



Client:
 Deauville Securities Limited

Project:
 Camden Point/ Shirley House

Drawing Title:
 Existing site plan

Scale @ A1: 1:250
 Project Co-Ordinator: PR/ MJ
 Date: Sept 2013

Job No: 9415
 Stage: PL 002
 Drawing No: A
 Rev: A

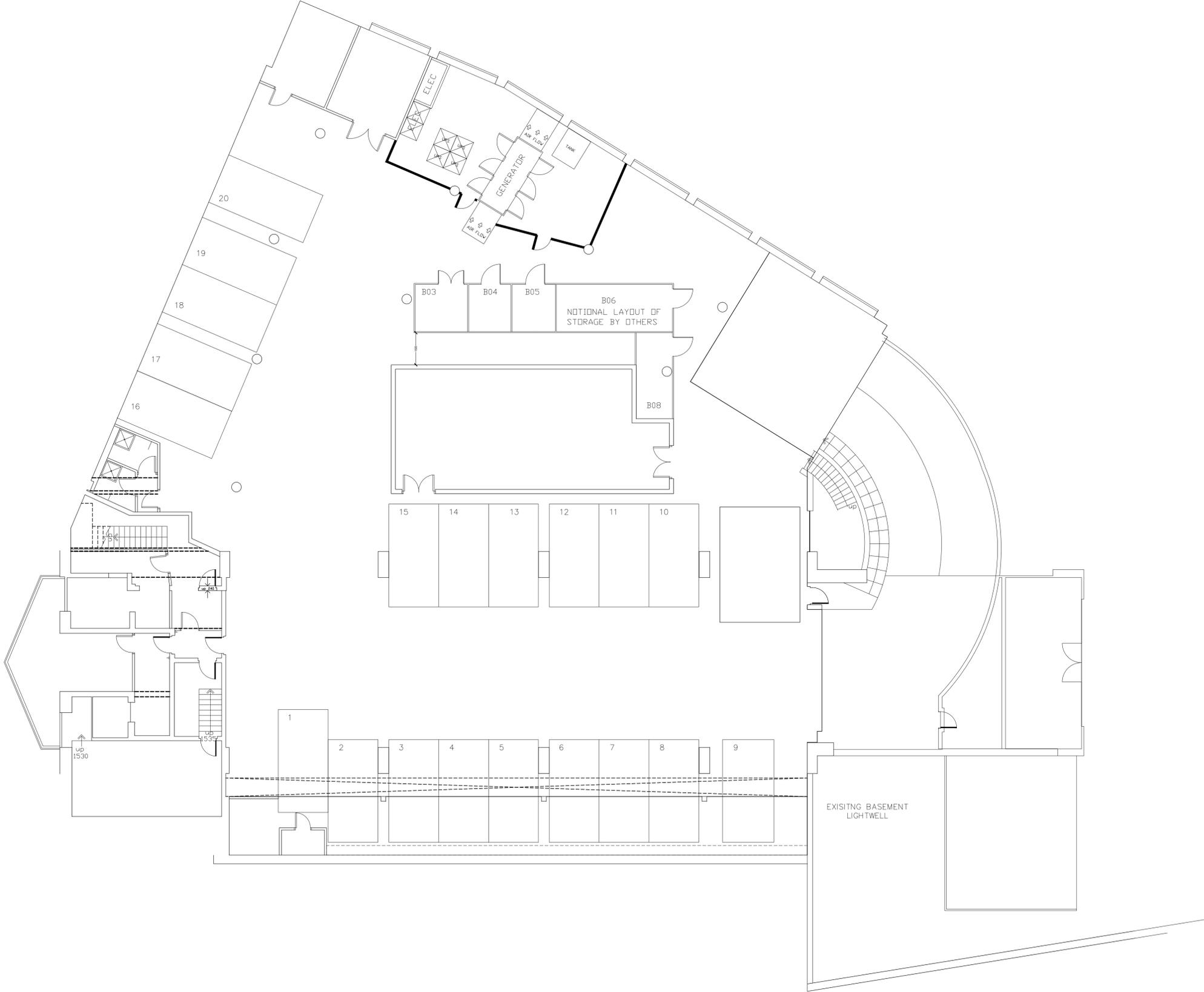
Issue Status:
 Construction Preliminary
 Information Approval
 Tender

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PRC Group

5 St Mary's Road,
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 KT6 4JG
 020 8399 5188
 Fax: 0709 286 2879
 info@prc-group.com
 www.prc-group.com



Client:
 Deauville Securities Limited

Project:
 Camden Point/ Shirley House

Drawing Title:
 Existing basement plan

Scale @ A1: 1:100
 Project Co-Ordinator: PR/MJ
 Date: Sept 2013

Job No: 9415
 Stage: PL 003
 Drawing No: PL 003
 Rev: A

Issue Status:
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Drawing Title:
Existing ground floor plan

