

Address:	26 King's Mews London WC1N 2JB		9
Application Number:	2012/3101/P	Officer: Rob Tulloch	
Ward:	Holborn & Covent Garden		
Date Received:	14/06/2012		
Proposal: Erection of a three storey dwelling house with second floor terrace (Class C3) following partial demolition of existing office/warehouse (Class B1/B8)			
Drawing Numbers:			
<p>Site Location Plan 26-2001-B; 2002-B; 2003-B; 2004-B; 2005-B; 2006-B; 2007-C; 2008-C; 2009-B; 2010-B; 2011-C; 2012-C; 2014-C; 2015-B; 2016-B; 2017-B; Design and Access Statement by Nicholas Rae & Associates dated June 2012; Construction Management Plan dated 13th June 2012; Demolition Statement by Nicholas Rae & Associates dated 25th June 2012; Overarching Planning Statement by Nicholas Rae & Associates dated 15th June 2012; Daylight and Sunlight report by Waldrams dated 20th June 2012; Sustainable Statement – Design and Construction by Nicholas Rae & Associates dated 25th June 2012; Code for Sustainable Homes Pre-Assessment by PAAD dated 6th September 2012; Code for sustainable Homes Pre-Assessment Report by PAAD dated 6th September 2012; Green Roof Specification by Nicholas Rae & Associates dated 25th June 2012; Lifetimes Homes Statement dated 13th June 2012; Planning Support Statement by Farebrother Surveyors dated August 2012.</p>			
RECOMMENDATION SUMMARY: Grant Planning Permission Subject to a Section 106 Agreement			
<u>Related Application</u> Date of Application:	14/06/2012		10
Application Number:	2012/3159/C		
Proposal: Partial demolition of existing office/warehouse building (Class B1/B8).			
Drawing Numbers:			
<p>Site Location Plan 26-2001-B; 2002-B; 2003-B; 2004-B; 2005-B; 2006-B; 2009-B; Design and Access Statement by Nicholas Rae & Associates dated June 2012; Demolition Statement by Nicholas Rae & Associates dated 25th June 2012; Overarching Planning Statement by Nicholas Rae & Associates dated 15th June 2012.</p>			
RECOMMENDATION SUMMARY: Grant Conservation Area Consent			
Applicant:		Agent:	
Mr Michael Rae 4 Frere Street London SW11 2JA		Nicholas Rae & Associates Ltd 30a King's Mews London WC1N 2JB	

ANALYSIS INFORMATION

Land Use Details:

	Use Class	Use Description	Floorspace
Existing		<i>B1/B8 Office/Warehousing</i>	<i>162m²</i>
Proposed		<i>C3 Dwelling house</i>	<i>215m²</i>

Residential Use Details:

	Residential Type	No. of Bedrooms per Unit								
		1	2	3	4	5	6	7	8	9+
Existing	<i>Dwelling house</i>									
Proposed	<i>Dwelling house</i>		<i>1</i>							

Parking Details:

	Parking Spaces (General)	Parking Spaces (Disabled)
Existing	<i>0</i>	<i>0</i>
Proposed	<i>0</i>	<i>0</i>

Address:	27 King's Mews London WC1N 2JB		11
Application Number:	2012/3125/P	Officer: Rob Tulloch	
Ward:	Holborn & Covent Garden		
Date Received:	14/06/2012		
Proposal: Erection of a three storey dwelling house with second floor terrace (Class C3) following partial demolition of existing office/warehouse (Class B1/B8)			
Drawing Numbers: Site Location Plan 115 A1000 Rev 01; Site Plan 115 A1100 Rev 01; S1200 Rev 01; S1201 Rev 01; S1202 Rev 01; S1300 Rev 01; S1400 Rev 01; S1401 Rev 00; A1200 Rev 04; A1300 Rev 04; A1400A Rev 00; A1401A Rev 00; A5000 Rev 00; A5001 Rev 00; Design and Access Statement by Nico Warr Architects dated June 2012; Overarching Planning Statement by Tibbalds dated June 2012; Daylight and Sunlight report by Waldrums dated 20th June 2012; Code for sustainable Homes Pre-Assessment Report by BRE Global Ltd; Planning Support Statement by Farebrother Surveyors dated August 2012.			
RECOMMENDATION SUMMARY: Grant Planning Permission Subject to a Section 106 Agreement			
Related Application Date of Application:	14/06/2012		12
Application Number:	2012/3126/C		
Proposal: Partial demolition of existing office/warehouse building (Class B1/B8).			
Drawing Numbers: Site Location Plan 115 A1000 Rev 01; Site Plan 115 A1100 Rev 01; S1200 Rev 01; S1201 Rev 01; S1202 Rev 01; S1300 Rev 01; S1400 Rev 01; Design and Access Statement by Nico Warr Architects dated June 2012; Overarching Planning Statement by Tibbalds dated June 2012			
RECOMMENDATION SUMMARY: Grant Conservation Area Consent			
Applicant:		Agent:	
Mr Jacob Low-Beer 1a Helmet Row London EC1V 3QJ		Nico Warr Architects 15A Talbot Road London W2 5JE	

ANALYSIS INFORMATION

Land Use Details:

	Use Class	Use Description	Floorspace
Existing	<i>B1/B8 Office/Warehousing</i>		<i>170m²</i>
Proposed	<i>C3 Dwelling house</i>		<i>220m²</i>

Residential Use Details:

	Residential Type	No. of Bedrooms per Unit								
		1	2	3	4	5	6	7	8	9+
Existing	<i>Dwelling house</i>									
Proposed	<i>Dwelling house</i>			<i>1</i>						

Parking Details:

	Parking Spaces (General)	Parking Spaces (Disabled)
Existing	<i>0</i>	<i>0</i>
Proposed	<i>0</i>	<i>0</i>

Address:	28 King's Mews London WC1N 2JB		13
Application Number:	2012/3113/P	Officer: Rob Tulloch	
Ward:	Holborn & Covent Garden		
Date Received:	15/06/2012		
Proposal: Erection of a three storey building to provide two flats with second floor terrace (Class C3) following partial demolition of existing office/warehouse (Class B1/B8)			
Drawing Numbers: Site Location Plan 200_03_101; 01; 02; 03; 05; 06; 10 Rev B; 11 Rev A; 12 Rev A; 13 Rev A; 14 Rev A; 15 Rev A; 16 Rev A; 17 Rev A; Design and Access Statement by FT Architects dated June 2012; Construction Management Plan by FT Architects dated June 2012; Overarching Planning Statement by FT Architects dated June 2012; Daylight and Sunlight report by Waldrams dated 20 th June 2012; Code for Sustainable Homes Report by Abba Energy Ltd dated 17 th August 2012; Planning Support Statement by Farebrother Surveyors dated August 2012.			
RECOMMENDATION SUMMARY: Grant Planning Permission Subject to a Section 106 Planning Agreement			
<u>Related Application</u> Date of Application:	15/06/2012		14
Application Number:	2012/3190/C		
Proposal: Partial demolition of existing office/warehouse building (Class B1/B8).			
Drawing Numbers: Site Location Plan 200_03_101; 01; 02; 03; 05; 06; Design and Access Statement by FT Architects dated June 2012; Overarching Planning Statement by FT Architects dated June 2012;			
RECOMMENDATION SUMMARY: Grant Conservation Area Consent			
Applicant:		Agent:	
Mr S MacDonagh Kingsettle Trust Peake's Farm Sedgehill Shaftesbury Dorset SP7 9HQ		FT Architects Ltd Hamilton House Mabledon Place London WC1H 9BB	

ANALYSIS INFORMATION

Land Use Details:

	Use Class	Use Description	Floorspace
Existing	<i>B1/B8 Office/Warehousing</i>		<i>150m²</i>
Proposed	<i>C3 Flats</i>		<i>178m²</i>

Residential Use Details:

	Residential Type	No. of Bedrooms per Unit								
		1	2	3	4	5	6	7	8	9+
Existing	<i>Flat/Maisonette</i>									
Proposed	<i>Flat/Maisonette</i>	<i>1</i>	<i>1</i>							

Parking Details:

	Parking Spaces (General)	Parking Spaces (Disabled)
Existing	<i>1</i>	<i>0</i>
Proposed	<i>0</i>	<i>0</i>

OFFICERS' REPORT

Reason for Referral to Committee: **The development entails the demolition of a building in a conservation area [Clause 3(v)].**

1. **SITE**

- 1.1 The application site is a two storey commercial building occupying nos. 26-28 King's Mews. The building was formerly in use as a storage facility for an adjacent retail unit on Gray's Inn Road, but is now vacant.
- 1.2 The eastern side of the mews, of which the application site forms a part, comprises two and three storey post-war light industrial buildings bookended by taller residential buildings on the corners of Theobald's Road and Northington Street. The western side of the mews comprises more recent two and three storey residential development, again with taller buildings at each end.
- 1.3 The eastern side of the mews has historically been a mixture of commercial uses including office and light industrial (B1) and storage (B8), many of which are now vacant. The western side of the mews has undergone piecemeal redevelopment and is now a mixture of flats and single dwellings. The surrounding area is a mix of uses predominantly offices (B1) and residential (C3), with the busy thoroughfares of Theobald's Road and Gray's Inn Road to the south and east respectively.
- 1.4 The site was formerly in the Hatton Garden Conservation Area, but as a result of boundary changes was incorporated into the Bloomsbury Conservation Area in April 2011, and is identified as making a positive contribution to the conservation area (however this assessment is questioned – see section 6.20). The site is also within the Central London Area and an archaeological priority area.

2. **THE PROPOSALS**

- 2.1 Whilst these applications relate to a single warehouse building, 26-28 King's Mews, it has been sold off as three separate plots (nos. 26, 27 and 28) and separate applications have been received to demolish the relevant parts of the building on each plot and to erect new residential dwellings. Although these are separate applications by separate applicants, for ease of reference they are being assessed together. Some of the information submitted as part of the application process, such as the design of each individual building and sustainability information is specific to each building, whilst other information has been submitted jointly such as the justification for the loss of commercial floorspace and the sunlight daylight analysis. However, as these are separate applications they need to be assessed individually on their own merits.

Original

- 2.2 **26 King's Mews** Erection of three storey dwellinghouse with terraces at second floor and roof level (Class C3) following demolition of existing office/warehouse (Class B1/B8).

27 King's Mews Erection of three storey dwellinghouse with terraces at second floor and roof level (Class C3) following demolition of existing office/warehouse (Class B1/B8).

28 King's Mews Erection of four storey dwellinghouse comprising two flats with terraces at second and third floor level and associated on-site parking (Class C3) following demolition of existing office/warehouse (Class B1/B8).

Revision[s]

- 2.3 The applications have been revised in an attempt to create a more cohesive group. Following officers' concerns about design, elevational changes have been made so that the same brickwork will be used and the three buildings will have a uniform height to improve the proposed buildings' relationship with each other and the surrounding streetscene.
- 2.4 In relation to nos. 26 and 27 roof terraces and balustrading have been omitted from the proposals. In the case of no. 28 the building has been reduced from four storeys to three storeys, an integral garage has been removed from the scheme to comply with the Council's parking standards, and the internal layout has been revised to ensure both flats are fully self-contained.

3. RELEVANT HISTORY

3.1 29-30 King's Mews

Demolition and rebuild front and rear elevations, replace 2nd storey and roof and change of use from existing mixed use (warehouse/office and residential flat) at to residential use, to accommodate 2 x studio flats at ground floor and to extend the existing 2nd floor flat to form 1 x 4 bedroom maisonette flat at 1st, 2nd & 3rd floors. Current applications (2012/3877/P & 2012/3950/C)

25 King's Mews

Partial demolition and conversion of an existing warehouse/storage facility into a three bedroom dwelling, including the excavation of a basement, the construction additional floors, a green roof and the installation of solar panels. Current applications (2012/0972/P & 2012/3870/C)

27 King's Mews

Demolition of existing warehouse (Class B1/B8) and erection of a four storey 4 bedroom dwelling house with basement level (Class C3). Withdrawn 04/01/2012 due to concerns about height and bulk.

23-30 Kings Mews & 43-45 Gray's Inn Road

Redevelopment of the site following the demolition of the existing 2 and 3 storey storage buildings at 23-30 Kings Mews including the erection of a new part 3, part 4 storey building to accommodate 18 private residential flats (10 x 1 bed, 5 x 2 bed, 3 x 3 bed), and erection of rear extension at first to third floor levels and mansard roof extension at fourth floor level at 43-45 Gray's Inn Road and provision of a new shopfront associated with the retained retail use at ground and basement floor levels, and change of use of the upper floors from part offices and part residential

to a wholly residential use to accommodate 7 affordable flats (3 x 1 bed, 3 x 2 bed, 1 x 4 bed). Granted 13/05/2009, but not implemented (2009/0710/P & 2009/0711/C)

39-41 Gray's Inn Road

Erection of a fourth floor mansard extension to create 2 x two bedroom self contained flats (Class C3); erection of a 4 storey rear extension from first to fourth floor level to convert 4 x one bedroom and 1 x three bedroom self contained flats into 6 x two bedroom self contained flats (Class C3) and associated alterations to front elevation. Current applications (2012/1670/P & 2012/3547/C)

43 Gray's Inn Road

Change of use from office (Class B1) to residential (Class C3) at first, second and third floor level to create 4 x two bedroom self contained flats and associated works including the addition of a fourth floor level and the erection of a four storey rear extension from first to fourth floor level. Granted 08/02/2012 (2011/6278/P)

4 King's Mews

Erection of 2nd floor roof extension with rear roof terrace and external alterations to front including a new balustrade to front balcony and new doors to garage on front elevation. Refused 19/05/2010. Appeal dismissed 20/09/2010 (2010/1393/P). One of the main issues was the relationship with the neighbouring building (2 King's Mews)

7 Northington Street and 14-17 King's Mews

Erection of part 3, part 4 storey building with roof terraces to provide 6 residential units (Class C3) comprising 3 x 1-bed, 2 x 2-bed and 1 x 3-bed flats (following total demolition of existing building). Refused 27/01/2010. Appeal Allowed 14/06/2010 (2009/4991/P & 2009/5074/C)

5-6 King's Mews

Partial demolition of rear office extension at lower ground and ground floors and the erection of a new single family dwelling house (Class C3) fronting King's Mews. Granted 09/06/2009, but not implemented (2008/4099/P)

7-8 King's Mews

Erection of 3-storey building with basement to accommodate a self-contained 2-bedroom maisonette at first and second floor levels with a garage at ground floor level and storage and plant rooms at basement level associated with the main dwelling at 4 John Street. Refused 02/10/2006 (2006/2571/P)

27-28 King's Mews

The erection of a two-storey building at Nos. 27 and 28 King's Mews, Holborn, for use as storage accommodation with a leading bay, and for minor alterations to the external appearance of a building now in course of erection at No.26 King's Mews, Holborn. Granted 06/11/1959

4. CONSULTATIONS

Statutory Consultees

- 4.1 **English Heritage** does not wish to make any comment on the conservation area consent application and advise that the applications be determined in accordance with national and local policy guidance.

English Heritage Greater London Archaeological Advisory Service comment that the proposals are not considered to have an affect on any significant archaeological remains, and advise that any requirement for an assessment of the archaeological interest of this site in respect to the current applications can be waived.

Other Consultees

- 4.2 **Thames Water** have no objection, but recommend an informative concerning minimum water pressure to the new dwellings.

Conservation Area Advisory Committee

- 4.3 Bloomsbury CAAC comment that the general appearance of the houses appears to be acceptable, the one concern being the additional bulk which could be addressed by setting back the fourth storey (Officer comment: only no. 28 proposed a fourth storey and this has been removed from the proposal).

Adjoining Occupiers

	26	27	28
<i>Number of letters sent</i>	45	21	27
<i>Total number of responses received</i>	1	2	0
<i>Number of electronic responses</i>	1	1	0
<i>Number in support</i>	0	0	0
<i>Number of objections</i>	1	2	0

- 4.4 Site Notices for each proposal were displayed from 05/07/2012-26/07/2012. Adverts were placed in the Ham & High on 12/07/2012 expiring on 02/08/2012.

26 King's Mews

- 4.5 Flat 5, 47 Grays's Inn Road object to loss of daylight from the proposed second floor, and likely disruption from building works.

