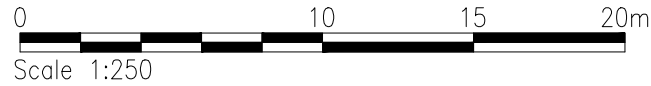


Revisions:	By:	Date:
A. Client details amended.	MJ	19.09.13

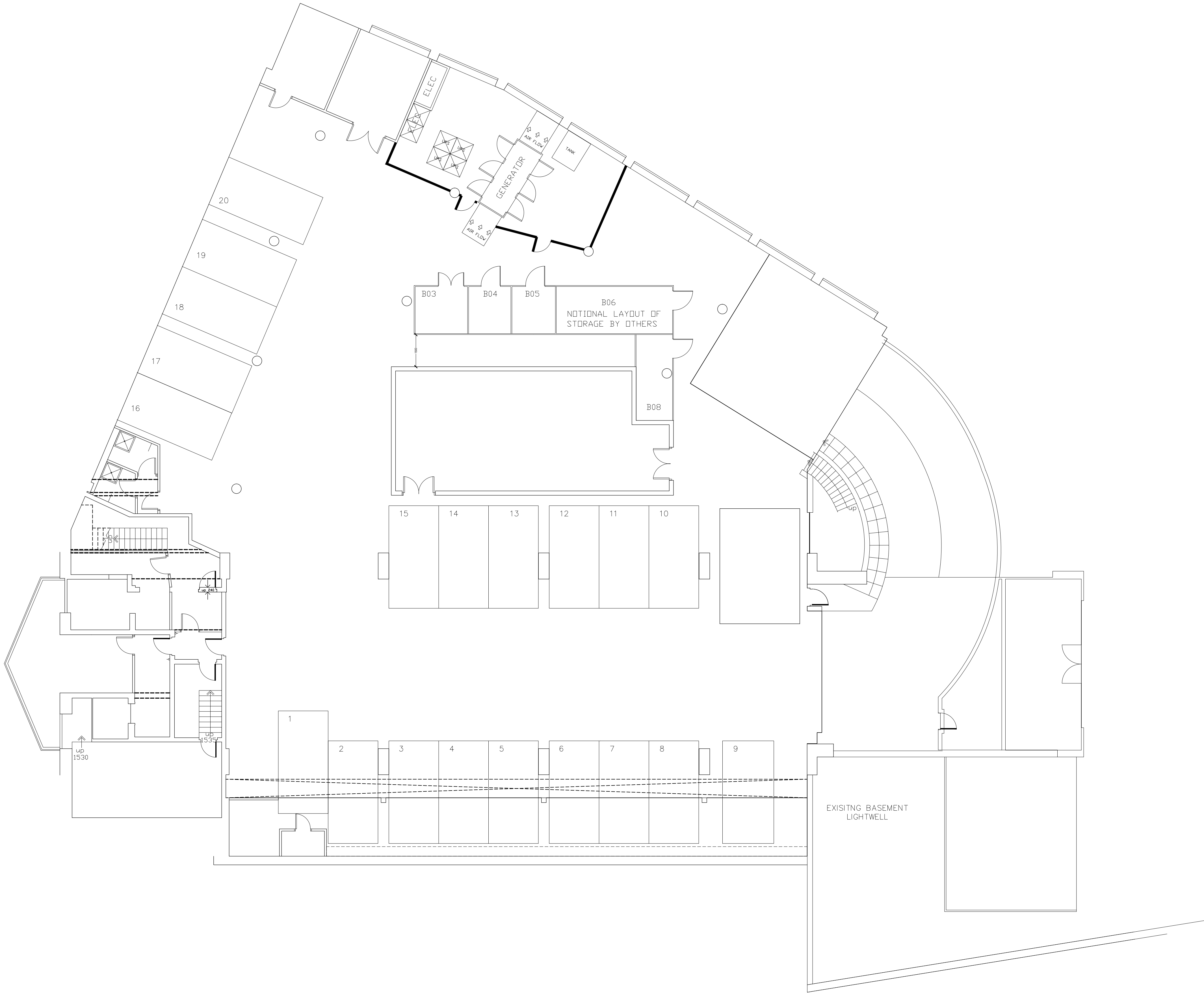
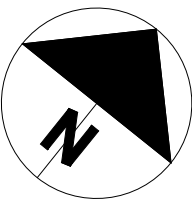


Client:	Deauville Securities Limited
Project:	Camden Point/ Shirley House
Drawing Title:	Existing site plan



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				Architecture	
Scale @ A1:	Project	Co-Ordinator:	Date:		Planning
1: 250	PR/ MJ		Sept 2013		Master Planning
				Urban Design	
				Interiors	
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Job No:	Stage:	Drawing	No:	Rev:	
9415	PL	002		A	
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Construction	<input type="checkbox"/>	Preliminary	<input type="checkbox"/>	Surbiton	
Information	<input checked="" type="checkbox"/>	Approval	<input type="checkbox"/>	Milton Keynes	
Tender	<input type="checkbox"/>			Warsaw	
				Offices	
PRC Group					



Client:
Deauville Securities Limited

Project:
Camden Point/ Shirley House

Drawing Title:
Existing basement plan

Scale @ A1: 1:100
Project Co-Ordinator: PR/ MJ
Date: Sept 2013

Job No: 9415
Stage: PL 003
Drawing No: A
Rev:

Issue Status:
Construction ☐ Preliminary ☐
Information ☒ Approval ☐
Tender ☐
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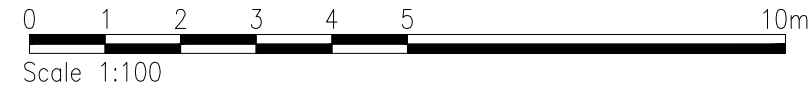
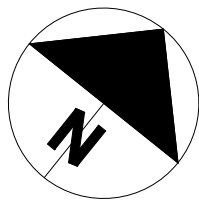
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Revisions: By: Date:

A. Client details amended. MJ 19.09.13
Parking layout shown as existing.



G:\19\15 Camden Point - Shirley House\2_Planing\Org Sheet\19\15_PL004_existing ground floor.dwg

Client:
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Project:
Camden Point/ Shirley House

Drawing Title:
Existing ground floor plan

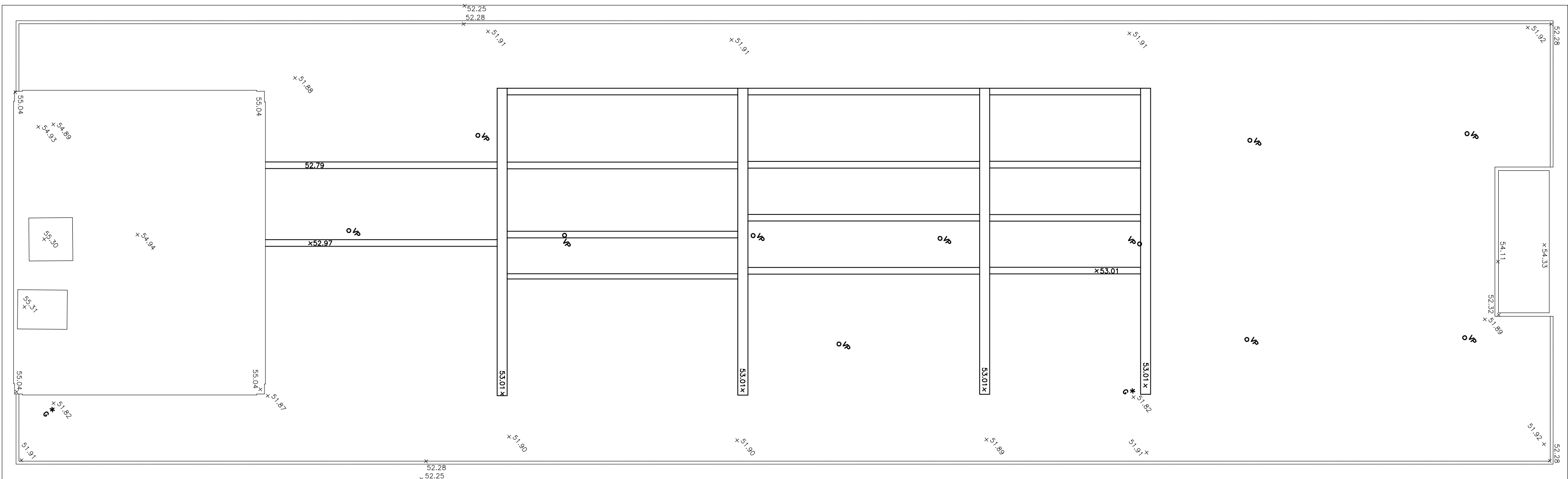
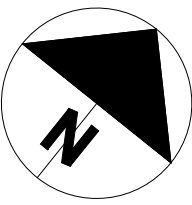
Scale @ A1: 1:100
Project Co-Ordinator: PR/ MJ
Date: Sept 2013

Job No: 9415
Stage: PL 004
Drawing No: A
Rev: A

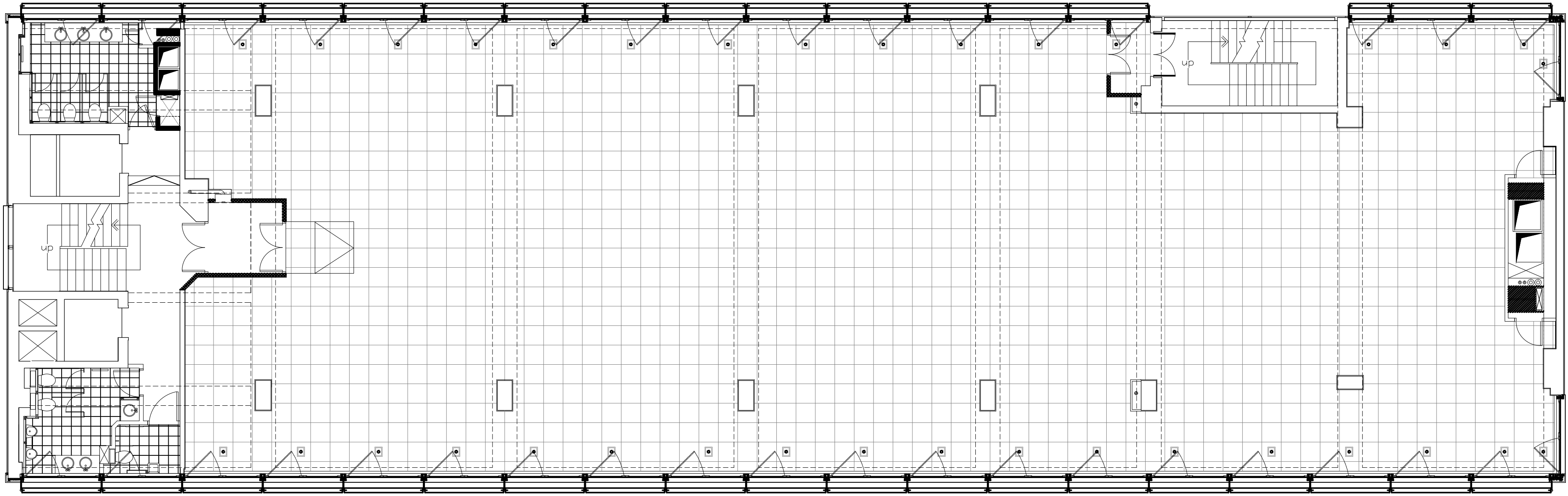
Issue Status:
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Information ☒ Approval ☐
Tender ☐
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Milton Keynes
Warsaw