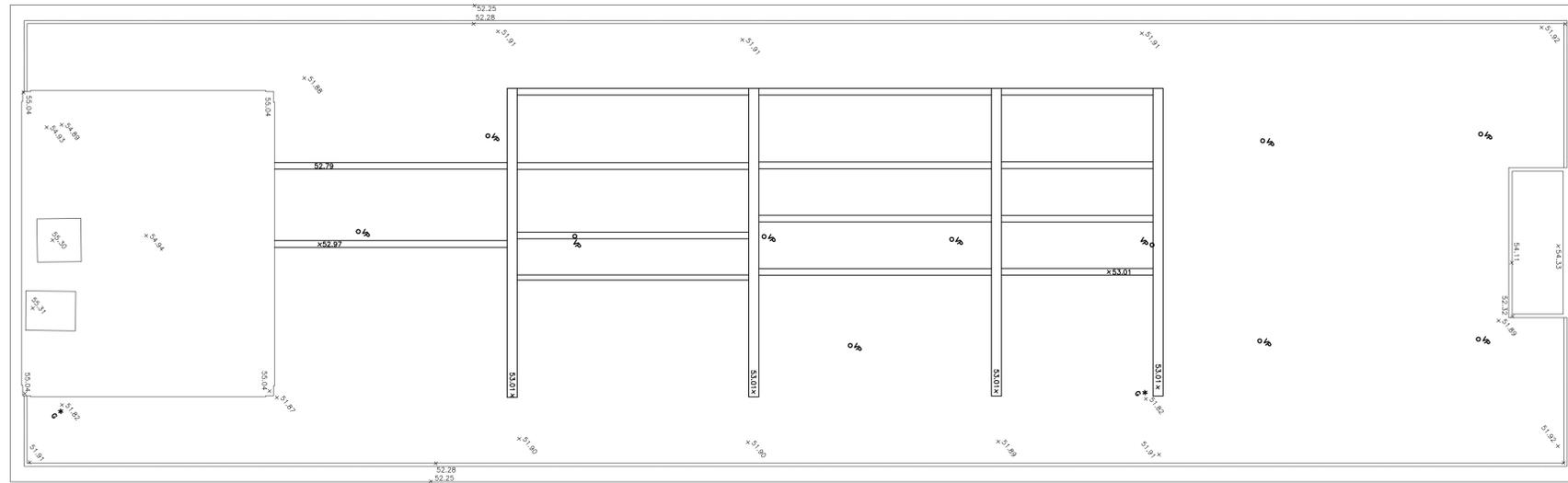
Scale @ A1: 1:100
Project Co-Ordinator: PR/MJ
Date: Sept 2013

Job No: 9415
Stage: PL 004
Drawing No: PL 004
Rev: A

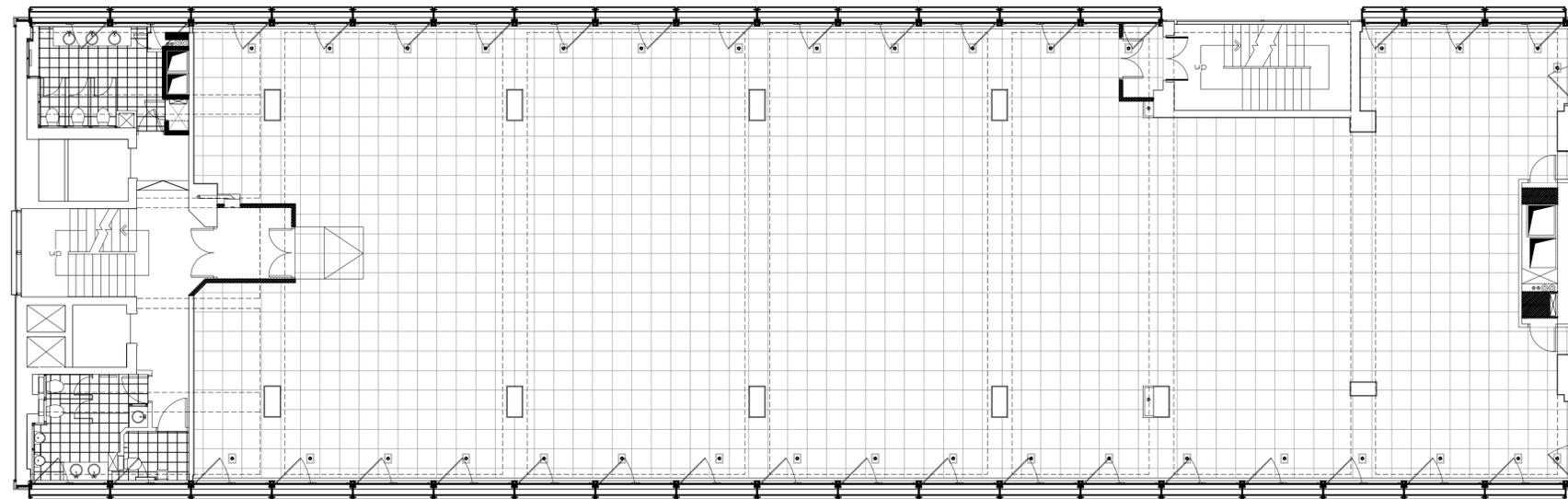
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Roof plan