27 King's Mews

- 4.6 2 King's Mews objects that the proposed extension in height will lead to a fairly substantial reduction in light to their building and to no 4 King's Mews (more than 0.8 of its former daylight value or 20%). Previous plans have been refused because of loss of light to adjoining properties. The size and height of the building is out of keeping with the rest of the mews. On this side and at this end of the mews, they have been limited by the Council to 2 storeys and even though the second floor would be set back, it will overlook these houses in an invasive manner given their

proximity. The proposal will encourage further application along 22-30 King's Mews.

4 King's Mews objects that nos. 2 and 4 King's Mews were refused permission to go higher than 2 storeys, and the scheme's proposed height would be inconsistent with the look and feel of this end of the mews. The proposal would lead to a loss of privacy from overlooking, which would increase in a change from commercial to residential. The proposal will lead to a loss of light.

5. POLICIES

5.1 LDF Core Strategy and Development Policies

CS1 Distribution of growth

CS5 Managing the impact of growth and development

CS6 Providing quality homes

CS8 Promoting a successful and inclusive Camden economy

CS11 Promoting sustainable and efficient travel

CS13 Tackling climate change and promoting higher environmental standards

CS14 Promoting high quality places and conserving our heritage

CS15 Protecting and improving our parks and open spaces & encouraging biodiversity

CS19 Delivering and monitoring the Core Strategy

DP2 Making full use of Camden's capacity for housing

DP5 Homes of different sizes

DP6 Lifetime homes and wheelchair homes

DP13 Employment sites and premises

DP16 The transport implications of development

DP17 Walking, cycling and public transport

DP18 Parking standards and limiting the availability of car parking

DP19 Managing the impact of parking

DP21 Development connecting to the highway network

DP22 Promoting sustainable design and construction

DP24 Securing high quality design

DP25 Conserving Camden's heritage

DP26 Managing the impact of development on occupiers and neighbours

DP32 Air quality and Camden's clear zone

5.2 Supplementary Planning Policies

Bloomsbury Conservation Area Appraisal and Management Strategy

Camden Planning Guidance 2011

CPG1 Design

CPG2 Housing

CPG3 Sustainability

CPG5 Town Centres, retail and Employment

CPG6 Amenity

CPG7 Transport

CPG8 Planning Obligations

5.3 London Plan 2011

5.4 National Planning Policy Framework 2012

6. ASSESSMENT

- 6.1 The principal consideration material to the determination of these applications are summarised as follows:
- Land use
 - Standard of proposed residential accommodation
 - Heritage impact
 - Amenity
 - Transport
 - Sustainability
 - Other matters

Background

- 6.2 Permission was granted in 2009 (ref: 2009/0710/P see history section) for the redevelopment of 23-30 Kings Mews and 43-45 Gray's Inn Road following the demolition of 23-30 Kings Mews and the erection of a new part 3, part 4 storey building to accommodate 18 flats, and erection of rear and roof extensions to 43-45 Gray's Inn Road with the change of use of the upper floors from part offices and part residential to 7 flats. The site was sold off as individual plots which would have made implementing the scheme difficult and the permission expired on 13/05/2012.
- 6.3 In relation to the previous scheme, issues such as the loss of commercial floorspace and the provision of new residential floorspace were considered acceptable, and although this permission was granted before the adoption of the current policies and guidance, the fundamental thrust of Camden's policies has not significantly changed. The bulk and massing of the new mews buildings, and their impact on residential amenity, in terms of loss of light and overlooking, are also similar in the proposed scheme as the height and fenestration of the proposed scheme are not significantly different. In terms of design, the previous scheme was one that would have provided a single residential block on the mews, with its own coherent design and relationship with the mews, whereas the current schemes propose dwellings that whilst distinct, still relate to each other in terms of materials and massing.
- 6.4 As such, whilst some weight must be attached to the previously approved scheme, new schemes within the mews must be considered primarily on their own merits. They must also be considered in the context of the other schemes that have been submitted, and it must be demonstrated that the schemes are acceptable both individually and holistically.

Land use

Loss of employment floorspace

- 6.5 There is a general presumption within the LDF to protect business floorspace where there is potential for that use to continue, unless it can be shown that a site is no longer suitable for a continued, or alternative, business use. The LDF categorises light industrial floorspace according to criteria such as design features, the age and condition of premises; whether there are existing tenants in the building; location and whether there is evidence of demand. When it can be demonstrated that a site is not suitable for any business use other than B1(a) offices, the Council may allow a change to permanent residential uses or community uses in line with policy DP13.
- 6.6 The buildings at 23-30 Kings Mews were formerly occupied as storage/warehousing (Class B8) in association with a retail unit at 43-45 Gray's Inn Road. The application site has been vacant since 2009. The previous scheme (2009/0710/P) accepted the loss of 1,175sqm of B8 floorspace across nos. 23-30 King's Mews and evidence was submitted demonstrating that the site was no longer viable. This evidence demonstrated the unsuitability of the site for a continued use, along with, details of a marketing campaign carried out from 2006-2009 which attracted little interest in the site, and an assessment of similar premises in the area which identified other sites that were capable of providing better quality B8 floorspace.
- 6.7 The whole site (26-28) has a floorspace of approximately 480sqm and has some flexible design features such as a 4m floor to ceiling height at ground floor level and high sliding garage doors. The applicant has provided an assessment of the existing building by Farebrother Chartered Surveyors which considers the property to be in a poor state of repair and requiring substantial remedial work. The roof is asbestos corrugated sheet, and there is no insulation or heating. Access for deliveries in the mews is limited. The assessment also highlights the impracticality of retaining parts of the site in commercial use as the only staircase from ground to first floor is in no. 27 King's Mews and no. 26 has no external access.
- 6.8 The assessment states that there is little or no demand for storage, warehouse or distribution space in the area and rental levels are too low to justify developing the building for office use. It identifies approximately 170,000sqm of office space available in Midtown (Holborn, Bloomsbury and St Giles) which is 5.5% of the total stock. The applicant has also provided a schedule of office and storage space of between 500 sq ft and 1,500 sq ft (47sqm-140sqm) in the WC1 postcode, which indicates that there is a substantial amount of commercial space available (82 separate sites), much of which has been available for a year or more.
- 6.9 The applicant also refers to the previous permission (2009/0710/P) as justification for the loss of commercial floorspace, and a more recent permission at 43 Gray's Inn Road (2011/6278/P – see history section) which also referred to the previous scheme as further justification.
- 6.10 It is accepted that the existing accommodation is poor quality and not suitable for a continued B8 use. It is also recognised that it would need investment to bring it up to a reasonable standard for office accommodation which may not be feasible due to low rental levels, little or low demand for commercial floorspace, and a surplus of such floorspace in the area. As such, the loss of commercial floorspace is

considered acceptable in this instance and in line with policies CS8 and DP13 of the LDF and associated planning guidance.

Provision of residential floorspace

- 6.11 Housing is the priority of the LDF and the provision of new residential floorspace is welcomed as long as it complies with other policies and guidance.

Standard of proposed residential accommodation

- 6.12 The proposed schemes vary slightly, no. 26 would provide a two bedroom dwelling, no 27 a three bedroom dwelling, and no. 28 two flats.

26 King's Mews

- 6.13 The proposal would provide a self-contained dwelling over three floors with approximately 215sqm of floorspace. The ground would be single aspect with an open plan kitchen/dining room lit by windows facing the mews and an internal lightwell the full height of the building. The first floor would also be single aspect with a living room at the front study to the rear. The second floor would be dual aspect with two bedrooms. All rooms would be regular shaped and reasonably sized. Although outlook from the kitchen and study would be limited, it is considered that on balance the dwelling would receive adequate access to daylight and sunlight. A separate storage area is identified on the plans for refuse, cycle and scooter storage.

27 King's Mews

- 6.14 The proposal would provide a self-contained dwelling over three floors with approximately 220sqm of floorspace. The ground floor would be single aspect with an open plan living room lit by full height windows facing the mews. First and second floors would be dual aspect with reasonably sized rooms. Although outlook from the ground floor would be limited, it is considered that the dwelling would receive adequate access to daylight and sunlight.

28 King's Mews

- 6.15 The ground floor flat would have approximately 55.5sqm of floorspace. The rear of the flat would have a bedroom looking out onto a lightwell with the front living/dining area looking out onto the mews. The 2-bedroom flat would have 122sqm of floorspace over two floors. It would also be dual aspect with reasonably sized rooms. Although outlook in the ground floor flat would be limited, it is considered that both flats would receive adequate access to daylight and sunlight. Each flat would have its own internal refuse storage area.
- 6.16 The dwellings would exceed Camden's and the London Plan's residential floorspace standards in terms of bedroom sizes and overall floorspace. They would benefit from regular shaped rooms and have adequate access to sunlight and daylight. The new units would also benefit from outdoor amenity space in the form of terraces at second floor level.

Lifetime Homes

- 6.17 Policy DP6 requires all new residential accommodation, including conversions, to meet Lifetime Homes standards. The applicants have provided separate Lifetime Homes Statements which indicate that each unit would comply with the majority of the Lifetime Homes criteria. Stairs, corridors and level access would comply, and the size of the rooms would allow wheelchair use. Each unit would have space at ground floor level that could be used as a living room or bedroom. The ground floors of all units would have an entrance level W.C, with additional bathrooms adjacent to all bedrooms.

Heritage impact

Demolition

- 6.18 The application site is a two storey warehouse building dating from the late 50's/early 60's and forms part of a group of mews buildings dating from the last half of the 20th Century. Its form and scale is generally in keeping with the scale of the mews, but the quality and detailed design are unremarkable. As such its demolition is considered acceptable, subject to the replacement buildings.
- 6.19 The principle of demolition has already been agreed in 2009 and although the LDF and NPPF are new documents, these would not alter the assessment of the existing building in terms of its heritage merit.
- 6.20 In 2011 the site was transferred from Hatton Garden to Bloomsbury Conservation Area. In the 2011 Conservation Area Statement for Bloomsbury the building is not specifically mentioned in the text, however it is mentioned in the audit as making a positive contribution to the area. It is considered that this is a mistake as the townscape maps do not show the building making a positive contribution and when assessed against the English Heritage criteria (*Understanding Place: Conservation Area Designation, Appraisal and Management*) it does not meet the requirements for this. It is considered that the building at best makes a neutral impact to the area by virtue of its scale (in a mews) and brickwork. Architecturally it is rather unremarkable and an internal inspection reveals nothing of interest.

Detailed design

- 6.21 Not only does the quality of the new buildings need to be assessed in their own right, but also how the individual buildings will fit in with the emerging context. As mentioned previously, the elevational treatment of the buildings has been revised to improve their relationship with each other.
- 6.22 King's Mews is characterised by a variety of mews type buildings of various ages and styles. No comment was made in the previous application as to the importance of developing this side of the street in a single style and given the context the proposals are considered acceptable in principle.

- 6.23 The proposed buildings would all be three storeys with the second floor set back from the front elevation creating a terrace. The parapets would be slightly lower than the existing building and the buildings would be constructed in matching brickwork.
- 6.24 The overall massing and form matches the previously approved scheme and the two storey structure with set back “roof storey” would sit comfortably in this setting. Mews buildings are characterised by larger ground floor openings with window openings above. When considered against the previously approved scheme and this typology the general design is considered to be acceptable.
- 6.25 Pre-application guidance advised that a greater degree of unity should be introduced to the three buildings, and whilst this would not require the buildings to look identical, some degree of cohesion is considered necessary to avoid an ad hoc appearance that would be detrimental to the street scene. To gain this unity the roof height (second floor) and parapet line and capping have been revised to carry through on all three properties. The revision also shows that the brickwork will match, which will be secured by condition, with no joints visible between buildings.
- 6.26 There are variations between the buildings, no. 26 would have smaller openings with cedar detailing and a zinc clad top floor. No. 27 has a relatively simple façade in keeping with the mews character with interest added to the façade through the depth recesses to the windows which give depth and shadow to the façade. No. 28 employs more brickwork with centrally located windows and separate ground floor entrance for the flats. Conditions will require details of brickwork and facing materials to be approved by the Council.
- 6.27 As such the proposals, in the context of the existing mews, are not considered to harm the character and appearance of the street scene or conservation area. The buildings relate to each other, and the mews, in terms of detailed design and overall bulk and mass. Additionally, were one or two of the units not to be built, any of the buildings would sit comfortably in the mews on their own and not harm character or appearance of the surrounding built environment. As such, the proposals are considered to would comply with policies CS14, DP24 and DP25 of the LDF and Camden Planning Guidance.

Amenity

Daylight/sunlight

- 6.28 The proposed scheme sits within the envelope of the previously approved scheme to redevelop the mews. That scheme was not considered to have a significant impact on sunlight or daylight to neighbouring properties.
- 6.29 The existing two storey building has a shallow pitched roof. The proposed building is three storeys with a flat roof. The new buildings would be approximately 1m higher than the existing building, but the front parapet would be slightly reduced in height with the second floor set back 1.5m to reduce its visual impact and its impact on daylight and sunlight to the other properties on the street.

- 6.30 The applicants have submitted a sunlight/daylight report by Waldrams Chartered Surveyors. The report compares the proposed schemes with existing light levels. It also refers to the data from two approved schemes, the redevelopment of the mews (2009/0710/P) which was not implemented, and no. 43 Grays Inn Road (2011/6278/P) which is extant.
- 6.31 The report looks at the impact of the proposal on the upper floors of 35-45 Gray's Inn Road and 4-10 Theobald's Road which are largely in residential use. Due to the density of the site there are no ground floor windows facing the application site. It also considers the impact on all the floors of 12 Theobald's Road and 1 & 2-4 Kings Mews.
- 6.32 According to British Research Establishment (BRE) guidelines for sunlight and daylight a building will retain potential for good interior daylighting provided that the Vertical Sky Component (VSC) exceeds 27%. A reduction of more than 20% of the VSC value is considered to be materially significant and would be noticeable. Average Daylight factor (ADF) for living rooms should be above 1.5% and for bedrooms 1%. The report suggests that no surrounding windows would lose more than 20% of their VSC, other than windows to non-habitable space. It states that ground floor windows at 12 Theobald's Road and 2-4 King's Mews would lose more than 20% VSC but still exceed ADF values, and concludes that all rooms in surrounding properties would comply with the BRE guidelines.

Overlooking

- 6.33 The proposed dwellings take different approaches to avoid overlooking. The rear of the application site directly faces the rears of nos. 39, 41 and 43 Grays Inn Road. The upper floors of nos. 39-41 Gray's Inn Road are in residential use, with the upper floors of no. 43 in commercial use (however permission has been granted for a conversion to residential).
- 6.34 The rear of no. 43 Gray's Inn Road is approximately 8m away from the rear of no. 26 King's Mews. The only windows to the rear of the proposed building are three at second floor level, one of which is to a bathroom. It is proposed to add fixed angled louvres to these windows so that the rooms receive daylight, but do not overlook properties in Gray's Inn Road. A condition will require details of the louvres to be submitted to the Council for approval prior to occupation of the residential unit and to be permanently retained.
- 6.35 The upper floors of 39-41 Gray's Inn Road are approximately 10m away from the rear of no. 27 and 28 King's Mews. The proposed building at no. 27 would have windows to the rear at first and second floor level. One window on each floor would be to a bathroom and a condition will ensure these windows are obscure glazed. The other windows are to bedrooms and it is proposed to add similar louvres to no. 26 for these windows. This window treatment was considered acceptable in the previous scheme to prevent mutual overlooking. A condition will require details of the louvres to be submitted to the Council for approval prior to occupation of the residential unit and to be permanently retained.

- 6.36 A lightwell is proposed to the rear of no. 28 King's Mews, with windows perpendicular to Gray's Inn Road. As such, there would be no windows facing the rear of Gray's Inn Road, so no properties would be overlooked.
- 6.37 The existing building has windows at first floor level facing the mews, the proposed buildings would have windows at first and second floor levels as well as terraces at second floor. The minimum distance recommended by Camden Planning Guidance to prevent overlooking from opposing properties is 18m, the properties on the other side of the mews are approximately 10m away. The windows at first floor would not introduce new overlooking, and the terraces would look down on the adjacent two storey buildings rather than directly overlook the buildings opposite. The previous scheme (2009/0710/P) also included windows and terraces, and considered the distance between interfacing windows to be acceptable as in central London, and mews locations, dwellings are normally closer together.