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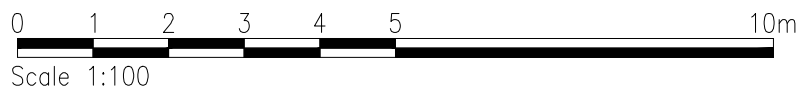
Revisions:	By:	Date:
A. Client details amended.	MJ	19.09.13



Roof plan



Typical floor plan (level 01 to 06)



Client:

Deauville Securities Limited

Project:

Camden Point/ Shirley House

Drawing Title:

Existing typical floor & Roof plan

Scale @ A1:

1: 100

Project Co-Ordinator:

PR/ MJ

Date:

Sept 2013

Job No:

9415

Stage:

PL 005

Drawing No:

PL 005

Rev:

A

Issue Status:

Construction ☐ Preliminary ☐

Information ☒ Approval ☐

Tender ☐

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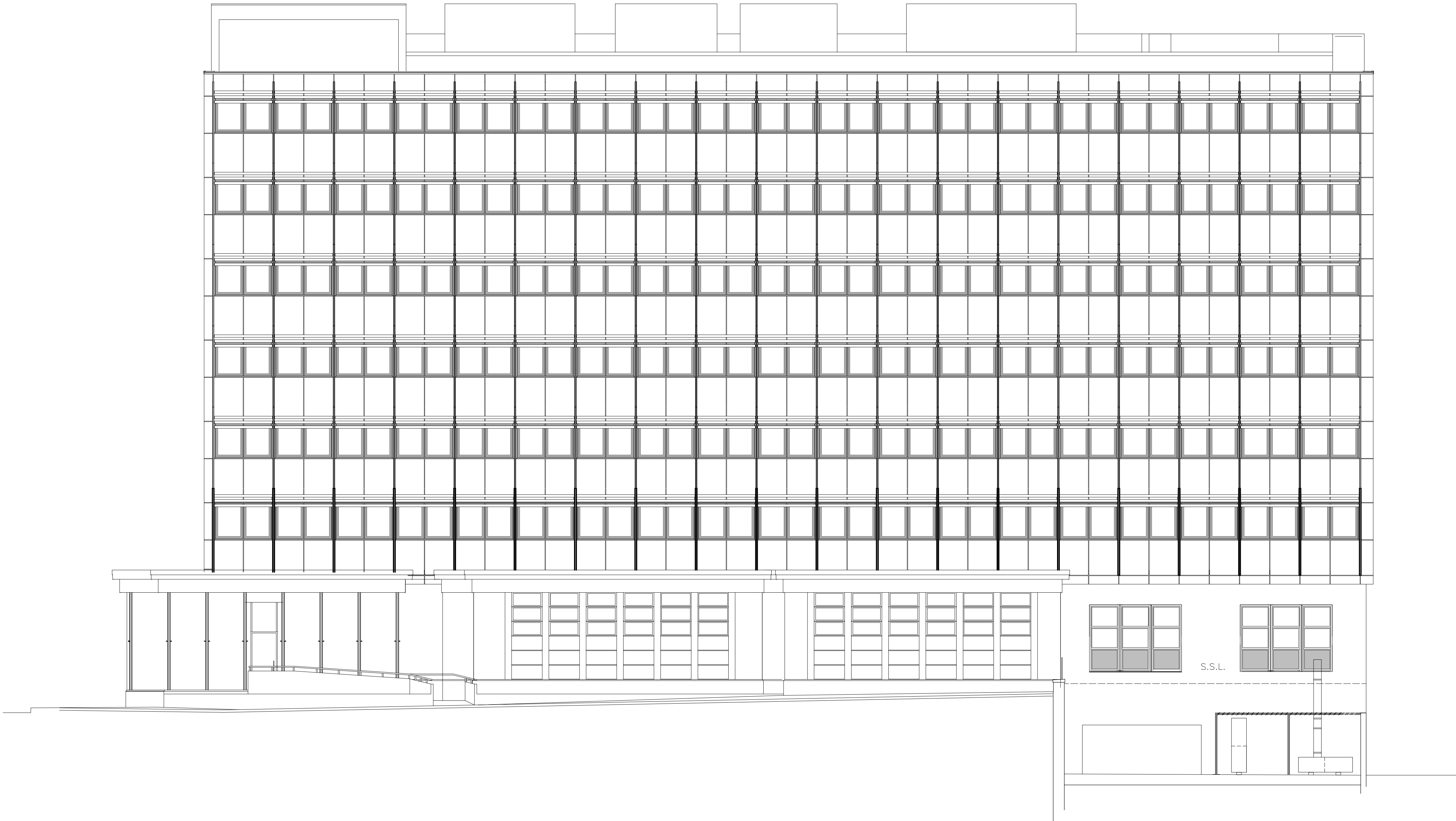
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Revisions:	By:	Date:
A. Client details amended.	MJ	19.09.13