Typical floor plan (level 01 to 06)



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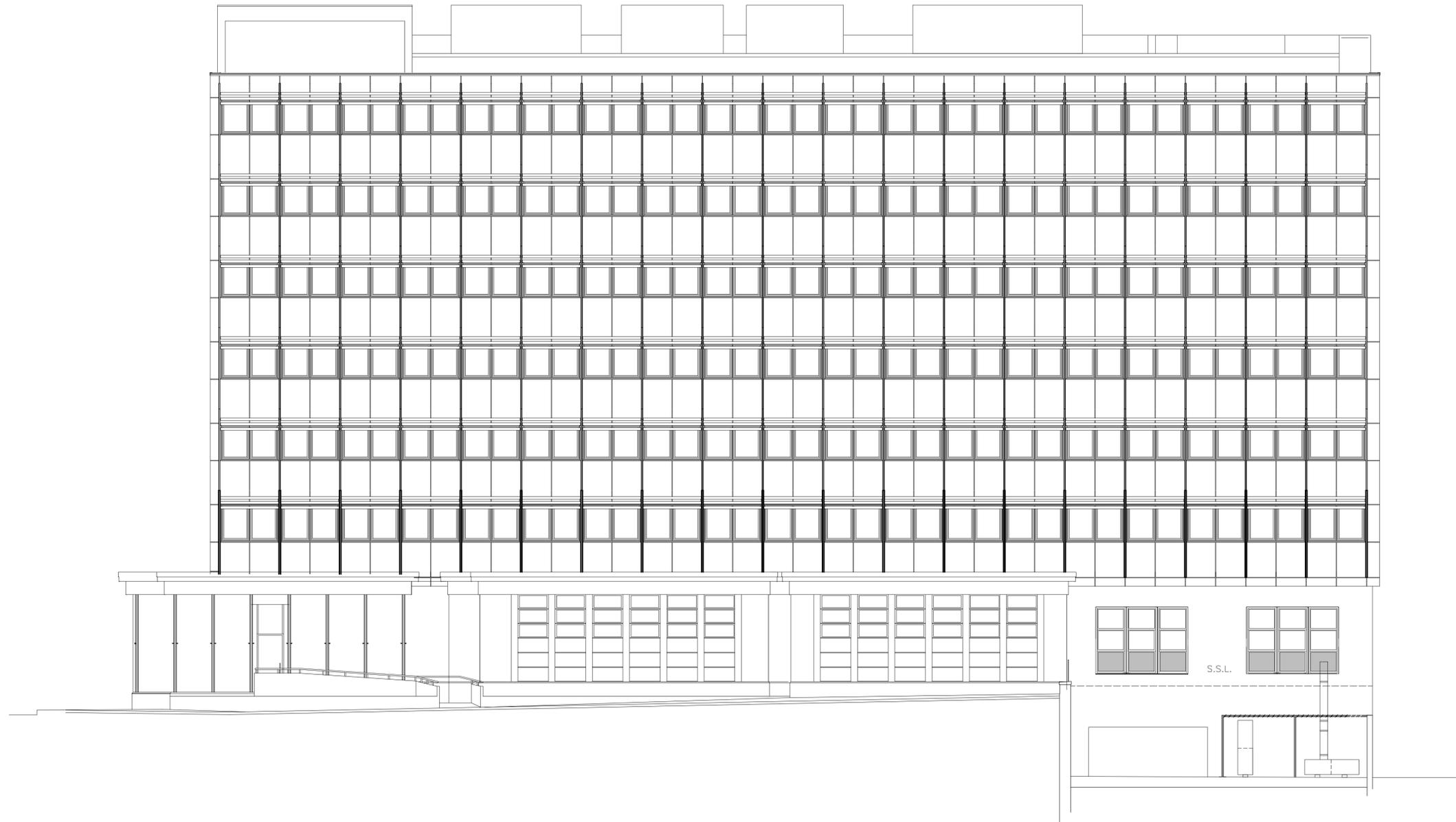
Drawing Title:
 Existing typical floor &
 Roof plan