Noise and disturbance

- 6.38 It is considered that the former B1/B8 use would have had the potential for greater noise and disturbance than the proposed residential uses.
- 6.39 As such the proposal is not considered to harm the amenity of adjoining occupiers and would comply with policies CS5 and DP26 of the LDF and Camden Planning Guidance.

Transport

- 6.40 The site is situated in the Clear Zone Region and access to public transport is excellent (PTAL 6b). The site is within the Kings Cross Controlled Parking Zone (CPZ) CA-D which operates from 08:30-18:30 Monday to Friday and 08:30-13:30 on Saturdays. 1.04 permits have been issued for each parking space which means the CPZ suffers from parking stress.

Cycle storage

- 6.41 The dwellings differ in their approach to the provision of cycle storage. Although the units provide generous floorspace over three floors the sites are somewhat constrained by their narrow widths.
- 6.42 As the proposal for no. 26 is for a two bedroom dwelling, one cycle storage/parking space is required. The proposal indicates separate storage space for three cycles, bin storage and scooter parking at ground floor levels. The space is large enough to comply with Camden Planning Guidance.
- 6.43 The proposal for no. 27 is for one residential unit consisting of three bedrooms, therefore two cycle storage/parking spaces are required. The applicant has identified an area on the plans for cycle storage at ground floor level under the stairs. Although the area designated for the cycle storage does not meet Camden Planning Guidance, it is recognised that the proposal is for a single family dwelling with limited space available at ground floor level. As such the proposed storage is

considered acceptable in this instance. A condition will ensure that the proposed cycle storage is implemented and retained prior to occupation.

- 6.44 No. 28 proposes two units, therefore two cycle storage/parking spaces are required. The proposal indicates space for cycles at ground and first floor levels. As with no. 27, although the areas designated for the cycle storage do not strictly meet Camden Planning Guidance, it is recognised that the proposal is for a flat with limited space available at ground floor level, and the proposed storage is considered acceptable in this instance. A condition will ensure that the proposed cycle storage is implemented and retained prior to occupation.

Construction Management Plan (CMP)

- 6.45 DP21 seeks to protect the safety and operation of the highway network. For some development this may require control over how the development is implemented (including demolition and construction) through a Construction Management Plan (CMP) secured via a Section 106 agreement.
- 6.46 Although the proposals for the site are relatively small, as they are for the demolition of a single building and completely new builds, it is recognised that there could be a cumulative impact of construction. This will result in a number of construction vehicle movements to and from the site, which will doubtless have a significant impact on the local transport network. This is of concern as the site is located within a tight mews environment and within the Clear Zone Region which is a highly constrained area in regard to transport.
- 6.47 Given the constrained nature of the Mews area a draft 'CMP' has been submitted with the application. As indicated in the draft CMP all three sites should be covered by a single CMP to mitigate highway impacts with the aim of coordinating construction work. Therefore, the developers/contractors would be required to submit a CMP for all the sites as part of a Section 106 agreement.

Highways Works Immediately Surrounding the Site

- 6.48 In order to tie the development into the surrounding urban environment a financial contribution will be required to repave the highway/footway adjacent to the site on King's Mews. It is considered that a footway should be provided along the frontage of these buildings to reduce the instances of conflict between pedestrians and vehicles using Kings Mews as the proposed residential units will directly access the Mews, in line with policy DP21. An added benefit of the highways works is that damage caused to the highway in the area of the proposed highways works during construction can be repaired. This work, and any other work that needs to be undertaken within the highway reservation, would need to be secured through a Section 106 agreement. Consideration will also be given to whether the existing disabled space on King's Mews would require relocation, if this does require relocation then the applicants will be required to fund any subsequent Traffic Management Order costs.

Car-free Development

- 6.49 The site has a Public Transport Accessibility Level of (PTAL) of 6b (excellent) and is within a Controlled Parking Zone (CPZ). King's Cross, Brunswick & Gray's Inn (CA-D) CPZ operates Mon-Fri 08:30 - 18:30, and Sat 08:30 – 13:30, and has a ratio of parking permits to available parking bays of 1.07:1. This means that more parking permits have been issued than spaces available. The site is also within the "Clear Zone Region", for which the whole area is considered to suffer from parking stress. Not making the new dwellings car-free would increase demand for on-street parking in the Controlled Parking Zone (CPZ) the site is within. Therefore, the developments should be made car-free through a Section 106 agreement in line with policy DP18 and the London Plan.

Sustainability

- 6.50 LDF policies CS13 and DP22 promote higher environmental standards in design and construction and provide details of the sustainability standards the Council expects development to meet. As part of this, policy DP22b denotes that green or brown roofs and green walls should be incorporated wherever suitable. The applicants have submitted a Sustainability Strategy which refers to low energy lighting, a high efficiency boiler and an overall design to minimise energy consumption through enhanced insulation and passive ventilation.
- 6.51 In line with policy DP22 new build housing is expected to meet Code for Sustainable Homes Level 3 requiring a minimum of 57 points. The applicants have submitted separate sustainability assessments that are broadly similar due to the similarities in size of the buildings, materials and use of renewables.
- 6.52 The new dwellings are expected to use a combination of green, and rooftop solar water heating (set back from the front of the buildings so as not to be visible in the streetscene) and rainwater harvesting. Details of which will be secured by condition. Other arrangements include energy efficient heating and lighting, high levels of insulation, energy efficient, white goods, and drying areas. Water efficient fixtures and fittings to reduce water consumption are also proposed. In terms of materials the assessments refer to ensuring building products are responsibly sourced where possible. The assessments indicate the new dwellings will meet Code Level 3 or 4 of the Code for Sustainable Homes.
- 6.53 No. 26 is indicated to meet Code Level 4 with an overall score of 68.5 points. In the energy category the new dwelling is predicted to achieve 22 out of 31 credits or 70.97%, exceeding Camden's minimum requirement of 50%. In the water category the proposal is expected to achieve 5 out of 6 credits (83.33%) through water consumption of less than 90 litres of water per person per day. In terms of materials the assessment predicts 14 out of 24 credits (58.33%).
- 6.54 No. 27 have submitted a sustainability report that indicates the new house will meet Code Level 4 of the Code for Sustainable Homes with an overall score of 68.2 points. In the energy category the new dwelling is predicted to achieve 19 out of 31 credits or 61.29%. In the water category the proposal is expected to achieve 5 out of 6 credits (83.33%) by reducing water consumption to the minimum bracket of less than 80 litres of water per person per day. In terms of materials the assessment predicts 21 out of 24 credits (87.5%).

- 6.55 No. 28 is estimated to meet Code for Sustainable Homes Level 3 with an overall score of 63.71 points. In the energy category the new dwellings are predicted to achieve 16 out of 31 credits or 51.61%, exceeding Camden's minimum requirement of 50%. In the water category the proposal is expected to achieve 4 out of 6 credits (66%) and 12 out of 24 credits (50%) for materials.
- 6.56 Conditions will require full details of the renewables indicated on the plans to be submitted to the Council before development commences. A post-construction review, as part of the Section 106 agreement, will confirm that the proposals meet Code Levels indicated.

Other matters

- 6.57 Medium sized schemes can be expected to contribute to community facilities such as housing, education or leisure facilities to offset their impact on the services the Borough provides. The proposals, if considered together, are not considered to trigger any community contributions.
- 6.58 In terms of affordable housing, sites which provide 10x or more new residential units, or have the capacity to do so are required to make an affordable housing contribution. The combined proposals would provide 4x new residential units. Floorspace of 1,000sqm or more is considered capable of providing 10 units, but the gross floorspace proposed is 615sqm. As such, if the schemes were considered as one there would be no requirement for affordable housing.
- 6.59 Contributions to open space and education provision are required for schemes that result in a net increase of five or more dwellings. The proposals would provide 4x dwellings so again, if the schemes were considered as one there would be no requirement for such contributions.
- 6.60 Where a loss of employment use can be expected to result in a reduction of job opportunities for Camden residents, developers may be required to contribute towards training and employment measures to enable Camden residents to access alternative employment. Such contributions are sought where the net loss of employment space exceeds 500sqm. The existing building has a floorspace of 480sqm so there would be no requirement for an employment or training contribution.
- 6.61 Notwithstanding the above, the proposals are separate schemes from separate applicants, therefore if any of the contributions were triggered in terms of gross floorspace it would not be considered possible to request any kind of contribution unless the applications came in as a joint scheme.

Community Infrastructure Levy (CIL)

- 6.62 The proposals would be liable for the Mayor of London's CIL as the proposals is for additional units of residential accommodation. Based on the Mayor's CIL charging schedule and the information given on the plans, if the application were acceptable

the charge is likely to be £10,750 (215sqm x £50) for no. 26, £11,000 (220sqm x £50 for no. 27 and £8,900 (178sqm x £50) for no. 28.

7 Conclusion

- 7.1 There is no objection in principle to provision of new residential floorspace and it is considered that the applicants have demonstrated that the commercial floorspace is not suitable for a continued or alternative business use. The proposal is not considered to harm the amenity of adjoining occupiers and its impact on neighbour amenity remains largely unchanged from the previously approved scheme as the proposal is not substantially different in terms of mass and fenestration. A Construction Management Plan will ensure that the applicants work together as far as possible to ensure the local transport network and the amenity of other mews occupiers are not harmed by the construction process. The proposal would bring a vacant building back into use providing residential floorspace which is the priority of the LDF, and would comply with the LDF and Camden Planning Guidance.
- 7.2 Planning permission and conservation area consent are recommended for each proposal subject to separate Section 106 Legal Agreements covering the following Heads of Terms:-
- Car-free housing
 - Construction Management Plan
 - A financial contribution highway works to repair any damage to King's Mews
 - Commitment to meet Levels 3 or 4 of the Code for Sustainable Homes as indicated in the individual pre-assessments and post-construction review

8. LEGAL COMMENTS

- 8.1 Members are referred to the note from the Legal Division at the start of the Agenda.

Condition(s) and Reason(s) **2012/3101/P**:

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: Site Location Plan 26-2001-B; 2002-B; 2003-B; 2004-B; 2005-B; 2006-B; 2007-C; 2008-C; 2009-B; 2010-C; 2011-C; 2012-C; 2014-C; 2015-B; 2016-B; 2017-B; Design and Access Statement by Nicholas Rae & Associates dated June 2012; Construction Management Plan dated 13th June 2012; Demolition Statement by Nicholas Rae & Associates dated 25th June 2012; Overarching Planning Statement by Nicholas Rae & Associates dated 15th June 2012; Daylight and Sunlight report by Waldrams dated 20th June 2012; Sustainable Statement - Design and Construction by Nicholas Rae & Associates dated 25th June 2012; Code for Sustainable Homes Pre-Assessment by PAAD dated 6th September 2012; Code for sustainable Homes Pre-Assessment Report by PAAD dated 6th September 2012;

Green Roof Specification by Nicholas Rae & Associates dated 25th June 2012; Lifetimes Homes Statement dated 13th June 2012; Planning Support Statement by Farebrother Surveyors dated August 2012.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 Prior to the first occupation of the dwelling, details of the louvres to the rear windows shall be submitted to and approved by the Council. The approved details shall be implemented and permanently retained and maintained thereafter.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policy CS5 (Managing the impact of growth and development) of the London Borough of Camden Local Development Framework Core Strategy; and policy DP26 (Managing the impact of development on occupiers and neighbours) of Camden Local Development Framework Development Policies.

- 4 Prior to the first occupation of the building a plan showing details of the green roof including species, planting density, substrate and a section at scale 1:20 showing that adequate depth is available in terms of the construction and long term viability of the green roof, and a programme for an initial scheme of maintenance shall be submitted to and approved in writing by the local planning authority. The green roof shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme of maintenance.

Reason: To ensure that the green roof is suitably designed and maintained in accordance with the requirements of policies CS13 (Tackling climate change and promoting higher environmental standards), CS14 (Promoting high quality places and conserving our heritage) and CS15 (Protecting and improving our parks and open spaces and encouraging biodiversity) of the London Borough of Camden Local Development Framework Core Strategy and policies DP22 (Promoting sustainable design and construction), DP23 (Water), DP24 (Securing high quality design) and DP32 (Air quality and Camden's Clear Zone) of the London Borough of Camden Local Development Framework Development Policies.

- 5 Prior to first occupation of the buildings, details showing the location and extent of photovoltaic cells/solar water heaters to be installed on the building and manufacturer's specifications shall have been submitted to and approved by the Local Planning Authority. The equipment shall be installed in full accordance with the details approved by the Local Planning Authority and permanently retained and maintained thereafter.

Reason: In order to secure appropriate energy and resource efficiency measures and on-site renewable energy generation in accordance with the requirements of policy CS13 (Tackling climate change and promoting higher environmental standards) of the London Borough of Camden Local Development Framework Core Strategy and policies DP22 (Promoting sustainable design and construction), DP23 (Water), DP24 (Securing high quality design) and DP32 (Air quality and Camden's Clear Zone) of the London Borough of Camden Local Development Framework Development Policies.

- 6 The proposed development shall not be occupied until the whole of the cycle parking provision shown on the approved drawings is provided. The whole of the cycle parking provision shall be permanently retained and maintained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of policy CS11 (Promoting sustainable and efficient travel) of the London Borough of Camden Local Development Framework Core Strategy and policy DP17 (Walking, cycling and public transport) of the London Borough of Camden Local Development Framework Development Policies.

- 7 The details of the facing materials to be used on the building shall not be otherwise than as those submitted to and approved by the Council before any work is commenced on the relevant part of the development. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 (Promoting high quality places and conserving our heritage) of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 (Securing high quality design) and DP25 (Conserving Camden's heritage) of the London Borough of Camden Local Development Framework Development Policies.

- 8 A sample panel of the facing brickwork demonstrating the proposed colour, texture, face-bond and pointing shall be provided on site and approved by the Council before the relevant parts of the works are commenced and the development shall be carried out in accordance with the approval given. The sample panel shall be retained on site until the work has been completed.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 (Promoting high quality places and conserving our heritage) of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 (Securing high quality design) and DP25 (Conserving Camden's heritage) of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 2363).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website

<http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

3 Reasons for granting permission.

The proposed development is in general accordance with the London Borough of Camden Local Development Framework Core Strategy, with particular regard to policies CS1 (Distribution of growth), CS5 (Managing the impact of growth and development), CS6 (Providing quality homes), CS8 (Promoting a successful and inclusive Camden economy), CS11 (Promoting sustainable and efficient travel), CS13 (Tackling climate change and promoting higher environmental standards), CS14 (Promoting high quality places and conserving our heritage), CS15 (Protecting and improving our parks and open spaces & encouraging biodiversity), and CS19 (Developing and monitoring the Core Strategy); and the London Borough of Camden Local Development Framework Development Policies, with particular regard to policies DP2 (Making full use of Camden's capacity for housing), DP5 (Homes of different sizes), DP6 (Lifetime homes and wheelchair homes), DP13 (Employment sites and premises), DP16 (The transport implications of development), DP17 (Walking, cycling and public transport), DP18 (Parking standards and limiting the availability of car parking), DP19 (Managing the impact of parking), DP21 (Development connecting to the highway network), DP22 (Promoting sustainable design and construction), DP24 (Securing high quality design), DP25 (Conserving Camden's heritage), DP26 (Managing the impact of development on occupiers and neighbours), and DP32 (Air quality and Camden's Clear Zone).

Furthermore, although the proposal would result in a loss of low quality commercial floorspace, it would bring a vacant building back into use providing residential floorspace. The new building is not considered to harm the character or appearance of the streetscene or conservation area, or considered to harm the amenity of adjoining occupiers or the local transport network

4 The Mayor of London introduced a Community Infrastructure Levy (CIL) to help pay for Crossrail on 1st April 2012. Any permission granted after this time which adds more than 100sqm of new floorspace or a new dwelling will need to pay this CIL. It will be collected by Camden on behalf of the Mayor of London. Camden will be sending out liability notices setting out how much CIL will need to be paid if an affected planning application is implemented and who will be liable.