Existing Camden Road Elevation

Client:
Deauville Securities Limited

Project:
Camden Point/ Shirley House

Drawing Title:
Existing elevation 01

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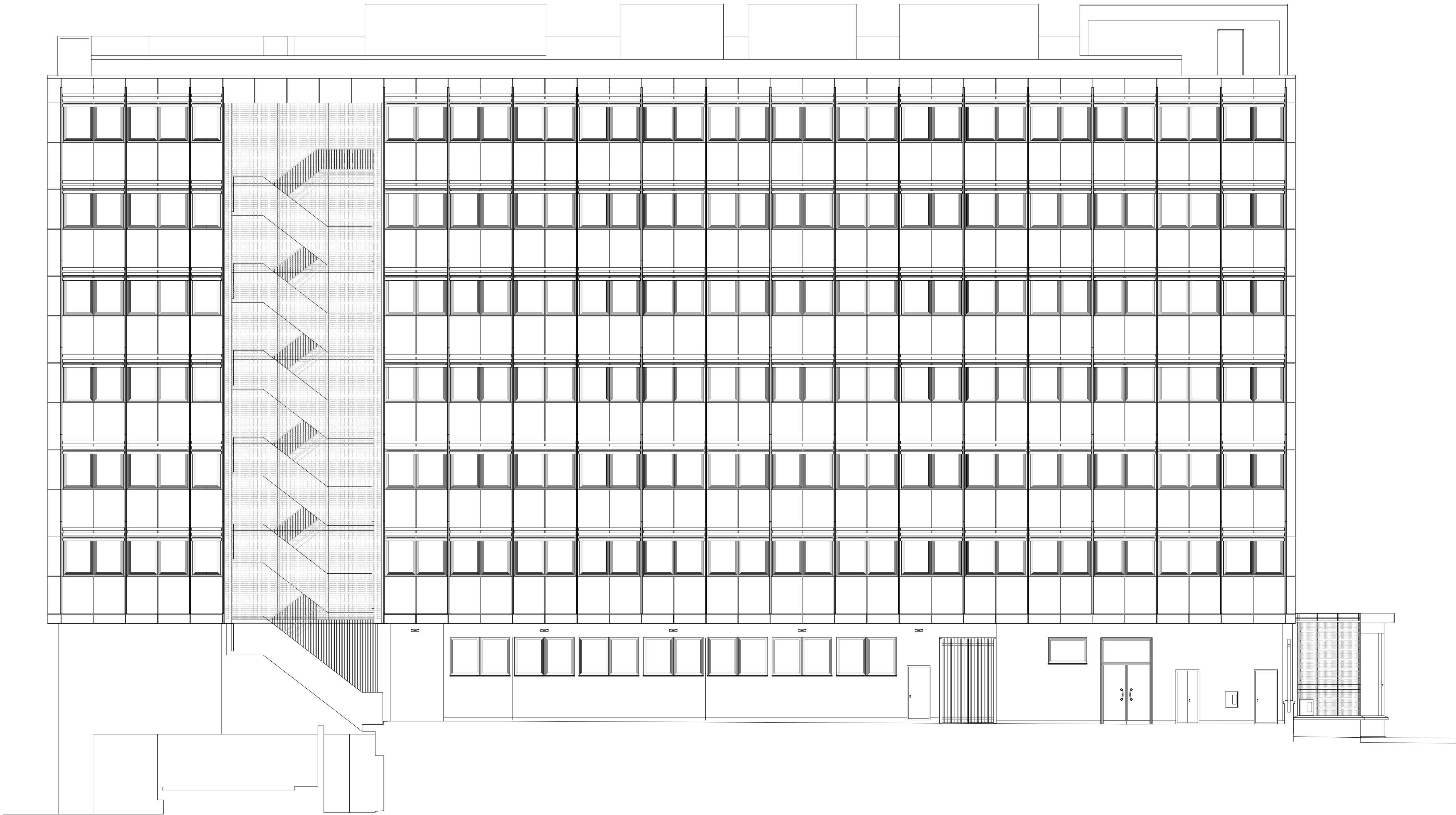
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Warsaw

Scale @ A1:	Project Co-Ordinator:	Date:	
1:100	PR/ MJ	Sept 2013	
Job No:	Stage:	Drawing No:	Rev:
9415	PL	006	A
Issue Status:			
Construction	<input type="checkbox"/> Preliminary	<input type="checkbox"/>	
Information	<input checked="" type="checkbox"/> Approval	<input type="checkbox"/>	
Tender	<input type="checkbox"/>		

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Existing north- west elevation