Scale @ A1: 1:100
 Project Co-Ordinator: PR/ MJ
 Date: Sept 2013

Job No: 9415
 Stage: PL
 Drawing No: 005
 Rev: A

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Existing Camden Road Elevation



Client:
Deauville Securities Limited

Project:
Camden Point/ Shirley House

Drawing Title:
Existing elevation 01

Scale @ A1: 1:100
Project Co-Ordinator: PR/ MJ
Date: Sept 2013

Job No: 9415
Stage: PL 006
Drawing No: A
Rev: A

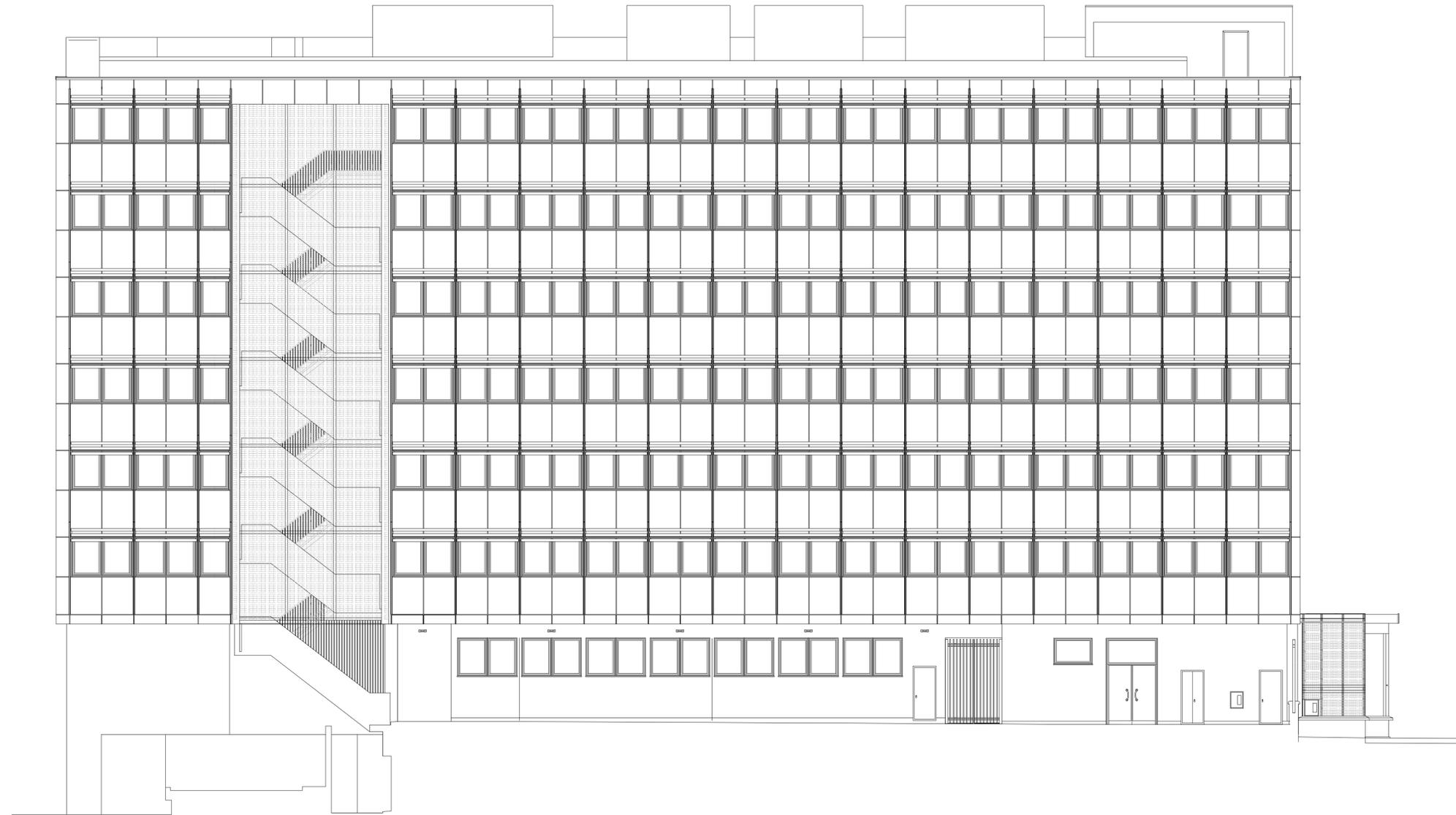
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Existing north- west elevation



