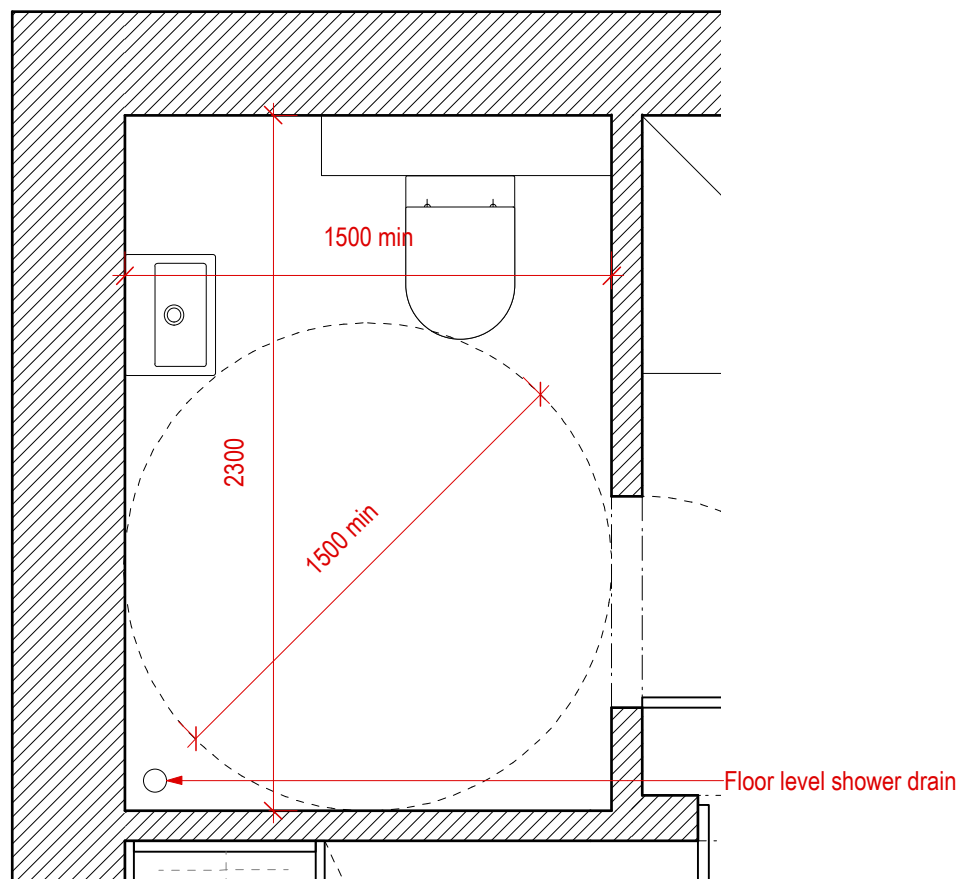


Figure 8 - Lower Ground Floor Bathroom.