The proposed charge in Camden will be £50 per sqm on all uses except affordable housing, education, healthcare, and development by charities for their charitable purposes. You will be expected to advise us when planning permissions are implemented. Please use the forms at the link below to advise who will be paying the CIL and when the development is to commence. You can also access forms to allow you to provide us with more information which can be taken into account in your CIL calculation and to apply for relief from CIL.

<http://www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil>

We will then issue a CIL demand notice setting out what monies needs to paid when and how to pay. Failure to notify Camden of the commencement of development will result in a surcharge of £2500 or 20% being added to the CIL payment. Other surcharges may also apply for failure to assume liability and late payment. Payments will also be subject to indexation in line with the construction costs index.

Please send CIL related documents or correspondence to CIL@Camden.gov.uk

- 5 You are reminded that this decision only grants permission for permanent residential accommodation (Class C3). Any alternative use of the residential units for temporary accommodation, i.e. for periods of less than 90 days for tourist or short term lets etc, would constitute a material change of use and would require a further grant of planning permission.
- 6 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ
- 7 You are reminded that filled refuse sacks shall not be deposited on the public footpath, or forecourt area until within half an hour of usual collection times. For further information please contact the Council's Environment Services (Rubbish Collection) on 020 7974 6914/5. or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-street-environment-services.en>
- 8 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.

Conditions and Reasons **2012/3159/C**:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 The demolition hereby permitted shall not be undertaken before a contract for the carrying out of the works of redevelopment of the site has been made and full planning permission has been granted for the redevelopment for which the contract provides.

Reason: To protect the visual amenity of the area in accordance with the requirements of policy CS14 (Promoting high quality places and conserving our heritage) of the London Borough of Camden Local Development Framework Core Strategy, and policy DP25 (Conserving Camden's heritage) of the London Borough

of Camden Local Development Framework Development Policies.

Informative(s):

- 1 Reasons for granting conservation area consent.

The proposed development is in general accordance with particular regard to the London Borough of Camden Local Development Framework Core Strategy, with particular regard to policy CS14 (Promoting high quality places and conserving our heritage); and the London Borough of Camden Local Development Framework Development Policies, with particular regard to policy DP25 (Conserving Camden's heritage).

Condition(s) and Reason(s) **2012/3125/P**:

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: Site Location Plan 115 A1000 Rev 01; Site Plan 115 A1100 Rev 01; S1200 Rev 01; S1201 Rev 01; S1202 Rev 01; S1300 Rev 01; S1400 Rev 01; S1401 Rev 00; A1200 Rev 04; A1300 Rev 04; A1400A Rev 00; A1401A Rev 00; A5000 Rev 00; A5001 Rev 00; Design and Access Statement by Nico Warr Architects dated June 2012; Overarching Planning Statement by Tibbalds dated June 2012; Daylight and Sunlight report by Waldrams dated 20th June 2012; Code for sustainable Homes Pre-Assessment Report by BRE Global Ltd; Planning Support Statement by Farebrother Surveyors dated August 2012.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 Prior to the first occupation of the dwelling, details of the louvres to the rear windows shall be submitted to and approved by the Council. The approved details shall be implemented and permanently retained and maintained thereafter.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policy CS5 (Managing the impact of growth and development) of the London Borough of Camden Local Development Framework Core Strategy; and policy DP26 (Managing the impact of development on occupiers and neighbours) of Camden Local Development Framework Development Policies.

- 4 Prior to the first occupation of the building a plan showing details of the green roof including species, planting density, substrate and a section at scale 1:20 showing that adequate depth is available in terms of the construction and long term viability of the green roof, and a programme for an initial scheme of maintenance shall be submitted to and approved in writing by the local planning authority. The green roof shall be fully provided in accordance with the approved details prior to first occupation and

thereafter retained and maintained in accordance with the approved scheme of maintenance.

Reason: To ensure that the green roof is suitably designed and maintained in accordance with the requirements of policies CS13 (Tackling climate change and promoting higher environmental standards), CS14 (Promoting high quality places and conserving our heritage) and CS15 (Protecting and improving our parks and open spaces and encouraging biodiversity) of the London Borough of Camden Local Development Framework Core Strategy and policies DP22 (Promoting sustainable design and construction), DP23 (Water), DP24 (Securing high quality design) and DP32 (Air quality and Camden's Clear Zone) of the London Borough of Camden Local Development Framework Development Policies.

- 5 Prior to first occupation of the buildings, details showing the location and extent of photovoltaic cells/solar water heaters to be installed on the building and manufacturer's specifications shall have been submitted to and approved by the Local Planning Authority. The equipment shall be installed in full accordance with the details approved by the Local Planning Authority and permanently retained and maintained thereafter.

Reason: In order to secure appropriate energy and resource efficiency measures and on-site renewable energy generation in accordance with the requirements of policy CS13 (Tackling climate change and promoting higher environmental standards) of the London Borough of Camden Local Development Framework Core Strategy and policies DP22 (Promoting sustainable design and construction), DP23 (Water), DP24 (Securing high quality design) and DP32 (Air quality and Camden's Clear Zone) of the London Borough of Camden Local Development Framework Development Policies.

- 6 The proposed development shall not be occupied until the whole of the cycle parking provision shown on the approved drawings is provided. The whole of the cycle parking provision shall be permanently retained and maintained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of policy CS11 (Promoting sustainable and efficient travel) of the London Borough of Camden Local Development Framework Core Strategy and policy DP17 (Walking, cycling and public transport) of the London Borough of Camden Local Development Framework Development Policies.

- 7 The details of the facing materials to be used on the building shall not be otherwise than as those submitted to and approved by the Council before any work is commenced on the relevant part of the development. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 (Promoting high quality places and conserving our heritage) of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 (Securing high quality design) and DP25 (Conserving Camden's heritage) of the London Borough of Camden Local Development Framework Development Policies.

- 8 A sample panel of the facing brickwork demonstrating the proposed colour, texture, face-bond and pointing shall be provided on site and approved by the Council before the relevant parts of the works are commenced and the development shall be carried out in accordance with the approval given. The sample panel shall be retained on site until the work has been completed.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 (Promoting high quality places and conserving our heritage) of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 (Securing high quality design) and DP25 (Conserving Camden's heritage) of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 2363).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 Reasons for granting permission.

The proposed development is in general accordance with the London Borough of Camden Local Development Framework Core Strategy, with particular regard to policies CS1 (Distribution of growth), CS5 (Managing the impact of growth and development), CS6 (Providing quality homes), CS8 (Promoting a successful and inclusive Camden economy), CS11 (Promoting sustainable and efficient travel), CS13 (Tackling climate change and promoting higher environmental standards), CS14 (Promoting high quality places and conserving our heritage), CS15 (Protecting and improving our parks and open spaces & encouraging biodiversity), and CS19 (Developing and monitoring the Core Strategy); and the London Borough of Camden Local Development Framework Development Policies, with particular regard to policies DP2 (Making full use of Camden's capacity for housing), DP5 (Homes of different sizes), DP6 (Lifetime homes and wheelchair homes), DP13 (Employment sites and premises), DP16 (The transport implications of development), DP17 (Walking, cycling and public transport), DP18 (Parking standards and limiting the availability of car parking), DP19 (Managing the impact

of parking), DP21 (Development connecting to the highway network), DP22 (Promoting sustainable design and construction), DP24 (Securing high quality design), DP25 (Conserving Camden's heritage), DP26 (Managing the impact of development on occupiers and neighbours), and DP32 (Air quality and Camden's Clear Zone).

Furthermore, although the proposal would result in a loss of low quality commercial floorspace, it would bring a vacant building back into use providing residential floorspace. The new building is not considered to harm the character or appearance of the streetscene or conservation area, or considered to harm the amenity of adjoining occupiers or the local transport network.

- 4 The Mayor of London introduced a Community Infrastructure Levy (CIL) to help pay for Crossrail on 1st April 2012. Any permission granted after this time which adds more than 100sqm of new floorspace or a new dwelling will need to pay this CIL. It will be collected by Camden on behalf of the Mayor of London. Camden will be sending out liability notices setting out how much CIL will need to be paid if an affected planning application is implemented and who will be liable.

The proposed charge in Camden will be £50 per sqm on all uses except affordable housing, education, healthcare, and development by charities for their charitable purposes. You will be expected to advise us when planning permissions are implemented. Please use the forms at the link below to advise who will be paying the CIL and when the development is to commence. You can also access forms to allow you to provide us with more information which can be taken into account in your CIL calculation and to apply for relief from CIL.

<http://www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil>

We will then issue a CIL demand notice setting out what monies needs to paid when and how to pay. Failure to notify Camden of the commencement of development will result in a surcharge of £2500 or 20% being added to the CIL payment. Other surcharges may also apply for failure to assume liability and late payment. Payments will also be subject to indexation in line with the construction costs index.

Please send CIL related documents or correspondence to CIL@Camden.gov.uk

- 5 You are reminded that this decision only grants permission for permanent residential accommodation (Class C3). Any alternative use of the residential units for temporary accommodation, i.e. for periods of less than 90 days for tourist or short term lets etc, would constitute a material change of use and would require a further grant of planning permission.
- 6 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ

- 7 You are reminded that filled refuse sacks shall not be deposited on the public footpath, or forecourt area until within half an hour of usual collection times. For further information please contact the Council's Environment Services (Rubbish Collection) on 020 7974 6914/5. or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-street-environment-services.en>
- 8 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.

Conditions and Reasons **2012/3126/C**:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 The demolition hereby permitted shall not be undertaken before a contract for the carrying out of the works of redevelopment of the site has been made and full planning permission has been granted for the redevelopment for which the contract provides.

Reason: To protect the visual amenity of the area in accordance with the requirements of policy CS14 (Promoting high quality places and conserving our heritage) of the London Borough of Camden Local Development Framework Core Strategy, and policy DP25 (Conserving Camden's heritage) of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 Reasons for granting conservation area consent.

The proposed development is in general accordance with particular regard to the London Borough of Camden Local Development Framework Core Strategy, with particular regard to policy CS14 (Promoting high quality places and conserving our heritage); and the London Borough of Camden Local Development Framework Development Policies, with particular regard to policy DP25 (Conserving Camden's heritage).

Condition(s) and Reason(s) **2012/3113/P**:

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: Site Location Plan 200_03_101; 01; 02; 03; 05; 06; 10 Rev B; 11 Rev A; 12 Rev A; 13 Rev A; 14 Rev A; 15 Rev A; 16 Rev A; 17 Rev A; Design and Access Statement by FT Architects dated June 2012; Construction Management Plan by FT Architects dated June 2012; Overarching Planning Statement by FT Architects dated June 2012; Daylight and Sunlight report by Waldrams dated 20th June 2012; Code for Sustainable Homes Report by Abba Energy Ltd dated 17th August 2012; Planning Support Statement by Farebrother Surveyors dated August 2012.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 Prior to first occupation of the buildings, details showing the location and extent of photovoltaic cells/solar water heaters to be installed on the building and manufacturer's specifications shall have been submitted to and approved by the Local Planning Authority. The equipment shall be installed in full accordance with the details approved by the Local Planning Authority and permanently retained and maintained thereafter.

Reason: In order to secure appropriate energy and resource efficiency measures and on-site renewable energy generation in accordance with the requirements of policy CS13 (Tackling climate change and promoting higher environmental standards) of the London Borough of Camden Local Development Framework Core Strategy and policies DP22 (Promoting sustainable design and construction), DP23 (Water), DP24 (Securing high quality design) and DP32 (Air quality and Camden's Clear Zone) of the London Borough of Camden Local Development Framework Development Policies.

- 4 Prior to the first occupation of the building a plan showing details of the green roof including species, planting density, substrate and a section at scale 1:20 showing that adequate depth is available in terms of the construction and long term viability of the green roof, and a programme for an initial scheme of maintenance shall be submitted to and approved in writing by the local planning authority. The green roof shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme of maintenance.

Reason: To ensure that the green roof is suitably designed and maintained in accordance with the requirements of policies CS13 (Tackling climate change and promoting higher environmental standards), CS14 (Promoting high quality places and conserving our heritage) and CS15 (Protecting and improving our parks and open spaces and encouraging biodiversity) of the London Borough of Camden Local Development Framework Core Strategy and policies DP22 (Promoting sustainable design and construction), DP23 (Water), DP24 (Securing high quality design) and DP32 (Air quality and Camden's Clear Zone) of the London Borough of Camden

Local Development Framework Development Policies.

- 5 The proposed development shall not be occupied until the whole of the cycle parking provision shown on the approved drawings is provided. The whole of the cycle parking provision shall be permanently retained and maintained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of policy CS11 (Promoting sustainable and efficient travel) of the London Borough of Camden Local Development Framework Core Strategy and policy DP17 (Walking, cycling and public transport) of the London Borough of Camden Local Development Framework Development Policies.

- 6 The details of the facing materials to be used on the building shall not be otherwise than as those submitted to and approved by the Council before any work is commenced on the relevant part of the development. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 (Promoting high quality places and conserving our heritage) of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 (Securing high quality design) and DP25 (Conserving Camden's heritage) of the London Borough of Camden Local Development Framework Development Policies.

- 7 A sample panel of the facing brickwork demonstrating the proposed colour, texture, face-bond and pointing shall be provided on site and approved by the Council before the relevant parts of the works are commenced and the development shall be carried out in accordance with the approval given. The sample panel shall be retained on site until the work has been completed.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 (Promoting high quality places and conserving our heritage) of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 (Securing high quality design) and DP25 (Conserving Camden's heritage) of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 2363).
- 2 Noise from demolition and construction works is subject to control under the

Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

3 Reasons for granting permission. [Delegated]

The proposed development is in general accordance with the London Borough of Camden Local Development Framework Core Strategy, with particular regard to policies (officer to insert relevant policy number and title) and the London Borough of Camden Local Development Framework Development Policies, with particular regard to policies.... (officer to insert relevant policy number and title). For a more detailed understanding of the reasons for the granting of this planning permission, please refer to the officers report.

4 The Mayor of London introduced a Community Infrastructure Levy (CIL) to help pay for Crossrail on 1st April 2012. Any permission granted after this time which adds more than 100sqm of new floorspace or a new dwelling will need to pay this CIL. It will be collected by Camden on behalf of the Mayor of London. Camden will be sending out liability notices setting out how much CIL will need to be paid if an affected planning application is implemented and who will be liable.

The proposed charge in Camden will be £50 per sqm on all uses except affordable housing, education, healthcare, and development by charities for their charitable purposes. You will be expected to advise us when planning permissions are implemented. Please use the forms at the link below to advise who will be paying the CIL and when the development is to commence. You can also access forms to allow you to provide us with more information which can be taken into account in your CIL calculation and to apply for relief from CIL.

<http://www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil>

We will then issue a CIL demand notice setting out what monies needs to paid when and how to pay. Failure to notify Camden of the commencement of development will result in a surcharge of £2500 or 20% being added to the CIL payment. Other surcharges may also apply for failure to assume liability and late payment. Payments will also be subject to indexation in line with the construction costs index.

Please send CIL related documents or correspondence to CIL@Camden.gov.uk

5 You are reminded that this decision only grants permission for permanent residential accommodation (Class C3). Any alternative use of the residential units for temporary accommodation, i.e. for periods of less than 90 days for tourist or

short term lets etc, would constitute a material change of use and would require a further grant of planning permission.

- 6 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ
- 7 You are reminded that filled refuse sacks shall not be deposited on the public footpath, or forecourt area until within half an hour of usual collection times. For further information please contact the Council's Environment Services (Rubbish Collection) on 020 7974 6914/5. or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-street-environment-services.en>
- 8 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.

Conditions and Reasons **2012/3190/C**:

- 1 Application for approval of the reserved matters shall be submitted to the Council within three years from the date of this permission.

Reason: In order to comply with the provisions of Section 92 of the Town and Country Planning Act 1990 (as amended).

- 2 The demolition hereby permitted shall not be undertaken before a contract for the carrying out of the works of redevelopment of the site has been made and full planning permission has been granted for the redevelopment for which the contract provides.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 (Promoting high quality places and conserving our heritage) of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 (Securing high quality design) of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 Reasons for granting conservation area consent.

The proposed development is in general accordance with particular regard to the London Borough of Camden Local Development Framework Core Strategy, with particular regard to policy CS14 (Promoting high quality places and conserving our heritage); and the London Borough of Camden Local Development Framework Development Policies, with particular regard to policy DP25 (Conserving Camden's

heritage).