Client:
Deauville Securities Limited

Project:
Camden Point/ Shirley House

Drawing Title:
Existing elevation 02

Scale @ A1: 1:100
Project Co-Ordinator: PR/ MJ
Date: Sept 2013

Job No: 9415
Stage: PL 007
Drawing No: A
Rev: A

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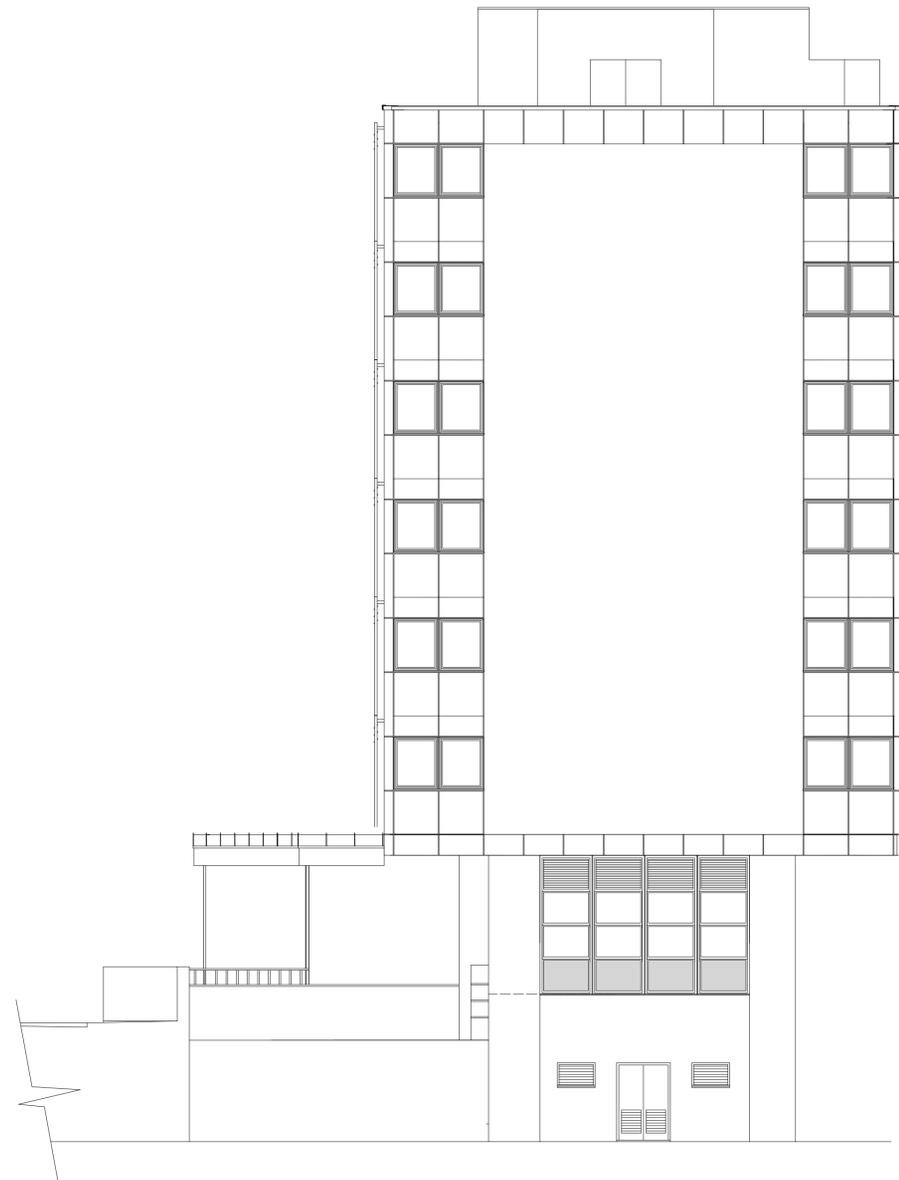
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Existing south- west elevation