Client:
Deauville Securities Limited

Project:
Camden Point/ Shirley House

Drawing Title:
Existing elevation 02

Scale @ A1: Project Co-Ordinator: Date :
1: 100 PR/ MJ Sept 2013

Job No: Stage: Drawing No: Rev: :
9415 PL 007 A

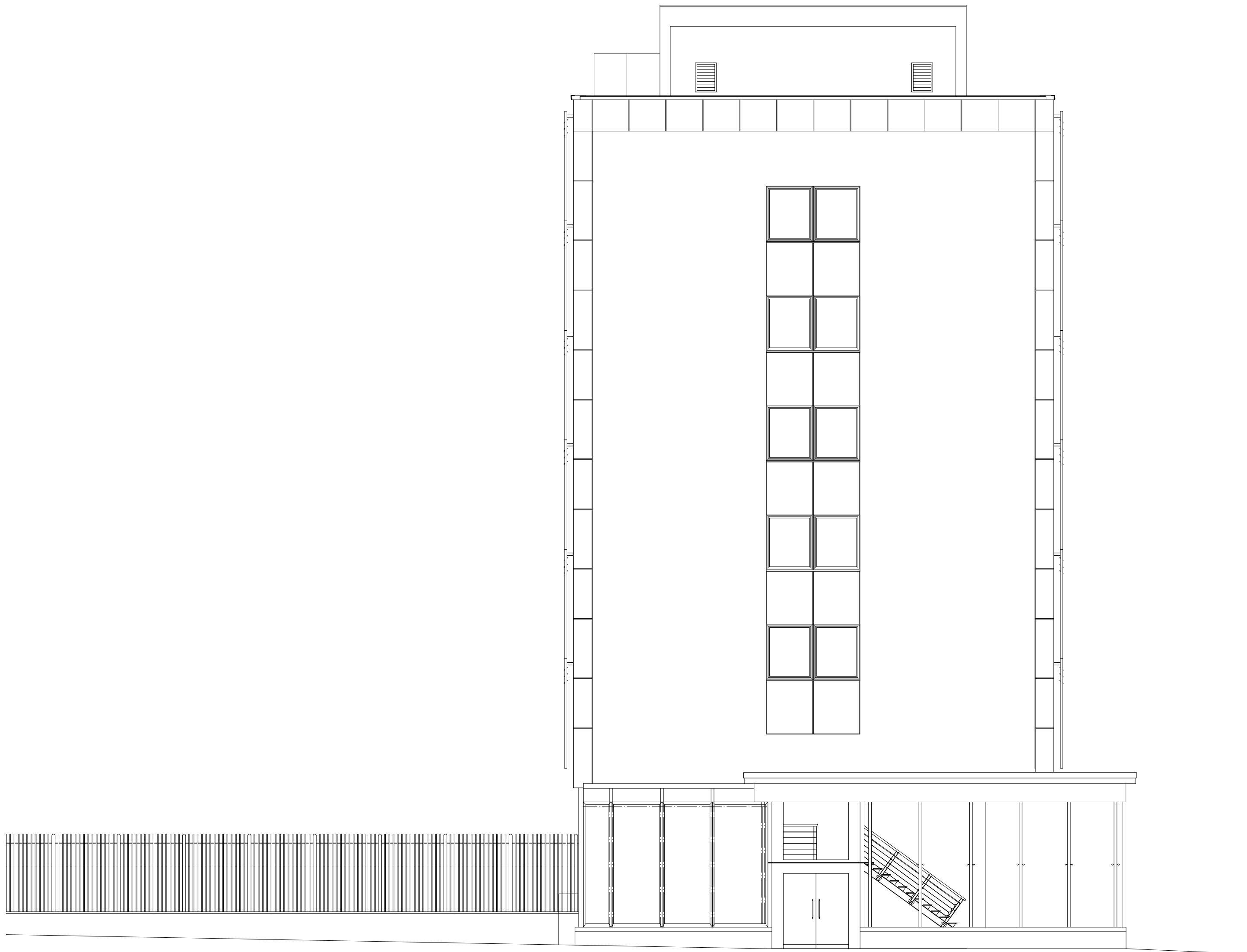
Issue Status:
Construction ☐ Preliminary ☐
Information ☒ Approval ☐
Tender ☐
Offices
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Warsaw



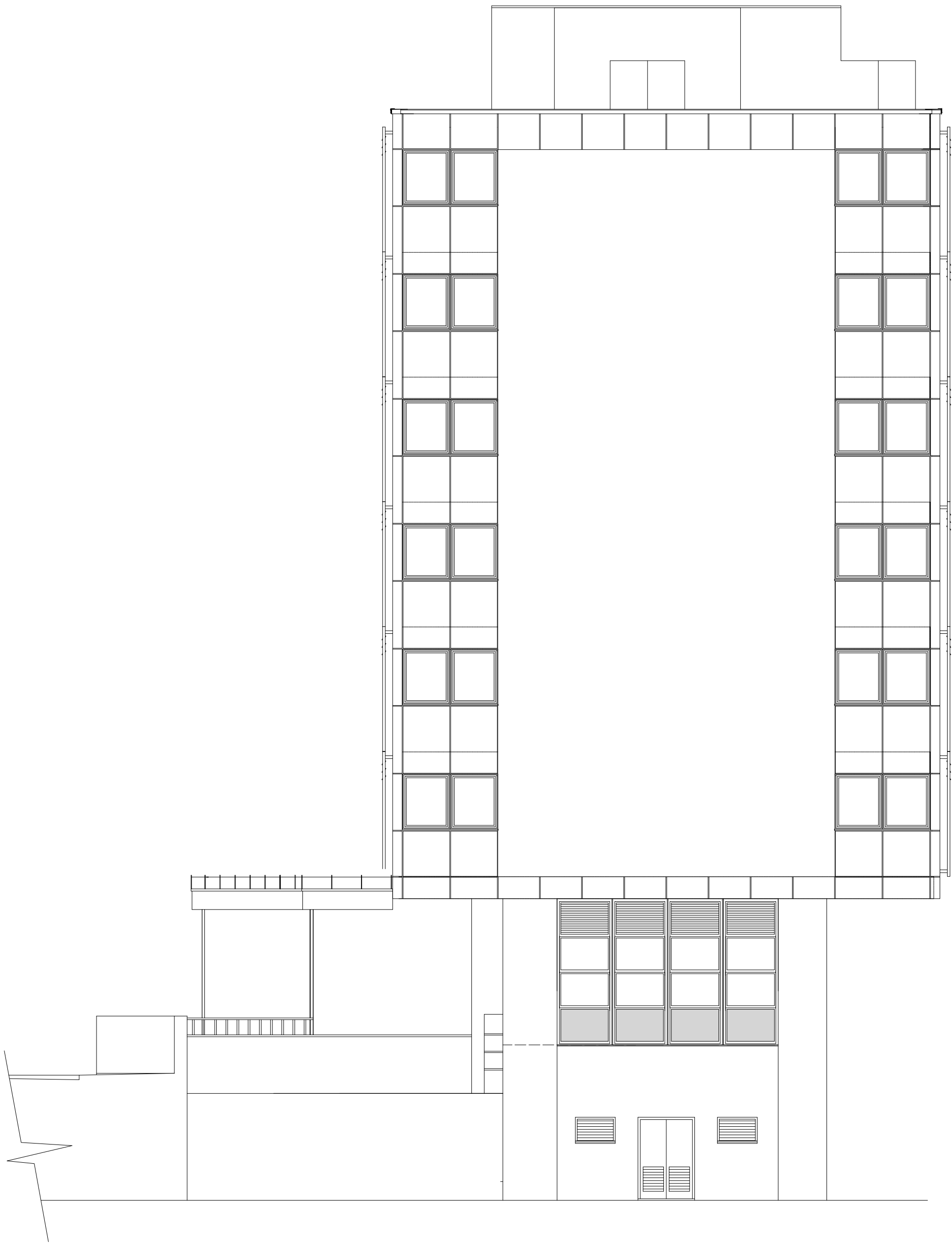
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Revisions:	By:	Date:
A. Client details amended.	MJ	19.09.13