**Application No: 2012/3101/P & 2012/3159/C &
2012/3113/P & 2012/3125/P & 2012/3126/C &
2012/3113/P & 2012/3190/C**

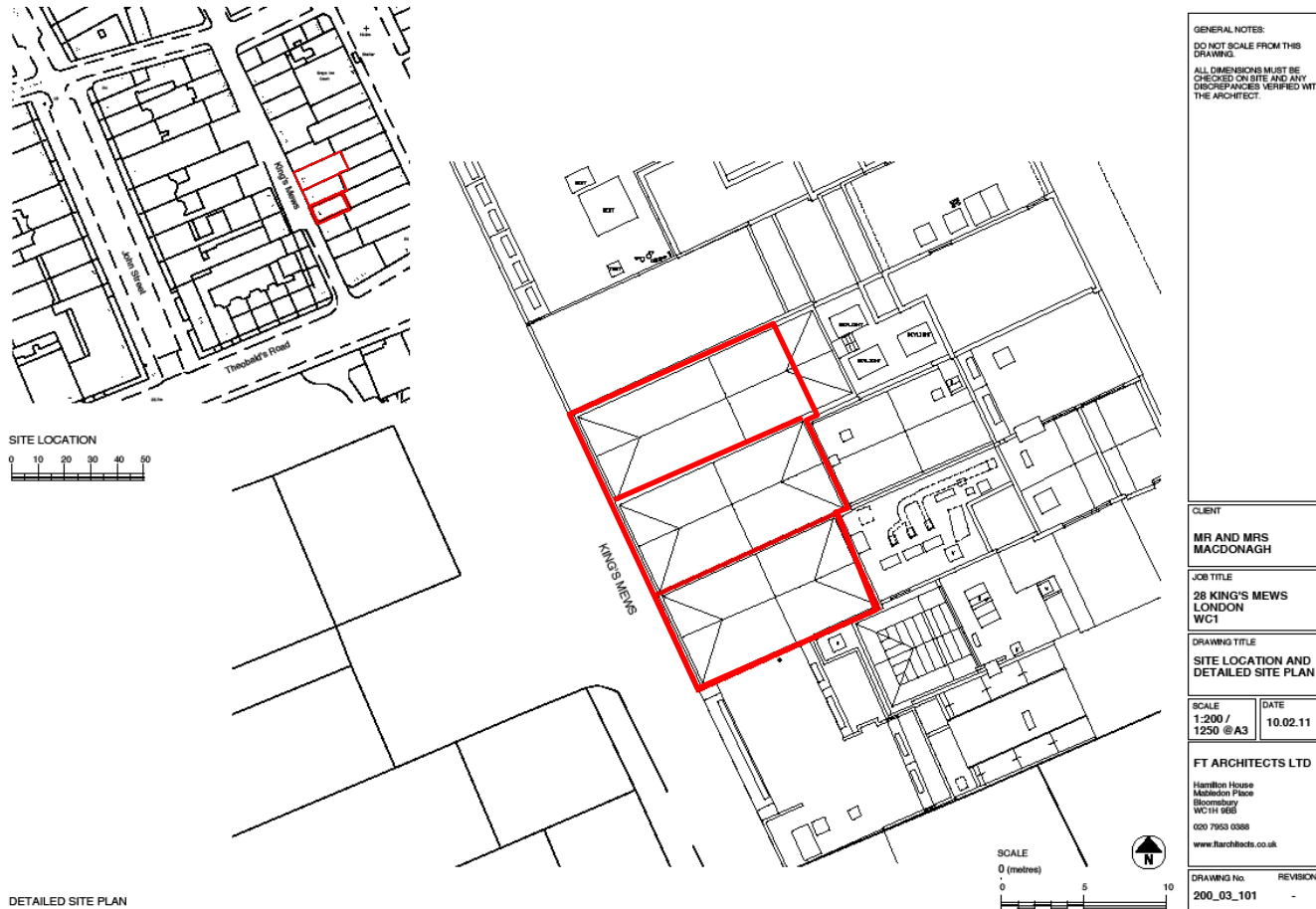
**26 - 28 King's Mews
London WC1N 2JB**

**Scale:
1:1250
Date:
5-Oct-12**



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26, 27 & 28 King's Mews



26-28 King's Mews



26-28 King's Mews

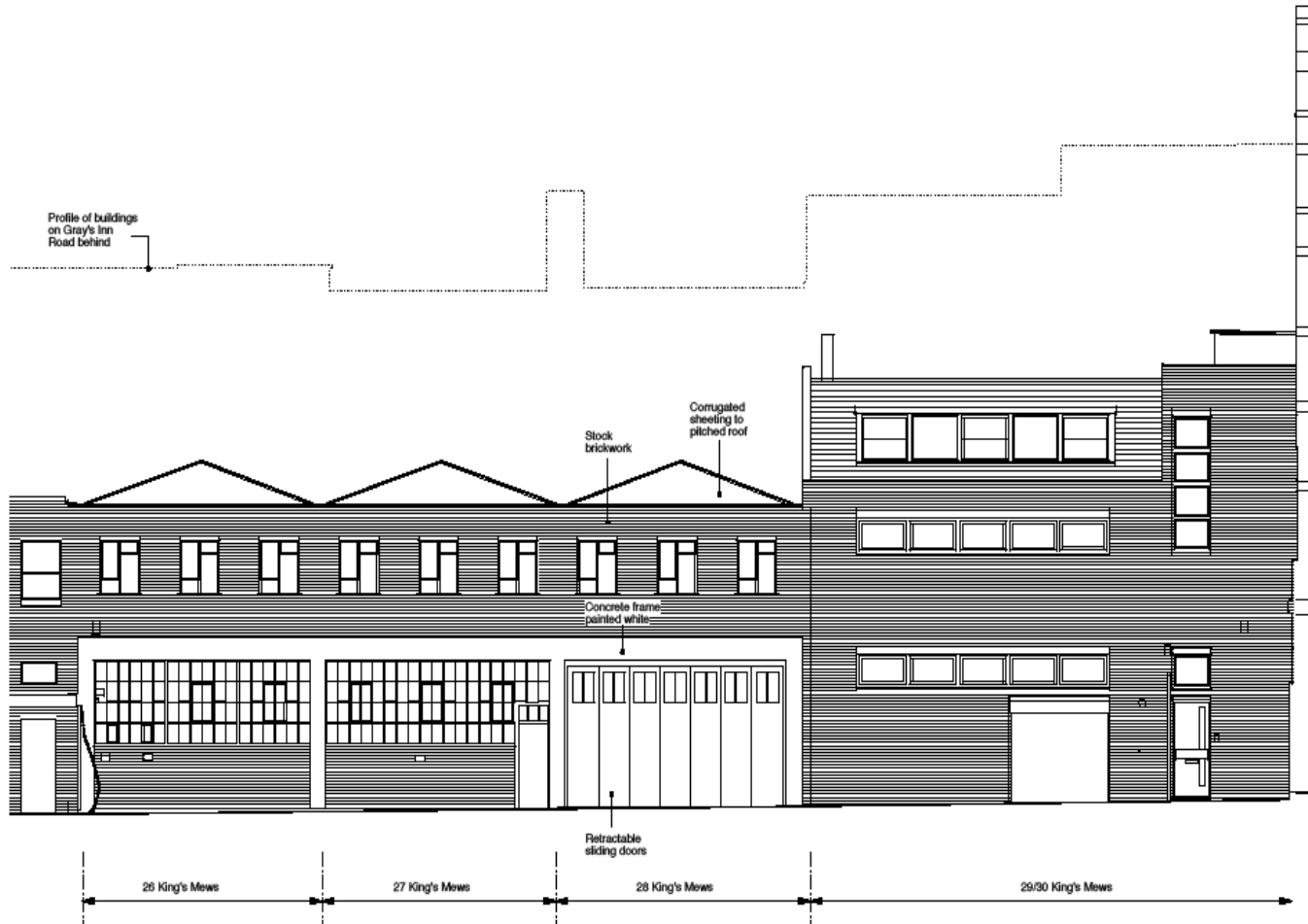


View south



View north

Existing front elevation



GENERAL NOTES:
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS MUST BE CHECKED ON SITE AND ANY DISCREPANCIES VERIFIED WITH THE ARCHITECT.

CLIENT

MR AND MRS
MACDONAGH

JOB TITLE

28 KING'S MEWS
LONDON
WC1

DRAWING TITLE

EXISTING FRONT
ELEVATION

SCALE

1:100 @ A3

DATE

25.05.12

FT ARCHITECTS LTD

Hamilton House
Mabledon Place
Bloomsbury
WC1H 9EB
020 7953 0388
www.ftarchitects.co.uk

DRAWING No.

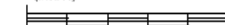
200_03_04

REVISION

-

SCALE

0 (metres)



5

EXISTING FRONT ELEVATION

Existing rear elevation

Architectural drawing showing the existing rear elevation of a building. The drawing includes a side elevation on the left with two windows and a series of dimension lines at the bottom indicating the layout of the units. The units are numbered 30, 29, 28, 27, and 26 from left to right. Unit 30 is highlighted in black and contains a double door and two windows. Units 29, 28, 27, and 26 are white and contain single windows. The drawing also shows a series of gabled roof sections and a series of vertical lines indicating the boundaries of the units.

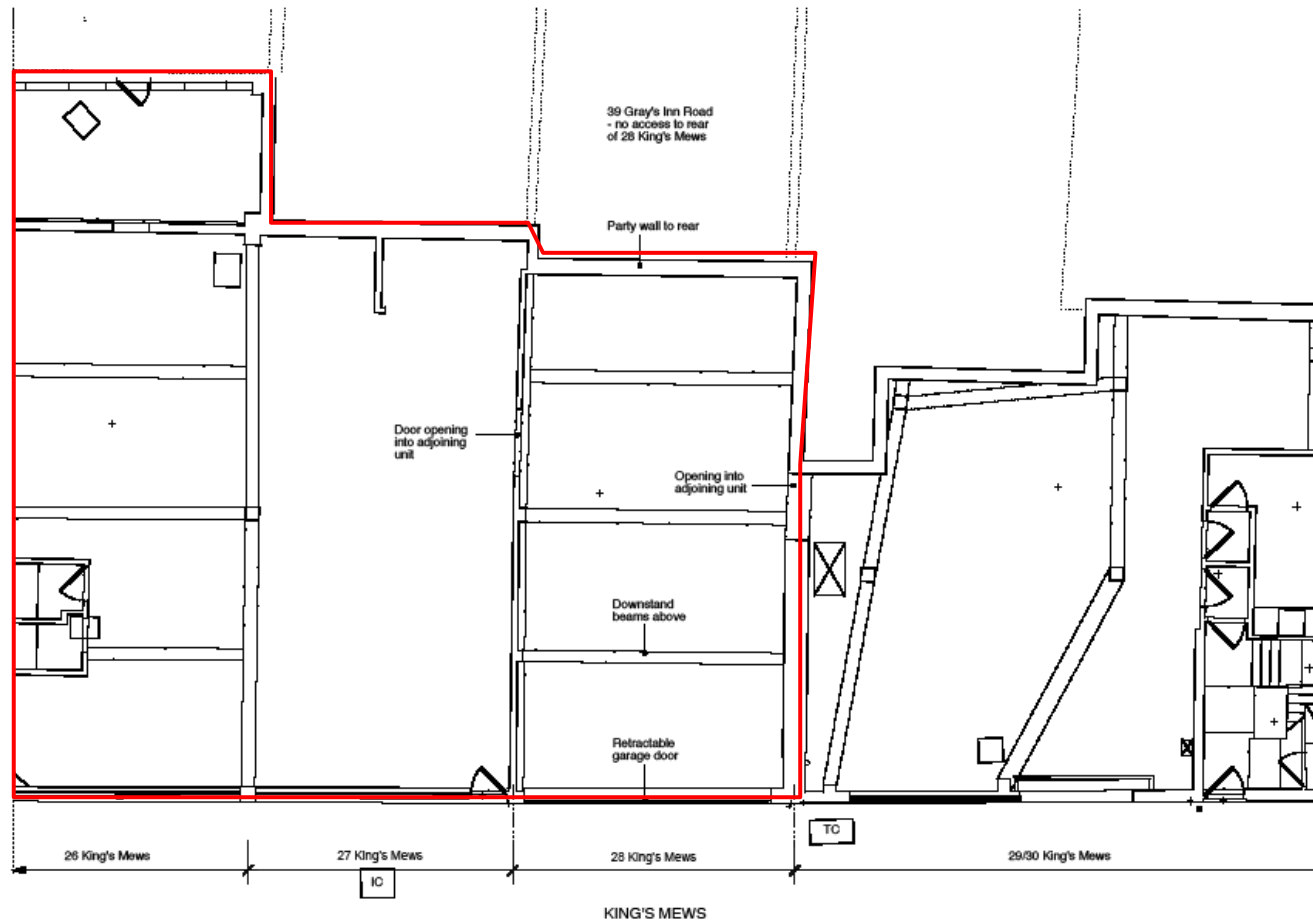
Do not scale drawings - dimensions govern
All dimensions in millimetres unless otherwise noted
Nico Wier Architects shall be notified in writing of any discrepancies
This drawing is protected under copyright and shall not be reproduced
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Architects

[illegible]

**27 KINGS MEWS
LONDON EC1N**

115 S1401 00 E admin@nicowest.com
W www.nicowest.com

Existing Ground Floor Plan



GENERAL NOTES:
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DRAWING.
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DISCREPANCIES VERIFIED WITH
THE ARCHITECT.

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JOB TITLE

28 KING'S MEWS
LONDON
WC1

DRAWING TITLE

EXISTING GROUND
FLOOR PLAN

SCALE

1:100 @ A3

DATE

10.02.11

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DRAWING No.

200_03_01

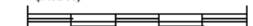
REVISION

-

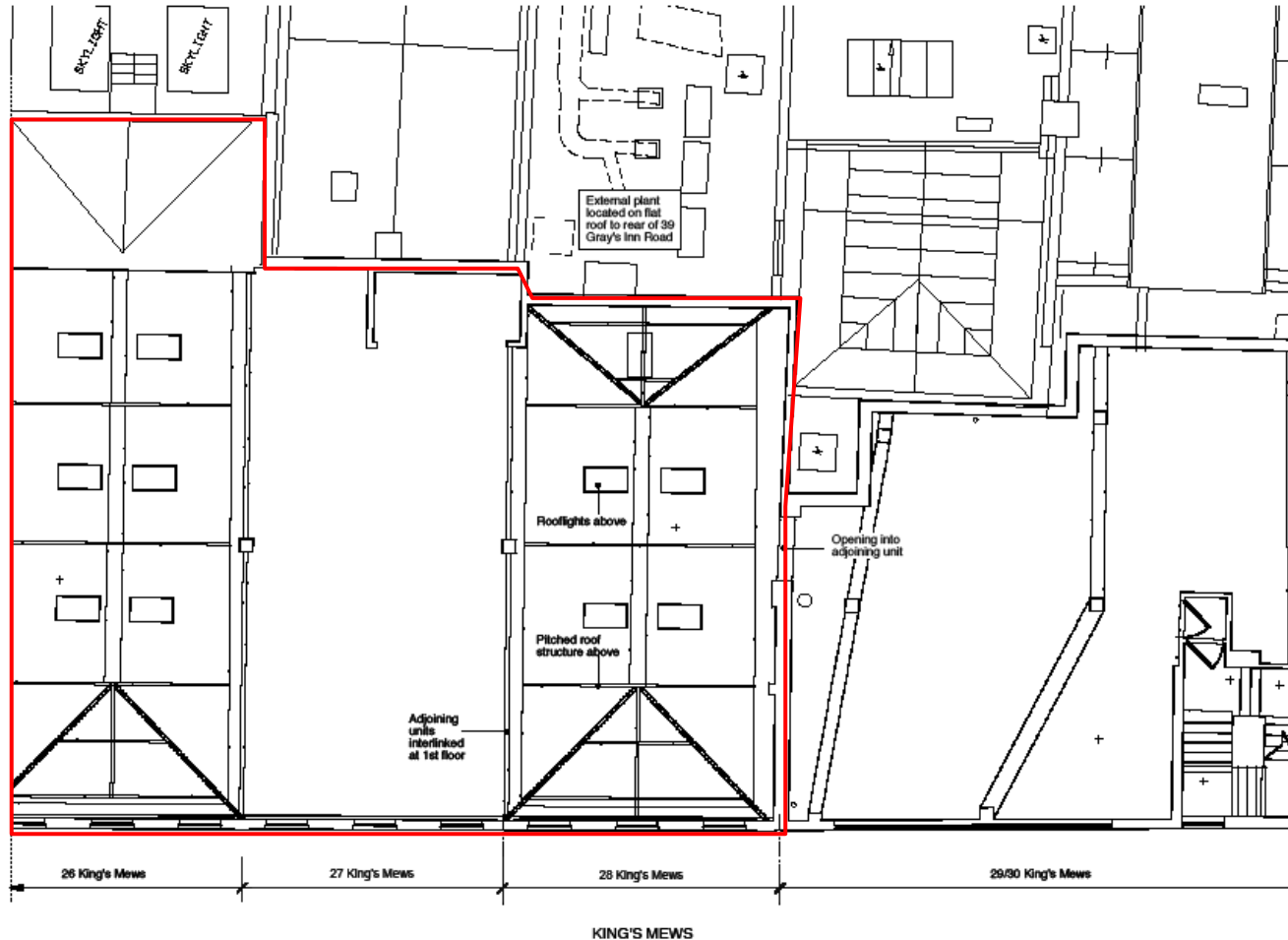
SCALE

0 (metres)

5



Existing First Floor Plan



GENERAL NOTES:
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS MUST BE CHECKED ON SITE AND ANY DISCREPANCIES VERIFIED WITH THE ARCHITECT.