Existing north- east elevation



Client:
Deauville Securities Limited

Project:
Camden Point/ Shirley House

Drawing Title:
Existing elevations 03

Scale @ A1: 1:100
Project Co-Ordinator: PR/ MJ
Date: Sept 2013

Job No: 9415
Stage: PL
Drawing No: 008
Rev: A

Issue Status:
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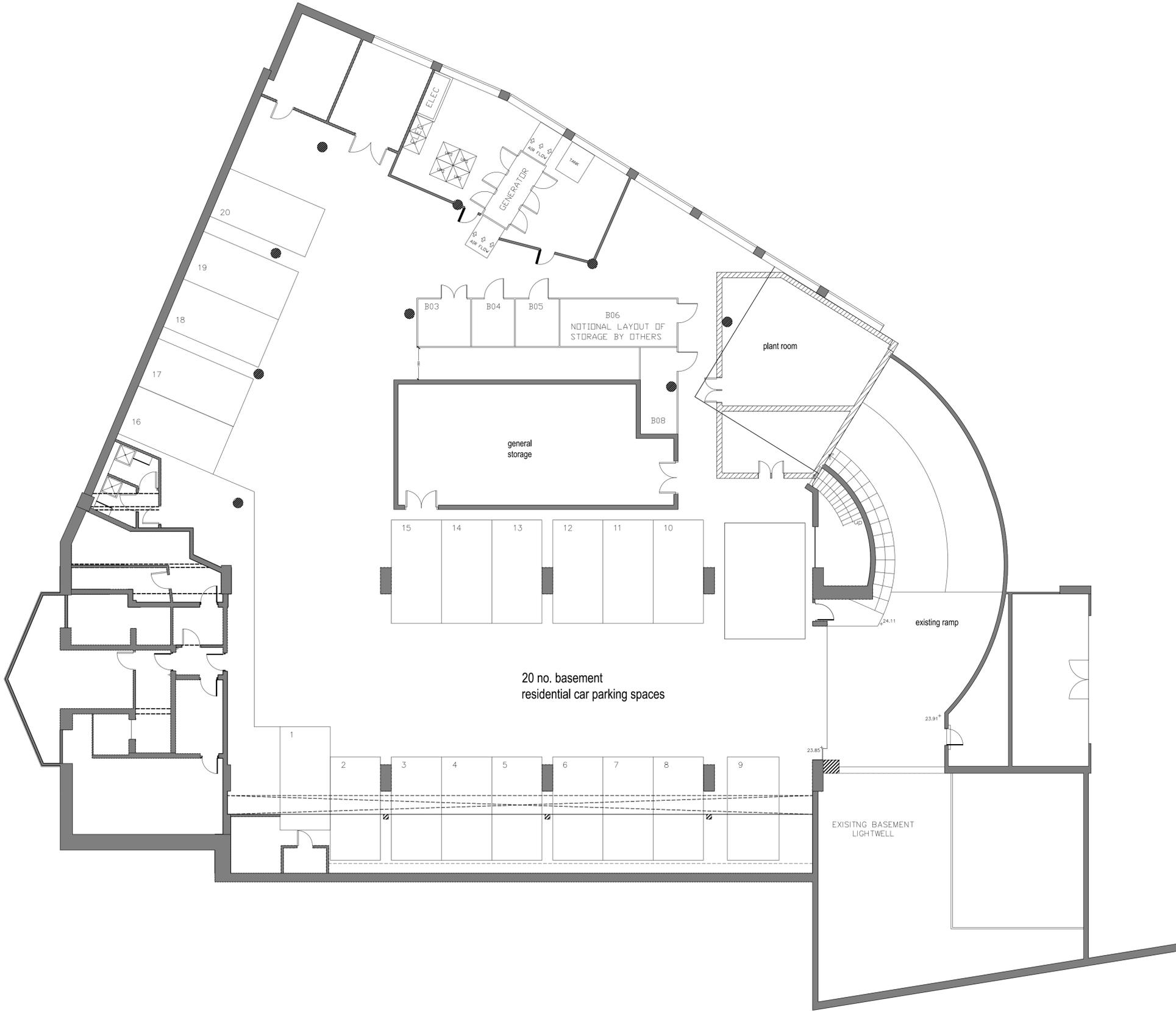


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Revisions:	By:	Date:
A. Client details amended. Parking layout shown as existing.	MJ	19.09.13
B. Cycle storage amended to show single tier Sheffield stands. Additional cycle storage rooms added.	MJ	15.05.14
C. Cycle storage layout amended to comply with the Camden Planning Guidance document.	MJ	16.05.2014
D. Basement cycle storage removed.	MJ	17.05.2014



Existing walls/ columns
Proposed walls

54 Residential Units:

1 x Studio	2%
21x 1-Bed units	39%
32x 2-Bed units	59%

Client:
Deauville Securities Limited

Project:
Camden Point/ Shirley House

Drawing Title:
PD basement plan



Scale @ A1: 1:100
Project Co-Ordinator: PR/ MJ
Date: Sept 2013

Job No: 9415
Stage: PL
Drawing No: 009
Rev: D

Issue Status:
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Figured dimensions only are to be used. All dimensions to be checked onsite. Differences between drawings and between drawings and specification or bills of quantities to be reported to the PRC Group.