Existing south- west elevation



Existing north- east elevation

Client:

Deauville Securities Limited

Project:

Camden Point/ Shirley House

Drawing Title:

Existing elevations 03



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Scale @ A1:

1: 100

Project Co-Ordinator:

PR/ MJ

Date:

Sept 2013

Job No:

9415

Stage:

PL

Drawing No:

008

Rev:

A

Issue Status:

Construction ☐ Preliminary ☐

Information ☒ Approval ☐

Tender ☐

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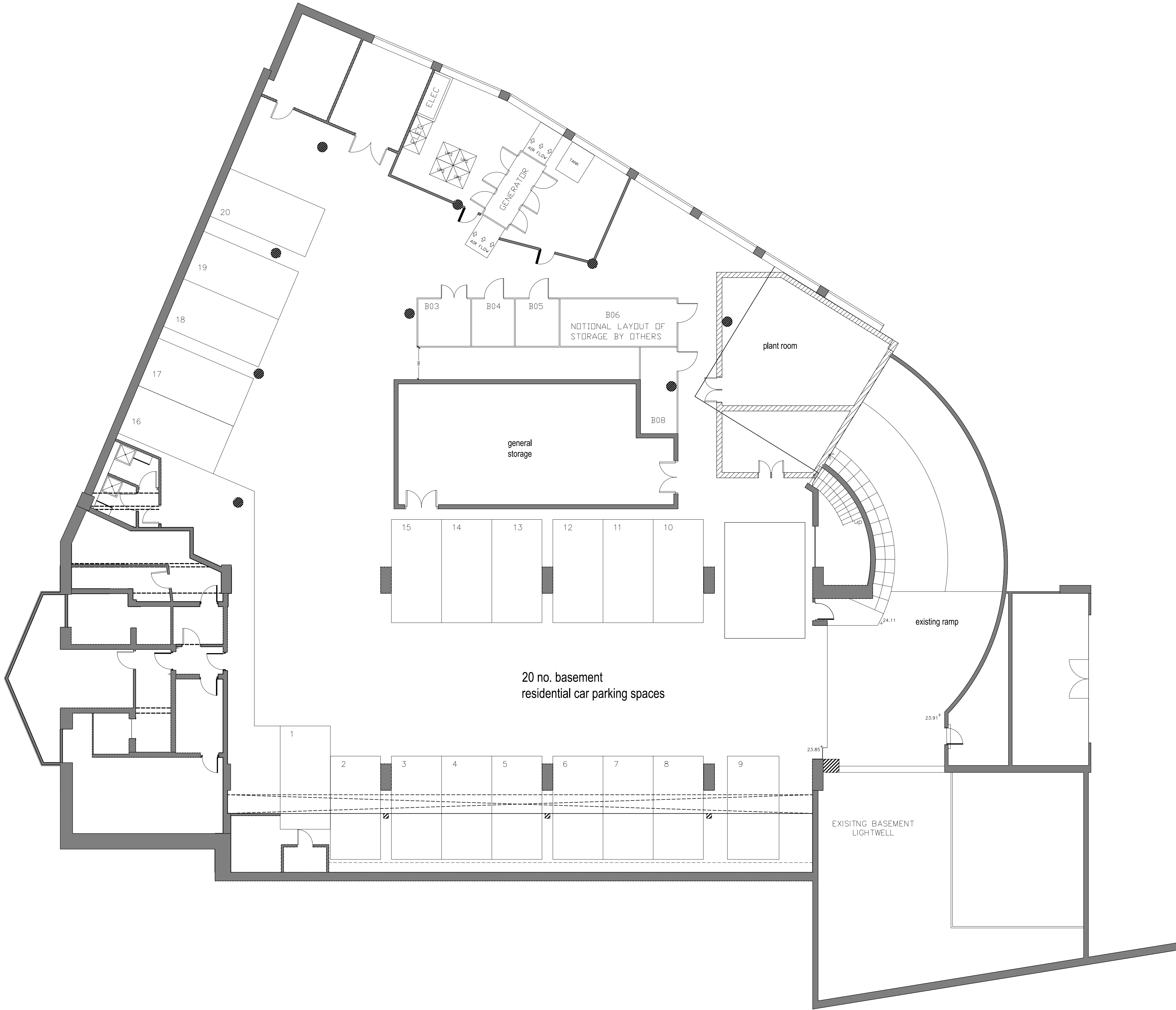
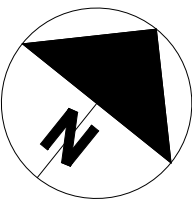
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Milton Keynes