CLIENT
**MR AND MRS
MACDONAGH**

JOB TITLE
**28 KING'S MEWS
LONDON
WC1**

DRAWING TITLE
**EXISTING FIRST
FLOOR PLAN**

SCALE
1:100 @ A3

DATE
10.02.11

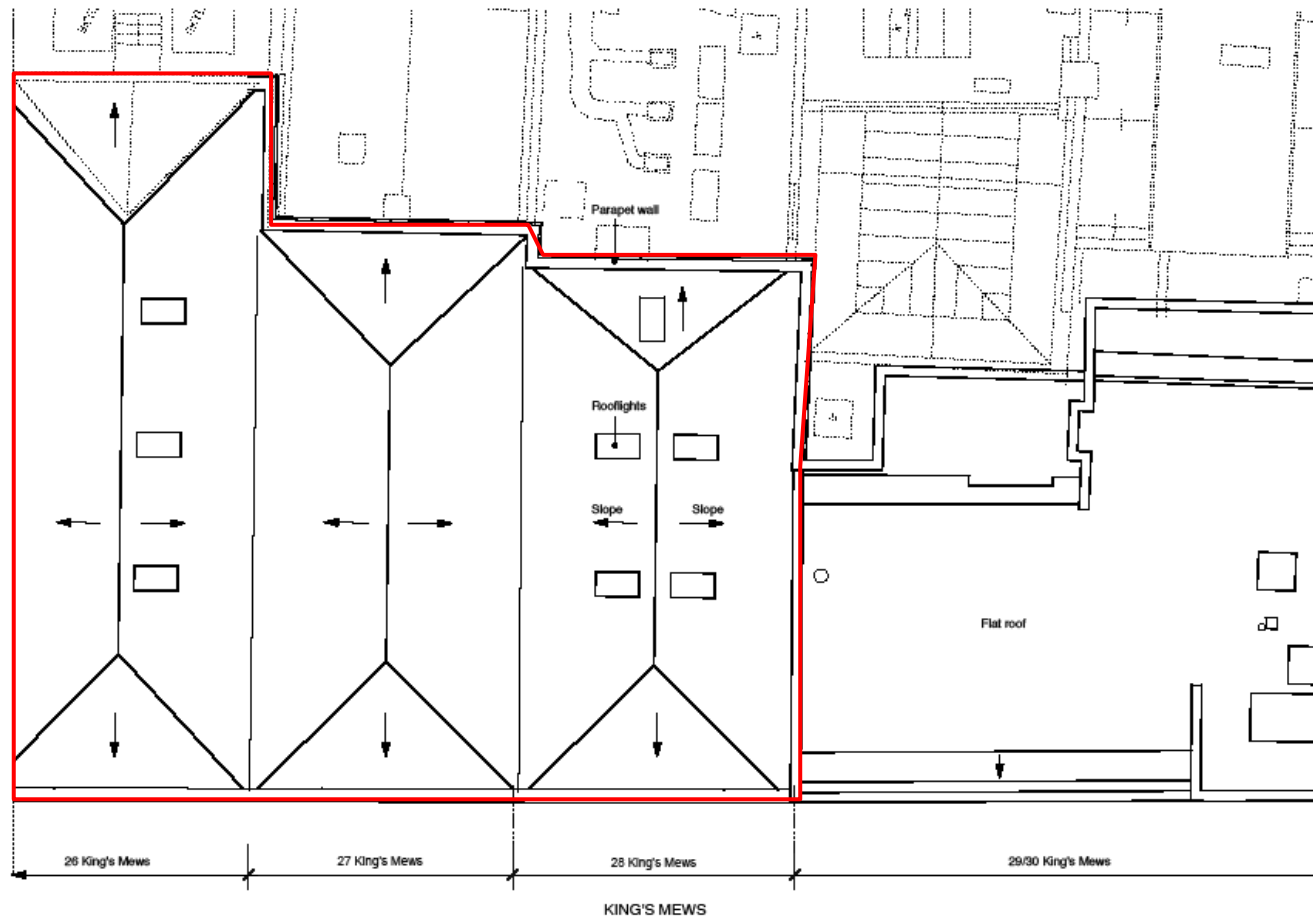
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DRAWING No. REVISION
200_03_02 -

Existing Roof Plan



GENERAL NOTES:
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JOB TITLE
**28 KING'S MEWS
LONDON
WC1**

DRAWING TITLE
EXISTING ROOF PLAN

SCALE
1:100 @ A3

DATE
10.02.11

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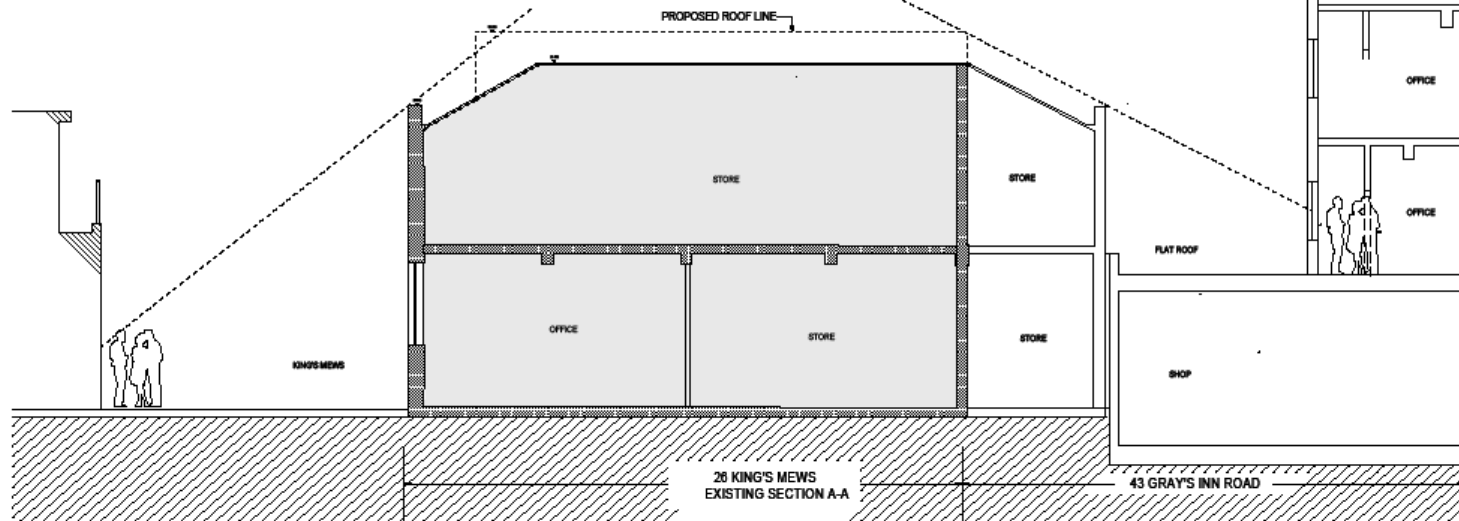
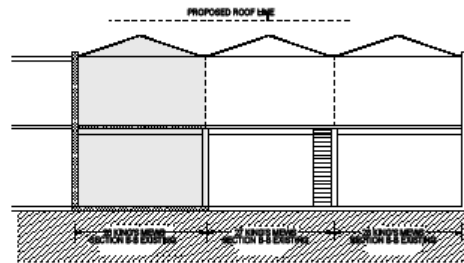
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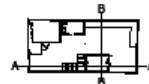
EXISTING ROOF PLAN

DRAWING No. REVISION
200_03_03 -

Existing Section



CURT	MICHAEL RAE
SCALE	SECTION A-A 1:100 @ A3, SECTION S-S 1:200 @ A3



NICHOLAS RAE & ASSOCIATES LTD	
26 KING'S MEWS, LONDON WC1	
TEL: 020 7437 1234 FAX: 020 7437 1235	
REF	26 KING'S MEWS, LONDON WC1
EXAMINER	EXISTING SECTIONS A-A & S-S
EXAMINER	26-2000-0
DATE	26 JUNE 2012

Proposed Elevations

GENERAL NOTES:
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS MUST BE CHECKED ON SITE AND ANY DISCREPANCIES VERIFIED WITH THE ARCHITECT.

Rev A - 03.06.12
3rd floor storey and garage omitted, parapets, roof heights and window heads adjusted to align with new development at 27 King's Mews, separate entrances to Flats A and B

CLIENT
**MR AND MRS
MACDONAGH**

JOB TITLE
**28 KING'S MEWS
LONDON
WC1**

DRAWING TITLE
**PROPOSED FRONT
ELEVATION - SET WITHIN
NEW STREETSCENE**

SCALE
1:100 @ A3

DATE
25.05.12

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www.ftarchitects.co.uk

DRAWING No. **200_03_17** REVISION **A**

Refer to drawing
200_03_16 for details
of materials proposed
for 28 King's Mews

Profile of Gray's Inn
buildings beyond



PROPOSED FRONT ELEVATION

SCALE
0 (metres) 5

CLUB	MICHAEL RAE
TELE	1:100 @ A3

0m	2m	4m	6m
----	----	----	----

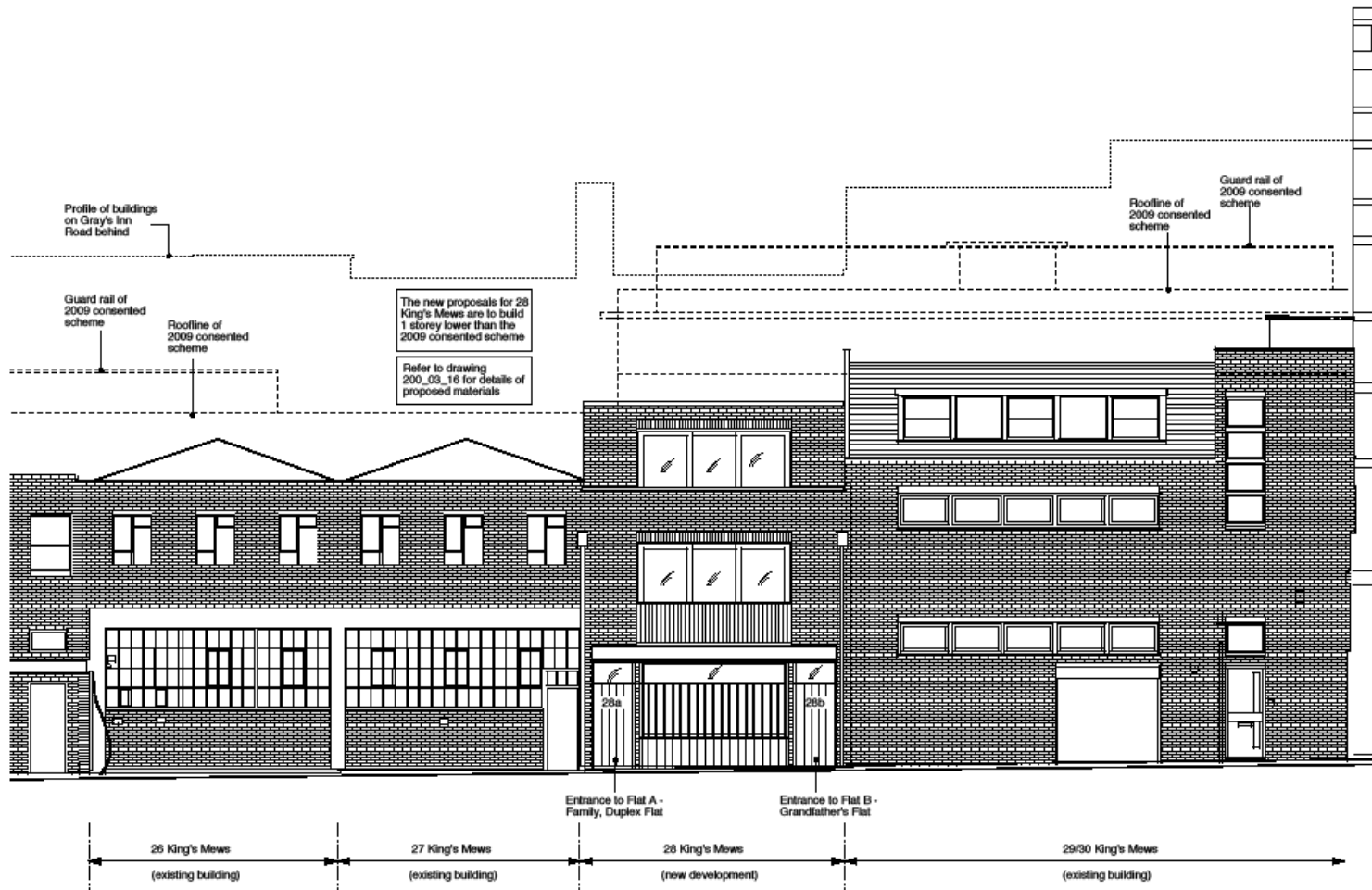


NICHOLAS RAE & ASSOCIATES LTD 2000 GERRARD STREET E, SCARBOROUGH ONT M1V 4Z5 TEL: (416) 291-0000 FAX: (416) 291-0001	
DATE	28 KING'S MEWS, LONDON W6
CONVEYING TITLE	PROPOSED FRONT ELEVATION
CONVEYING REF	28-2311-C
DATE	29 SEPT 2012

No. 27 Proposed Front Elevation



No. 28 Proposed Front Elevation



GENERAL NOTES:
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS MUST BE CHECKED ON SITE AND ANY DISCREPANCIES VERIFIED WITH THE ARCHITECT.

Rev A - 03.06.12

3rd floor storey and garage omitted, parapets, roof heights and window heads adjusted to align with new development at 27 King's Mews (not shown in this dwg)

CLIENT

MR AND MRS
MACDONAGH

JOB TITLE

28 KING'S MEWS
LONDON
WC1

DRAWING TITLE

PROPOSED FRONT
ELEVATION - SET WITHIN
EXTG STREETSCENE

SCALE

1:100 @ A3

DATE

25.05.12

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WC1H 9BB

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DRAWING No.