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Revisions:	By:	Date:
A. Variation: Internal layouts amended to allow for existing external door opening to be utilized.	MJ	09.09.2013
B. Client details amended. Parking layout shown as existing.	MJ	19.09.2013
C. Cycle storage layout amended to show Sheffield stands. Unit 00-06 reduced in size to a Studio.	MJ	15.05.2014
D. Cycle storage layout amended to comply with the Camden Planning Guidance document.	MJ	16.05.2014
E. Ground floor cycle storage extended to allow space for 53 cycle spaces. Basement cycle storage removed. Unit 00-06 removed.	MJ	17.05.2014



26 no. residential car parking spaces
[20 no. basement + 6 no. surface]

Grand Union Canal

Camden Street

Camden Road

- Existing walls/ columns
- Proposed walls

53 Residential Units:
21x 1-Bed units 40%
32x 2-Bed units 60%
plus 46 residential car parking spaces

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Drawing Title:
PD ground floor plan

Scale @ A1: Project Co-Ordinator: Date:
1:100 PR/ MJ Sept 2013

Job No: Stage: Drawing No: Rev:
9415 PL 010 E

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Net Area Schedule - Level 06				
Quantity	Plot Number	Room Name	Area Sq Meters	Area Sq Ft
1	06-01	2-Bed 3p	71.56 M2	770ft ²
1	06-02	1-Bed 2p	50.56 M2	544ft ²
1	06-03	2-Bed 3p	71.55 M2	770ft ²
1	06-04	2-Bed 4p	79.62 M2	857ft ²
1	06-05	1-Bed 2p	59.73 M2	643ft ²
1	06-06	2-Bed 3p	71.84 M2	773ft ²
1	06-07	1-Bed 2p	50.60 M2	545ft ²
1	06-08	2-Bed 3p	71.25 M2	767ft ²
8			526.71 M2	5,670ft ²

Net Area Schedule - Level 03				
Quantity	Plot Number	Room Name	Area Sq Meters	Area Sq Ft
1	03-01	2-Bed 3p	71.56 M2	770ft ²
1	03-02	1-Bed 2p	50.56 M2	544ft ²
1	03-03	2-Bed 3p	71.55 M2	770ft ²
1	03-04	2-Bed 4p	79.62 M2	857ft ²
1	03-05	1-Bed 2p	59.73 M2	643ft ²
1	03-06	2-Bed 3p	71.84 M2	773ft ²
1	03-07	1-Bed 2p	50.60 M2	545ft ²
1	03-08	2-Bed 3p	71.25 M2	767ft ²
8			526.71 M2	5,669ft ²

Net Area Schedule - Level 01				
Quantity	Plot Number	Room Name	Area Sq Meters	Area Sq Ft
1	01-01	2-Bed 3p	71.56 M2	770ft ²
1	01-02	1-Bed 2p	50.56 M2	544ft ²
1	01-03	2-Bed 3p	71.55 M2	770ft ²
1	01-04	2-Bed 4p	79.62 M2	857ft ²
1	01-05	1-Bed 2p	59.73 M2	643ft ²
1	01-06	2-Bed 3p	71.84 M2	773ft ²
1	01-07	1-Bed 2p	50.60 M2	545ft ²
1	01-08	2-Bed 3p	71.25 M2	767ft ²
8			526.71 M2	5,669ft ²

Existing walls/ columns
 Proposed walls



54 Residential Units:

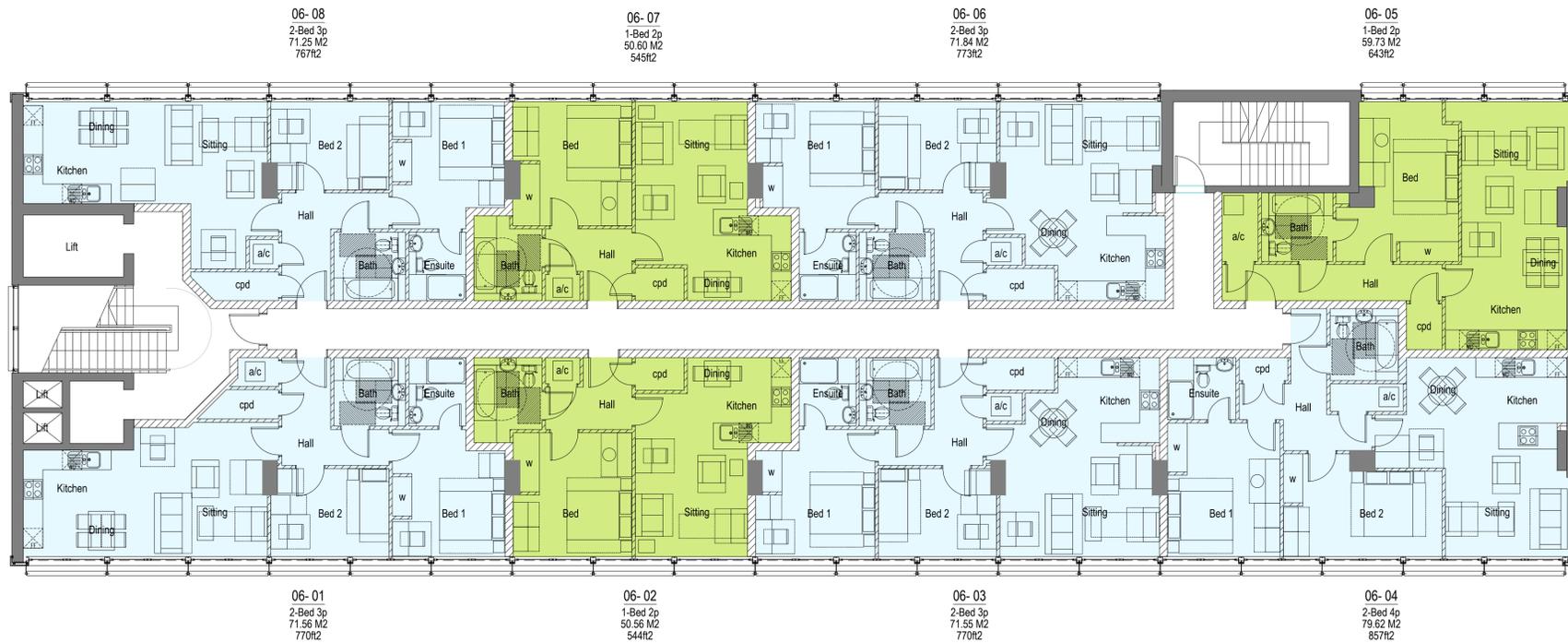
22x 1-Bed units 41%
 32x 2-Bed units 59%

