

Sophie Chapman
Savills Ltd
33 Margaret Street
London
W1G 0JD

Application Ref: **2014/3707/P**
Please ask for: **Jonathan Markwell**
Telephone: 020 7974 **2453**

9 June 2014

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Grant of Non Material Amendments to planning permission

Address:
St George's Court
2-12 Bloomsbury Way and 2-28 New Oxford Street
London
WC1A 2SH

Proposal: Amendment to wording of condition 9 (ventilation plant measures) attached to planning permission 2012/1400/P dated 31/01/2013 for various alterations, extensions and changes of use to the building.

Drawing Nos: Site Location Plan; Letter from Savills dated 04/06/2014.

The Council has considered your application and confirms that the proposals are acceptable as non-material amendments to the planning permission set out above.

For the purposes of this decision, condition no. 9 of planning permission 2012/1400/P shall be replaced with the following condition:

9. No fixed ventilation plant and /or machinery associated with the specified following uses

- [(a) The office (Class B1) uses at basement, part ground and upper floor levels;
- (b) The flexible retail or restaurant units (Class A1/A3) at part ground floor level]



shall come into operation until full details of the plant and machinery serving the relevant part of the development hereby permitted, and any mitigation measures to prevent odour nuisances where applicable, has been submitted to and approved in writing by the Council. The plant/machinery shall thereafter be maintained in effective order to the reasonable satisfaction of the Council. In the event of no satisfactory ventilation plant and / or machinery being provided, no primary cooking shall take place on the premises.

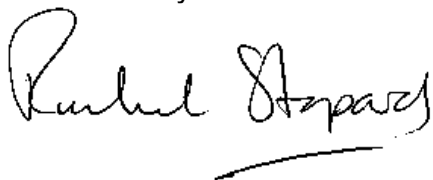
Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policy CS5 (Managing the impact of growth and development) of the London Borough of Camden Local Development Framework Core Strategy and policies DP26 (Managing the impact of development on occupiers and neighbours) and DP28 (Noise and vibration) of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 You are advised that this permission relates only to the changes referred to above and shall only be read in the context of the substantive permission granted on 31/01/2013 under reference number 2012/1400/P, and is bound by all other conditions and obligations attached to that permission.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Rachel Stopard', with a horizontal line underneath.

Rachel Stopard
Director of Culture & Environment

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