Warsaw

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Revisions:	By:	Date:
A. Client details amended. Parking layout shown as existing.	MJ	19.09.13
B. Cycle storage amended to show single tier Sheffield stands. Additional cycle storage rooms added.	MJ	15.05.14
C. Cycle storage layout amended to comply with the Camden Planning Guidance document.	MJ	16.05.2014
D. Basement cycle storage removed.	MJ	17.05.2014



- Existing walls/ columns
- Proposed walls

54 Residential Units:

1 x Studio	2%
21x 1-Bed units	39%
32x 2-Bed units	59%

Client:
Deauville Securities Limited

Project:
Camden Point/ Shirley House

Drawing Title:
PD basement plan



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Scale @ A1: 1:100
Project Co-Ordinator: PR/ MJ
Date: Sept 2013

Job No: 9415
Stage: PL
Drawing No: 009
Rev: D

Issue Status:	
Construction	<input type="checkbox"/> Preliminary
Information	<input checked="" type="checkbox"/> Approval
Tender	<input type="checkbox"/>

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Revisions:	By:	Date:
A. Variation. Internal layouts amended to allow for existing external door opening to be utilized.	MJ	09.09.2013
B. Client details amended. Parking layout shown as existing.	MJ	19.09.2013
C. Cycle storage layout amended to show Sheffield stands. Unit 00-06 reduced in size to a Studio.	MJ	15.05.2014
D. Cycle storage layout amended to comply with the Camden Planning Guidance document.	MJ	16.05.2014
E. Ground floor cycle storage extended to allow space for 53 cycle spaces. Basement cycle storage removed. Unit 00-06 removed.	MJ	17.05.2014

Existing walls/ columns
Proposed walls

53 Residential Units:
21x 1-Bed units 40%
32x 2-Bed units 60%
plus 46 residential car parking spaces

Client:
Deauville Securities Limited

Project:
Camden Point/ Shirley House

Drawing Title:
PD ground floor plan

Scale @ A1: 1:100
Project Co-Ordinator: PR/ MJ
Date: Sept 2013

Job No: 9415
Stage: PL
Drawing No: 010
Rev: E

Issue Status:
Construction ☐ Preliminary ☐
Information ☒ Approval ☐
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0 1 2 3 4 5 10m
Scale 1:100

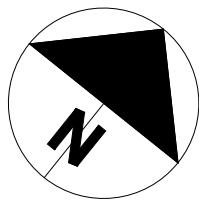
Net Area Schedule - Level 06				
Quantity	Plot Number	Room Name	Area Sq Meters	Area Sq Ft
1	06-01	2-Bed 3p	71.56 M2	770ft ²
1	06-02	1-Bed 2p	50.56 M2	544ft ²
1	06-03	2-Bed 3p	71.55 M2	770ft ²
1	06-04	2-Bed 4p	79.62 M2	857ft ²
1	06-05	1-Bed 2p	59.73 M2	643ft ²
1	06-06	2-Bed 3p	71.84 M2	773ft ²
1	06-07	1-Bed 2p	50.60 M2	545ft ²
1	06-08	2-Bed 3p	71.25 M2	767ft ²
8			526.71 M2	5,670ft ²

Net Area Schedule - Level 03				
Quantity	Plot Number	Room Name	Area Sq Meters	Area Sq Ft
1	03-01	2-Bed 3p	71.56 M2	770ft ²
1	03-02	1-Bed 2p	50.56 M2	544ft ²
1	03-03	2-Bed 3p	71.55 M2	770ft ²
1	03-04	2-Bed 4p	79.62 M2	857ft ²
1	03-05	1-Bed 2p	59.73 M2	643ft ²
1	03-06	2-Bed 3p	71.84 M2	773ft ²
1	03-07	1-Bed 2p	50.60 M2	545ft ²
1	03-08	2-Bed 3p	71.25 M2	767ft ²
8			526.71 M2	5,669ft ²

Net Area Schedule - Level 01				
Quantity	Plot Number	Room Name	Area Sq Meters	Area Sq Ft
1	01-01	2-Bed 3p	71.56 M2	770ft ²
1	01-02	1-Bed 2p	50.56 M2	544ft ²
1	01-03	2-Bed 3p	71.55 M2	770ft ²
1	01-04	2-Bed 4p	79.62 M2	857ft ²
1	01-05	1-Bed 2p	59.73 M2	643ft ²
1	01-06	2-Bed 3p	71.84 M2	773ft ²
1	01-07	1-Bed 2p	50.60 M2	545ft ²
1	01-08	2-Bed 3p	71.25 M2	767ft ²
8			526.71 M2	5,669ft ²