200_03_14

REVISION

A

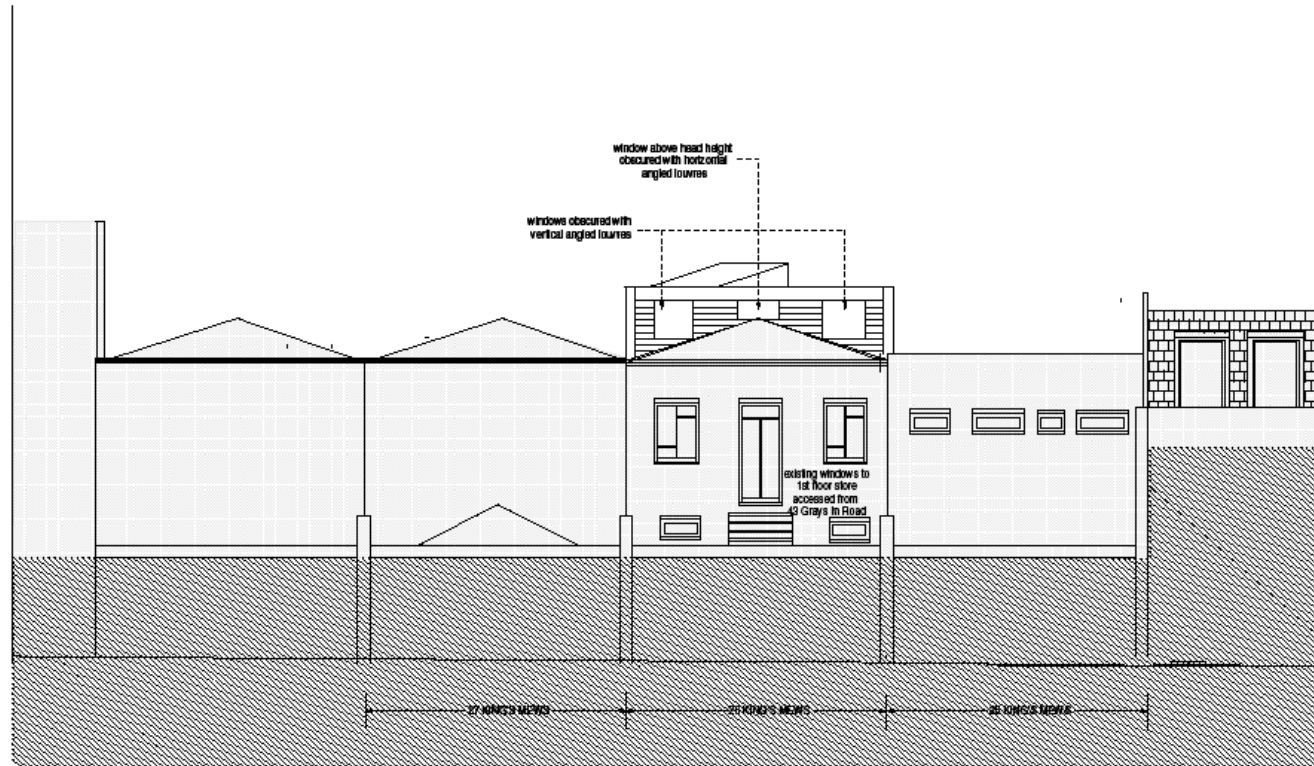
PROPOSED FRONT ELEVATION

SCALE

0 (metres)

5

No. 26 Proposed Rear Elevation



CLIENT	MICHAEL RHE
SCALE	1:100 @ A3

0m

2m

4m

6m

8m

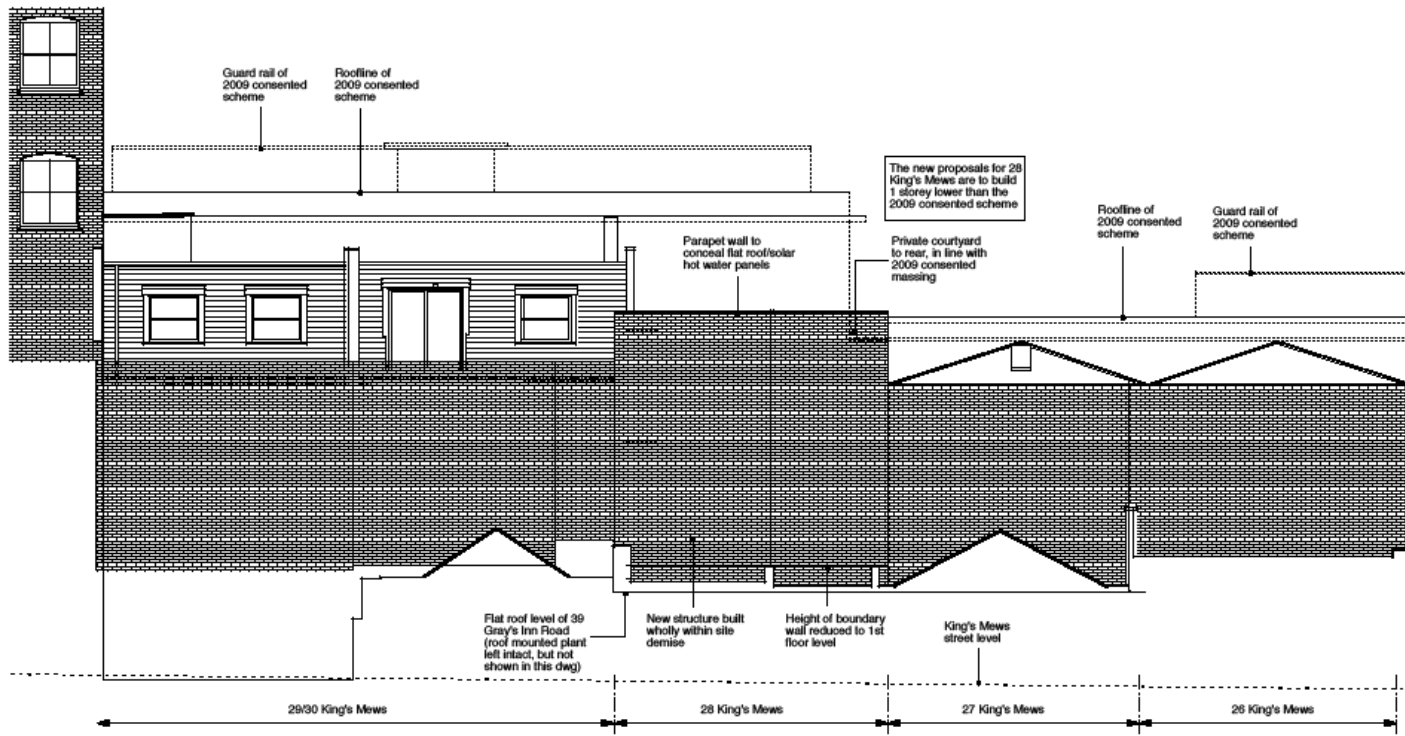
MICHAEL RHE & ASSOCIATES LTD	
25 GLOUCESTER ROAD, LONDON WC1E 7JH	
DATE	20th JUNE 2019, LONDON WC1E 7JH
PROJECT NAME	PROPOSED REAR ELEVATION
PROJECT NO.	20-00118-C
DATE	20th JUNE 2019

Architectural drawing of the proposed rear elevation of 27 Kings Mews. The drawing shows a three-story building with various window types and external render. Annotations include:

- painted external render colour to be agreed
- windows with vertical timber louvres to obscure view over neighbours
- obscured glass bathroom windows

A scale bar at the bottom indicates the building's position relative to Nos. 30, 29, 28, 27, and 26.

No. 28 Proposed Rear Elevation



GENERAL NOTES:
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS MUST BE CHECKED ON SITE AND ANY DISCREPANCIES VERIFIED WITH THE ARCHITECT.

Rev A - 03.06.12
3rd floor storey omitted, parapets, roof heights adjusted to align with new development at 27 King's Mews (not shown in this dwg)

CLIENT
**MR AND MRS
MACDONAGH**

JOB TITLE
**28 KING'S MEWS
LONDON
WC1**

DRAWING TITLE
**PROPOSED REAR
ELEVATION - SET WITHIN
EXTG STREETSCENE**

SCALE
1:100 @A3

DATE
25.05.12

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WC1H 9BB
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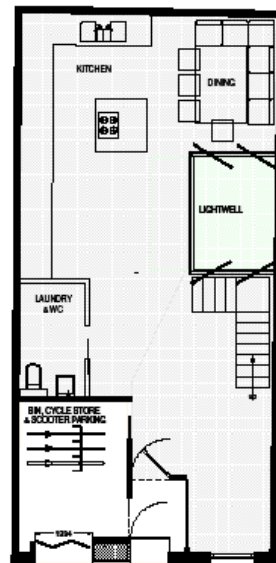
DRAWING No.
200_03_15

REVISION
A

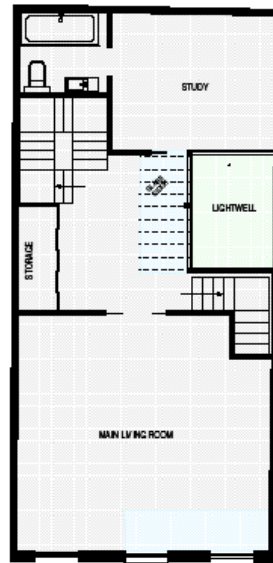
PROPOSED REAR ELEVATION

SCALE
0 (metres) 5

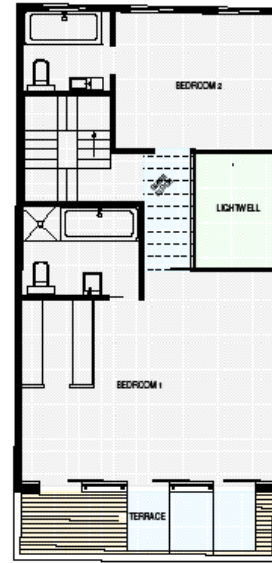
No. 26 Proposed Floor Plans



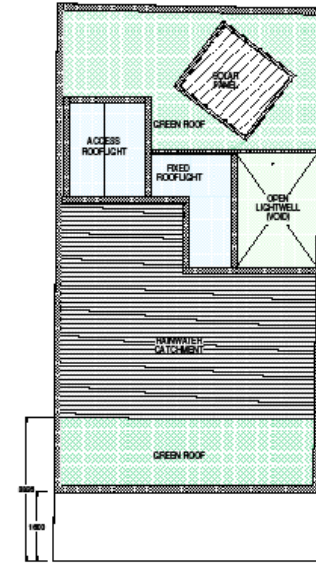
Ground Floor



1st Floor



2nd floor



Roof Plan

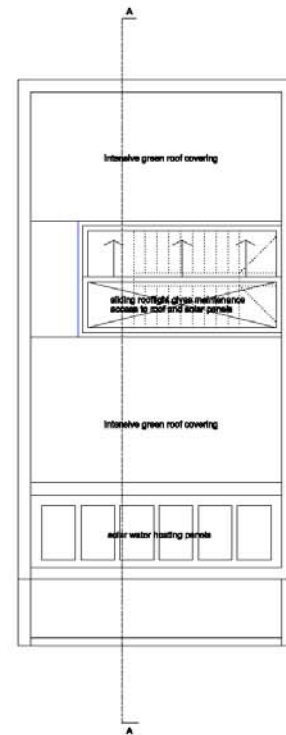
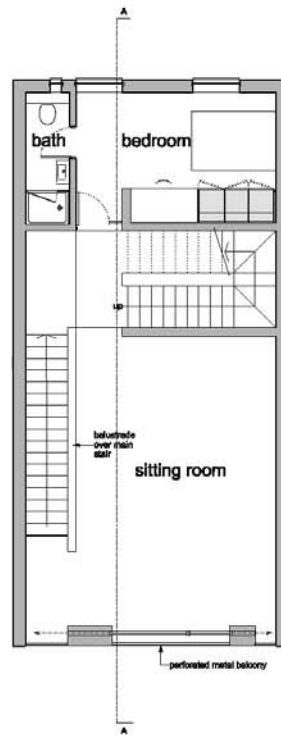
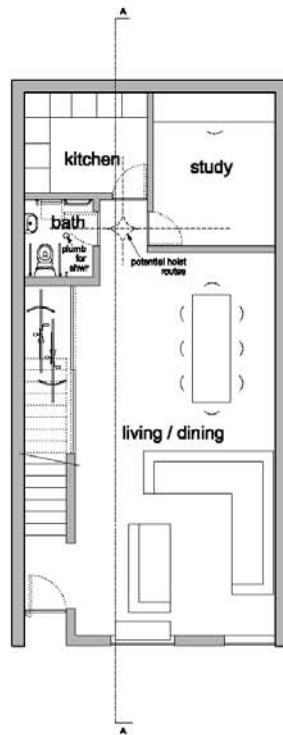
JUNE 2012 PROPOSAL

CLIENT	MICHAEL DAE
SCALE	1:100 @ A3



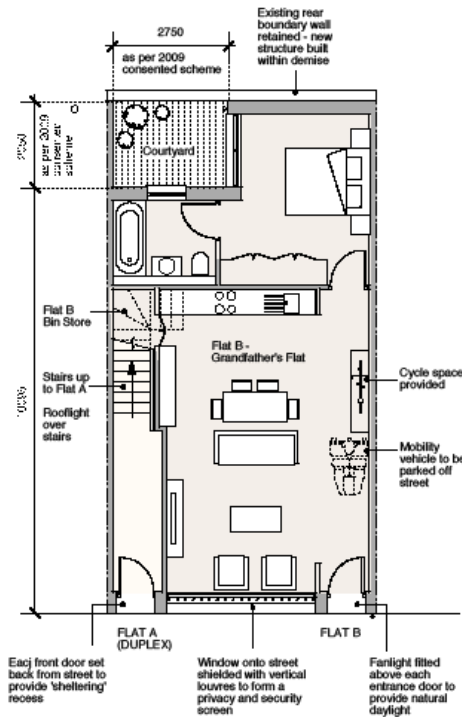
NICHOLAS FINE ASSOCIATES LTD	
28-30 SOUTHVIEW WAY, LONDON W14 9JF	
020 8996 1000	
DATE	28-08-2012
PROJECT	28-08-2012
DESIGNER	28-08-2012
DATE	28-08-2012

No. 27 Proposed Floor Plans

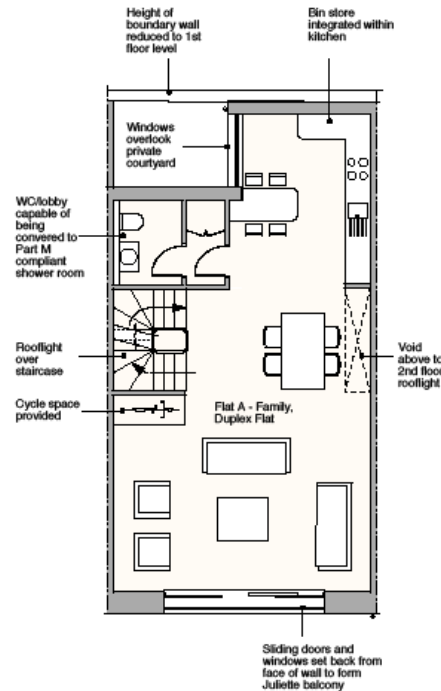


DISCLAIMER												Rev		Date	Description	By	Checked	Rev	Date	Description	By	Checked	PLANNING PROJECT 27 KINGS MEWS LONDON EC1N	DRAWING TITLE PROPOSED PLANS				
Do not make drawings - dimensions govern												00	15.05.12	PLANNING											SCALE 1:100 @A3 / 1:50 @A1			
All dimensions to centre unless otherwise noted												01	15.05.12	PLANNING											DATE 15.06.12	ISSUED BY ISA TALBOT ROAD LONDON W2 5JE		
New Water Audit Booklet shall be verified in writing of any discrepancies												02	20.05.12	PLANNING											DRAWN BY ISA TALBOT ROAD LONDON W2 5JE	JOB NO 115	DRAWING NO A1200	REV 04
This drawing is produced under copyright and shall not be reproduced in part or whole without prior expressed permission of New Water Audit Booklet												03	27.05.12	PLANNING												T +44 (0)770 393 6492	E isa@isa-talbot.com	W www.isa-talbot.com
												04	27.05.12	PLANNING														

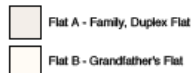
No. 28 Proposed Floor Plans



GROUND FLOOR PLAN
(ENTRANCE TO FLAT A, FLAT B)



1ST FLOOR, FLAT A



GENERAL NOTES:
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS MUST BE CHECKED ON SITE AND ANY DISCREPANCIES VERIFIED WITH THE ARCHITECT.