Net Area Schedule - Level 05				
Quantity	Plot Number	Room Name	Area Sq Meters	Area Sq Ft
1	05-01	2-Bed 3p	71.56 M2	770ft ²
1	05-02	1-Bed 2p	50.56 M2	544ft ²
1	05-03	2-Bed 3p	71.55 M2	770ft ²
1	05-04	2-Bed 4p	79.62 M2	857ft ²
1	05-05	1-Bed 2p	59.73 M2	643ft ²
1	05-06	2-Bed 3p	71.84 M2	773ft ²
1	05-07	1-Bed 2p	50.60 M2	545ft ²
1	05-08	2-Bed 3p	71.25 M2	767ft ²
8			526.71 M2	5,669ft ²

Net Area Schedule - Level 02				
Quantity	Plot Number	Room Name	Area Sq Meters	Area Sq Ft
1	02-01	2-Bed 3p	71.56 M2	770ft ²
1	02-02	1-Bed 2p	50.56 M2	544ft ²
1	02-03	2-Bed 3p	71.55 M2	770ft ²
1	02-04	2-Bed 4p	79.62 M2	857ft ²
1	02-05	1-Bed 2p	59.73 M2	643ft ²
1	02-06	2-Bed 3p	71.84 M2	773ft ²
1	02-07	1-Bed 2p	50.60 M2	545ft ²
1	02-08	2-Bed 3p	71.25 M2	767ft ²
8			526.71 M2	5,669ft ²

Net Area Schedule - Ground Floor				
Quantity	Plot Number	Room Name	Area Sq Meters	Area Sq Ft
1	00-01	1-Bed 2p	66.35 M2	714ft ²
1	00-02	1-Bed 2p	66.21 M2	713ft ²
1	00-03	2-Bed 4p	95.82 M2	1,031ft ²
1	00-04	2-Bed 4p	90.68 M2	976ft ²
1	00-05	1-Bed 2p	57.11 M2	615ft ²
1	00-06	1-Bed 2p	52.64 M2	567ft ²
6			428.80 M2	4,616ft ²

Net Area Schedule - Level 04				
Quantity	Plot Number	Room Name	Area Sq Meters	Area Sq Ft
1	04-01	2-Bed 3p	71.56 M2	770ft ²
1	04-02	1-Bed 2p	50.56 M2	544ft ²
1	04-03	2-Bed 3p	71.55 M2	770ft ²
1	04-04	2-Bed 4p	79.62 M2	857ft ²
1	04-05	1-Bed 2p	59.73 M2	643ft ²
1	04-06	2-Bed 3p	71.84 M2	773ft ²
1	04-07	1-Bed 2p	50.60 M2	545ft ²
1	04-08	2-Bed 3p	71.25 M2	767ft ²
8			526.71 M2	5,669ft ²



Typical floor plan (level 01 to 06)

Client:
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Project:
 Camden Point/ Shirley House

Drawing Title:
 PD typical floor plan & schedule

Scale @ A1: 1:100
 Project Co-Ordinator: PR/ MJ
 Date: Sept 2013

Job No: 9415
 Stage: PL 011
 Drawing No: A
 Rev: A

Issue Status:
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