Existing walls/ columns

Proposed walls



54 Residential Units:

22x 1-Bed units 41%

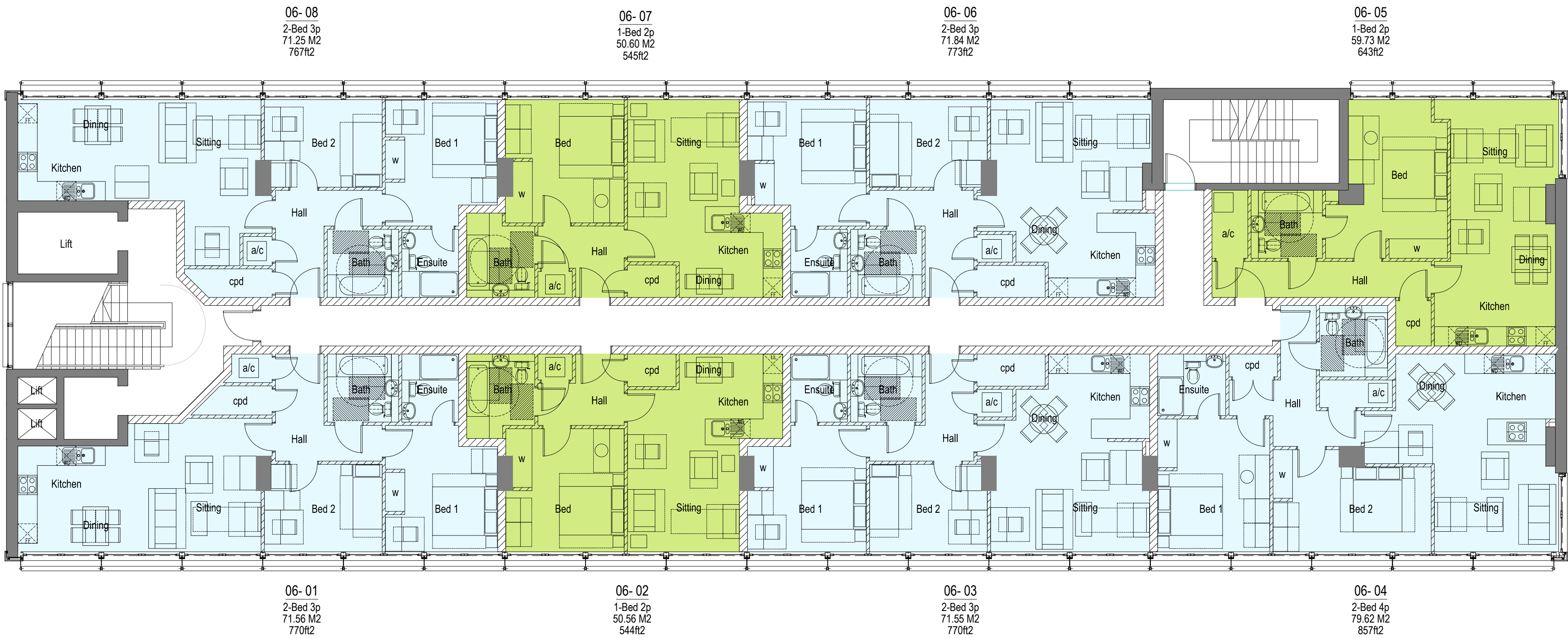
32x 2-Bed units 59%

Net Area Schedule - Level 05				
Quantity	Plot Number	Room Name	Area Sq Meters	Area Sq Ft
1	05-01	2-Bed 3p	71.56 M2	770ft ²
1	05-02	1-Bed 2p	50.56 M2	544ft ²
1	05-03	2-Bed 3p	71.55 M2	770ft ²
1	05-04	2-Bed 4p	79.62 M2	857ft ²
1	05-05	1-Bed 2p	59.73 M2	643ft ²
1	05-06	2-Bed 3p	71.84 M2	773ft ²
1	05-07	1-Bed 2p	50.60 M2	545ft ²
1	05-08	2-Bed 3p	71.25 M2	767ft ²
8			526.71 M2	5,669ft ²

Net Area Schedule - Level 02				
Quantity	Plot Number	Room Name	Area Sq Meters	Area Sq Ft
1	02-01	2-Bed 3p	71.56 M2	770ft ²
1	02-02	1-Bed 2p	50.56 M2	544ft ²
1	02-03	2-Bed 3p	71.55 M2	770ft ²
1	02-04	2-Bed 4p	79.62 M2	857ft ²
1	02-05	1-Bed 2p	59.73 M2	643ft ²
1	02-06	2-Bed 3p	71.84 M2	773ft ²
1	02-07	1-Bed 2p	50.60 M2	545ft ²
1	02-08	2-Bed 3p	71.25 M2	767ft ²
8			526.71 M2	5,669ft ²

Net Area Schedule - Ground Floor				
Quantity	Plot Number	Room Name	Area Sq Meters	Area Sq Ft
1	00-01	1-Bed 2p	66.35 M2	714ft ²
1	00-02	1-Bed 2p	66.21 M2	713ft ²
1	00-03	2-Bed 4p	95.82 M2	1,031ft ²
1	00-04	2-Bed 4p	90.68 M2	976ft ²
1	00-05	1-Bed 2p	57.11 M2	615ft ²
1	00-06	1-Bed 2p	52.64 M2	567ft ²
6			428.80 M2	4,619ft ²

Net Area Schedule - Level 04				
Quantity	Plot Number	Room Name	Area Sq Meters	Area Sq Ft
1	04-01	2-Bed 3p	71.56 M2	770ft ²
1	04-02	1-Bed 2p	50.56 M2	544ft ²
1	04-03	2-Bed 3p	71.55 M2	770ft ²
1	04-04	2-Bed 4p	79.62 M2	857ft ²
1	04-05	1-Bed 2p	59.73 M2	643ft ²
1	04-06	2-Bed 3p	71.84 M2	773ft ²
1	04-07	1-Bed 2p	50.60 M2	545ft ²
1	04-08	2-Bed 3p	71.25 M2	767ft ²
8			526.71 M2	5,669ft ²



Typical floor plan (level 01 to 06)

Client:
Deauville Securities Limited

Project:
Camden Point/ Shirley House

Drawing Title:
PD typical floor plan & schedule

Scale @ A1: 1:100
Project Co-Ordinator: PR/ MJ
Date: Sept 2013

Job No: 9415
Stage: PL
Drawing No: 011
Rev: A

Issue Status:
Construction ☐ Preliminary ☐
Information ☒ Approval ☐
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