Surface and foul drainage to be conveyed to existing combined sewer running along King's Mews

Rev B - 05.09.12

Cycle space added to Flat B; dedicated cupboard added cycle storage in Flat A

Rev A - 31.08.12

Garage omitted; separate entrance provided to Flat B

CLIENT

MR AND MRS
MACDONAGH

JOB TITLE

28 KING'S MEWS
LONDON
WC1

DRAWING TITLE

PROPOSED GROUND,
AND 1ST FLOORS

SCALE

1:100 @ A3

DATE

25.05.12

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WC1H 9BB

020 7953 0388

www.ftarchitects.co.uk

DRAWING No.

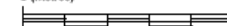
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REVISION

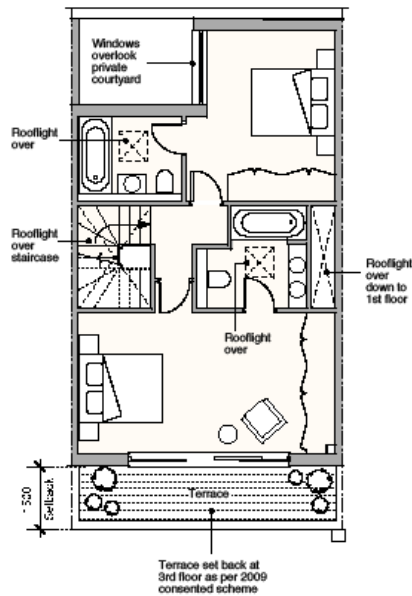
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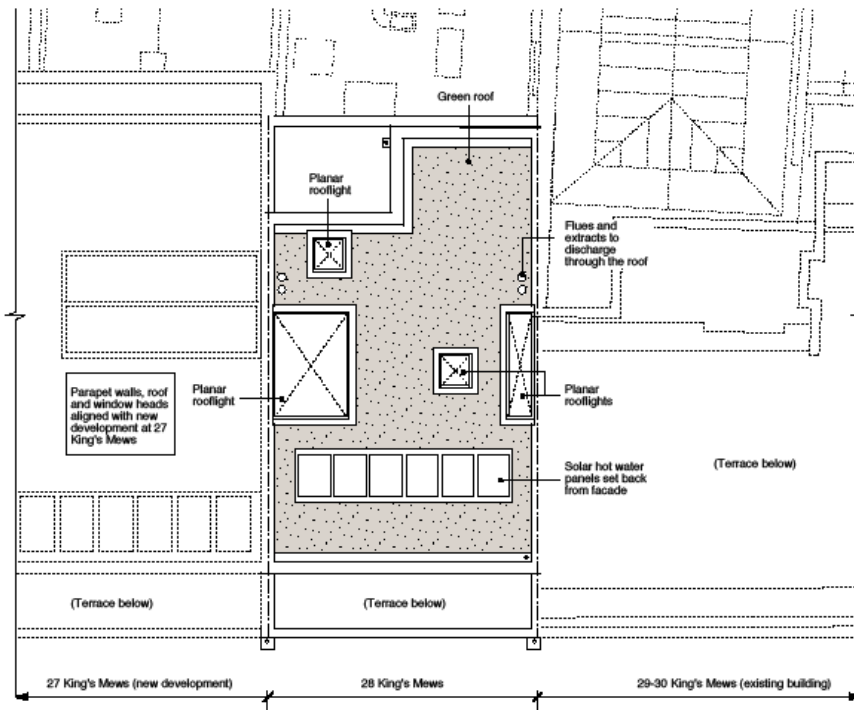
0 (metres)



No. 28 Proposed Floor Plans



2ND FLOOR, FLAT B



ROOF PLAN

GENERAL NOTES:
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS MUST BE CHECKED ON SITE AND ANY DISCREPANCIES VERIFIED WITH THE ARCHITECT.

Surface and foul drainage to be conveyed to existing combined sewer running along King's Mews

Rev A - 31.08.12

3rd floor storey omitted: changes to plan internally to suit reduced scale development

CLIENT

MR AND MRS
MACDONAGH

JOB TITLE

28 KING'S MEWS
LONDON
WC1

DRAWING TITLE

PROPOSED 2ND
FLOOR AND ROOF
PLAN

SCALE

1:100 @ A3

DATE

25.05.12

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DRAWING No.

200_03_11

REVISION

A



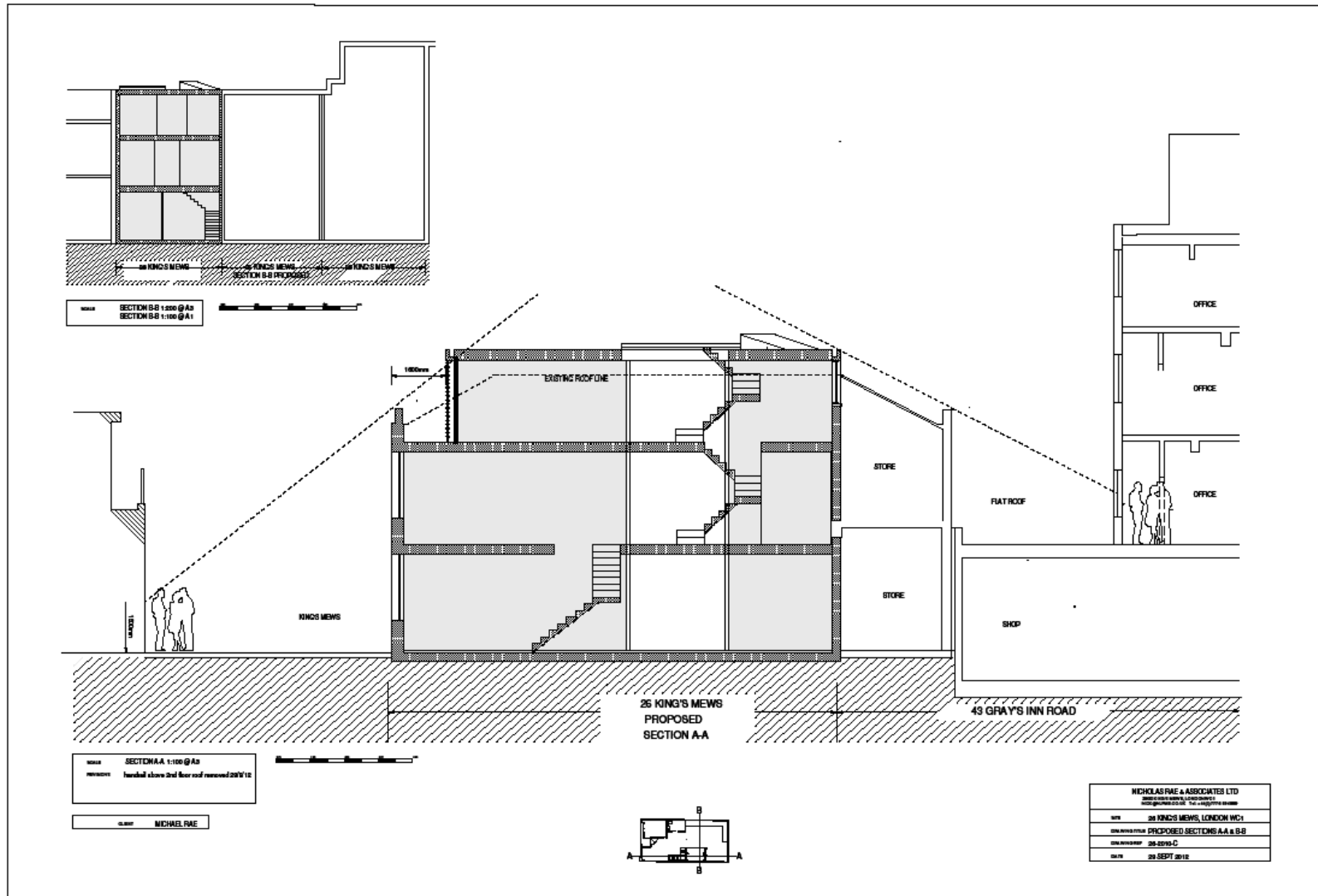
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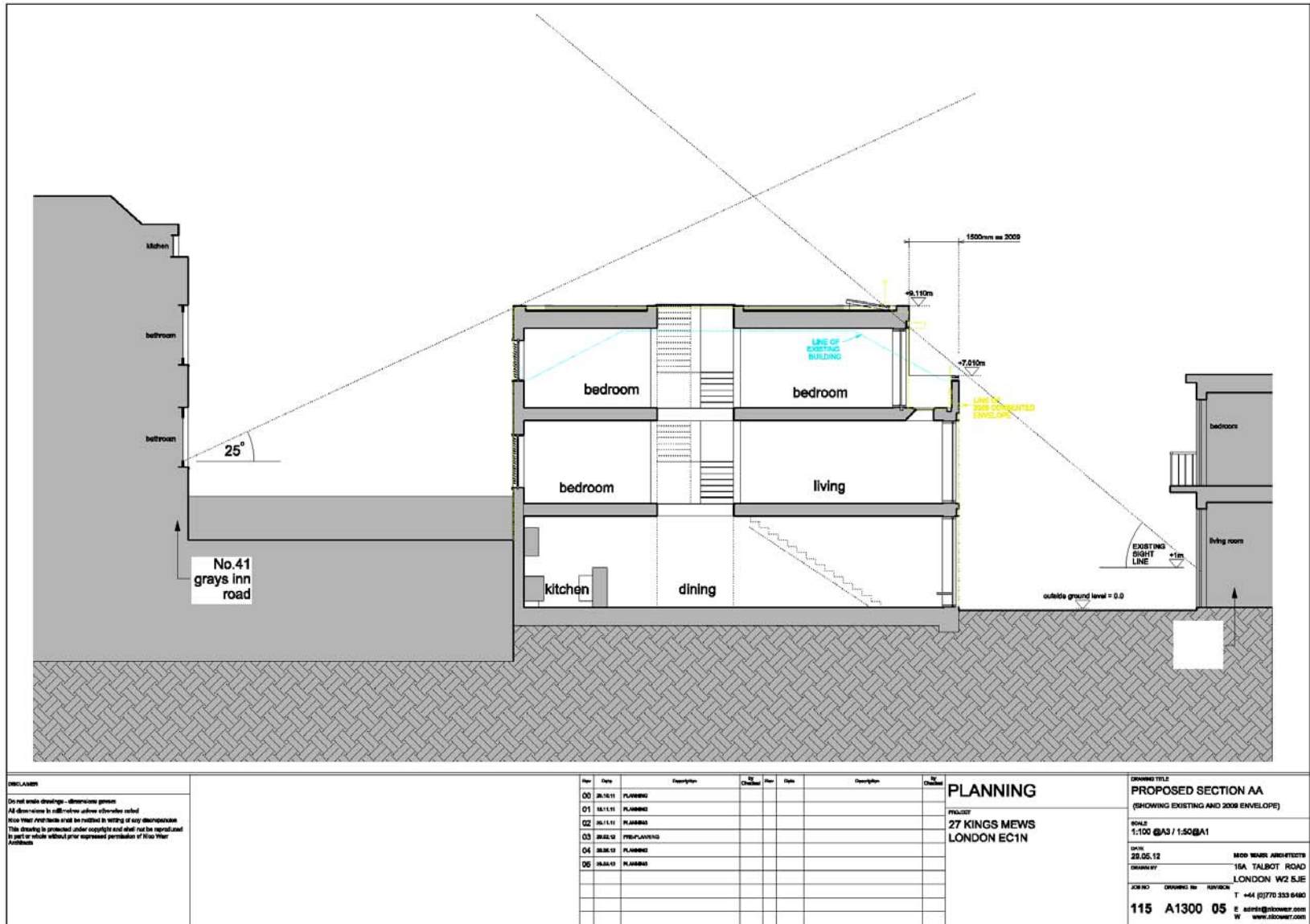
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- Flat A - Family, Duplex Flat
- Flat B - Grandfather's Flat

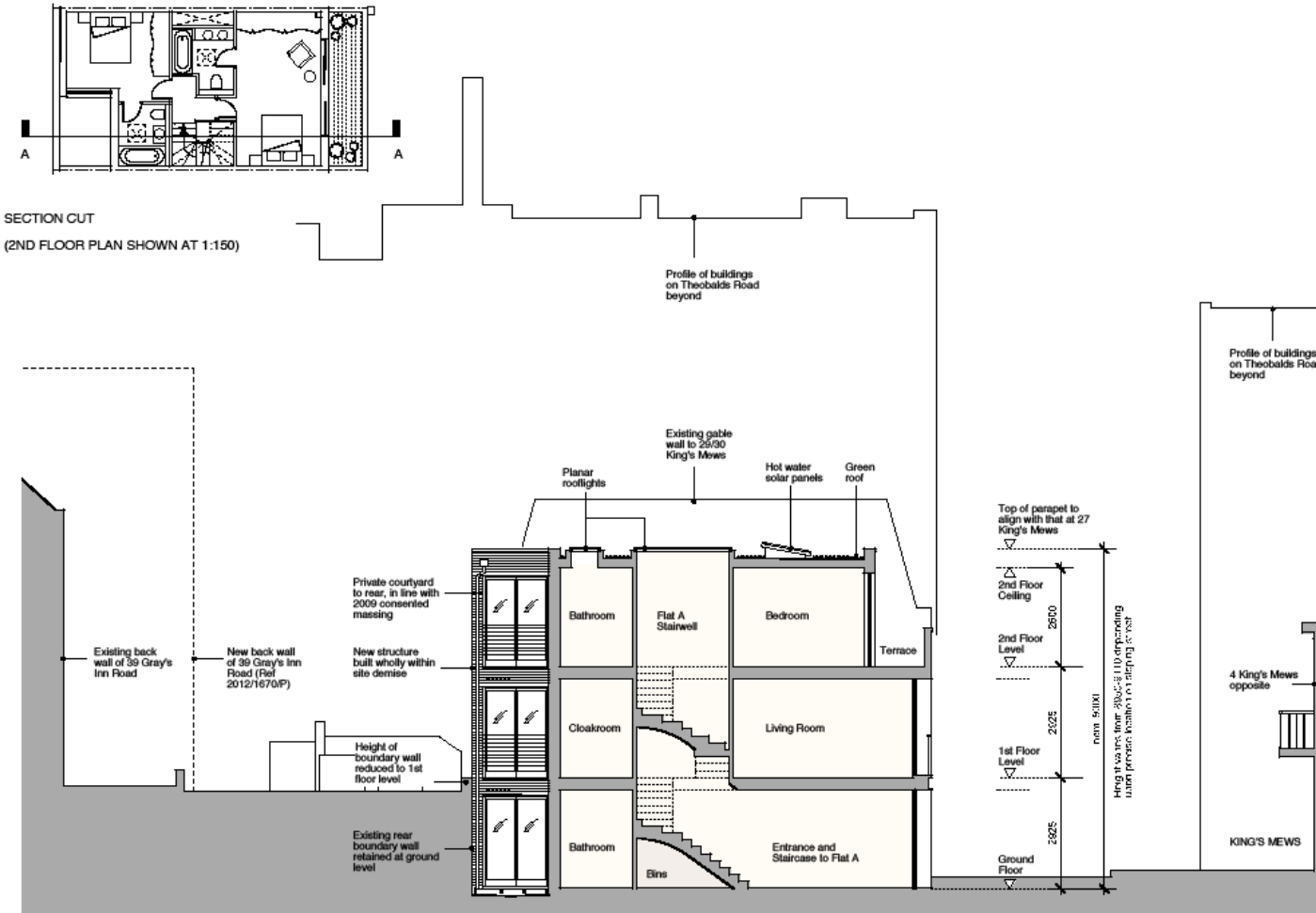
No. 26 Proposed Section



No. 27 Proposed Section



No. 28 Proposed Section



PROPOSED LONG SECTION AA

- Flat A - Family, Duplex Flat
- Flat B - Grandfather's Flat

GENERAL NOTES:
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS MUST BE CHECKED ON SITE AND ANY DISCREPANCIES VERIFIED WITH THE ARCHITECT.

Rev A - 31.08.12
3rd floor storey omitted; changes to plan internally to suit reduced scale development

CLIENT
**MR AND MRS
MACDONAGH**

JOB TITLE
**28 KING'S MEWS
LONDON
WC1**

DRAWING TITLE
**PROPOSED LONG
SECTION AA**

SCALE
1:100@A3

DATE
25.05.12

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DRAWING No.
200_03_12

REVISION
A

