



Town Planning Bureau

Planning Supporting Statement

The Barn
43 Oakdene Road
Redhill
Surrey
RH1 6BT

RE: APPLICATION FOR VARIATION OF CONDITION 3 OF PLANNING PERMISSION REF: 2013/1529/P COMPRISING AN AMENDMENT TO THE SIDE ELEVATION DOOR AND OPENING, AND THE RE-POSITIONING OF THE CONCEALED BIN STORE ACCESS.
SITE: 1 EDIS STREET, LONDON, NW1 8LG.
PORTAL REF: PP-03415323.

Tel. 01737 390169

The application comprises:

1. Completed application forms.
2. Red edged site location plan (Location Plan).
3. Planning permission decision notice ref: 2013/1529/P.
4. Extant planning drawings.
5. Extant drawing to be replaced ref: 12103.04A.
6. Proposed amended elevation drawing ref: 14103.02.
7. CIL notice.

Date: 23 May 2014.

Our ref: URB-249-ST2-PSB

We should be grateful if you would give full consideration to the matters set out below.

e-mail
info@tpbureau.co.uk

1. Application

This application seeks to vary condition 3 of the extant planning permission to allow the Applicant to make the following minor alteration to the approved scheme.

web
www.tpbureau.co.uk

Changes to Side Elevation

- A change to the size of the doorway opening and change from door with windows either side to two doors with a transom above.
- Repositioning of flush concealed access doors to bin store.

Relevant Drawings:

Extant Scheme Existing Drawings:

- Proposed floorplans = 12103.01.
- Existing elevation = 12103.02.

Extant Scheme Proposed Drawings:

- Proposed floorplans = 12103.03.
- Proposed elevation = 12103.04A.
- Window detail = 12103.05A.

Proposed Amended Drawings (the following will replace the relevant extant drawings):

- Proposed elevation = 14103.02 to replace 'Rear elevation' = 12103.04A.
- The remaining drawings are not amended.

2. Background to Application

Background:

Planning permission was approved 18th June 2013 for the relocation of bin store at ground floor level to Edis Street elevation property. The Applicant is simply seeking to amend the door opening and position of the bin store. The Council has advised us that



the submission of a Section 73 application would be the correct course of action to action the change.

Reason for Application:

The Applicant is seeking to make two very modest amendments, the doors would be an improvement in design terms and more consistent with the original use of the building. And the re-positioning of the bins would improve functionality of the building.

As the side elevation is modestly changing a S.73 application to make a material amendment to the extant scheme is submitted.

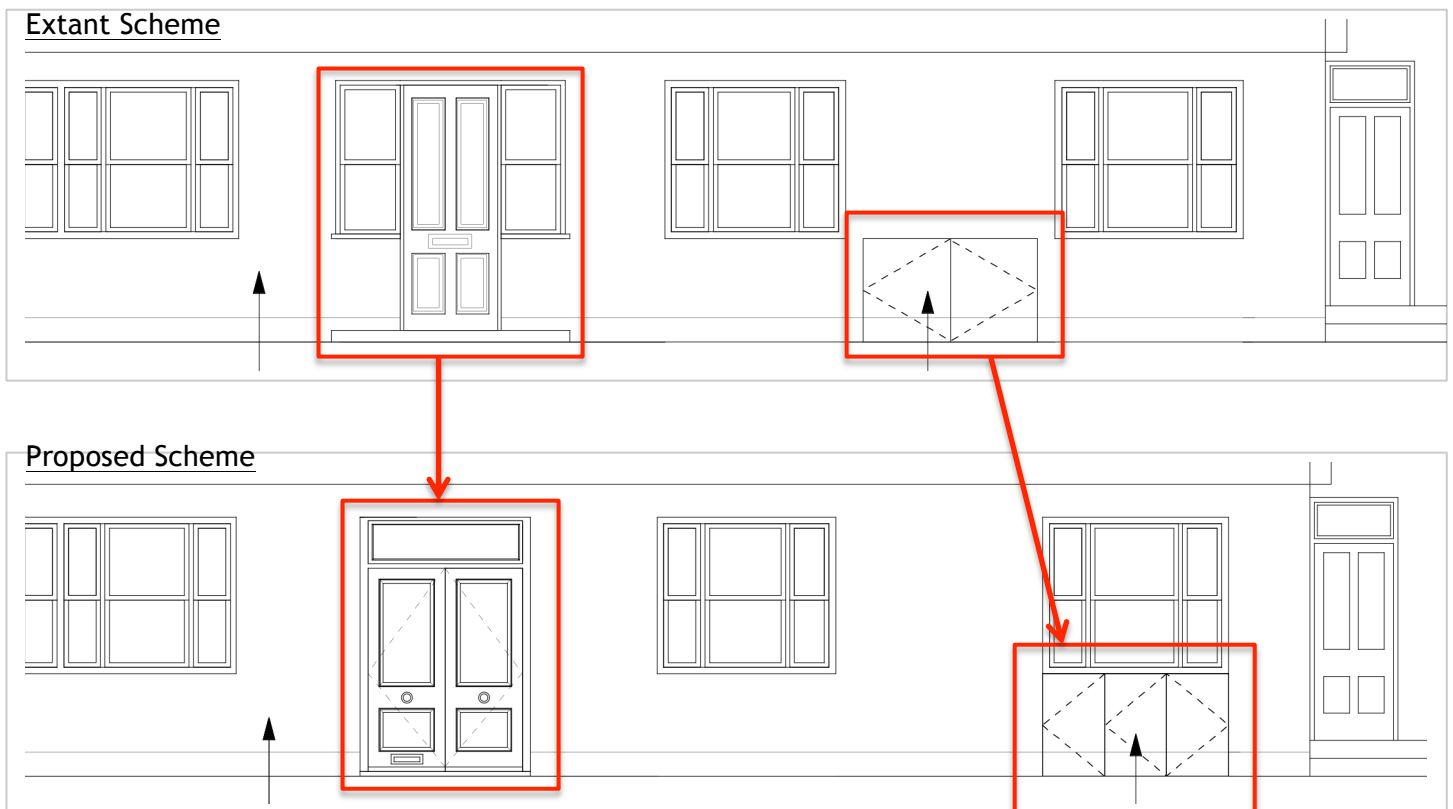
3. The Site

The application site comprises a single dwelling that is currently undergoing renovation works associated with the change of use from a public house to a dwelling.

4. Planning Considerations

It is important to stress that there would be no changes to the scheme other than the side elevation and as the scheme is making an amendment to already amended drawings, the S.73 application to amend the extant scheme attached is submitted.

Comparison of Extant versus Proposed:



Impact of Scheme:

We consider that the amendments are modest and actually make a material improvement to the scheme without making a material change to the elevation.

5. Summary and Conclusions

We submit that the proposal would make only a modest material change to the side elevation of the proposed extension to improve the access and appearance. This form of change is suitable to be addressed by way of a Section 73 seeking a minor material amendment to the extant scheme.

Should you wish to discuss this application, please do not hesitate to contact the writer.

Prepared by:

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Town Planning Bureau