

Community Infrastructure Levy (CIL) Form 2: Claiming Exemption or Relief

This form should be used to claim charitable relief, social housing relief, and/or exceptional circumstances relief prior to the commencement of development.

Please complete using block capitals and black ink.

Section A: Claiming Relief - General Information

Details of Development

Planning Permission / Notice of Chargeable Development Reference:

Site address:

102 Camley Street, London, NW1 0PF

Description of development:

See schedule one.

Claimant Name and Address

Title:

First name:

Last name:

Company
(optional):

Regent Renewal Limited

Position:

c/o Agent

Company registration no:
(where applicable)

Unit:

House
number:

House
suffix:

House
name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

Telephone number

Country code:

National number:

Extension
number:

Email address (optional):

Agent Name and Address

Title:

First name:

Last name:

Company
(optional):

DP9 Limited

Unit:

100

House
number:

House
suffix:

House
name:

Address 1:

Pall Mall

Address 2:

Address 3:

Town:

London

County:

Country:

Postcode:

SW1Y 5NQ

Telephone number

Country code:

National number:

Extension
number:

Email address (optional):

Please complete the relevant declaration below and provide the supporting information:

Declaration - Mandatory Relief

I wish to be granted mandatory relief for my portion of the CIL liability.

I declare that all the below points apply:

- As indicated in Section B above, I am a person or trust established for charitable purposes only (a "charity") **or** I am a trust of which all the beneficiaries are charities or a unit trust scheme in which all the unit holders are charities; **and**
- I am an owner of a freehold interest in the relevant land or a leasehold interest in the relevant land of 7 years or more from the date planning permission first permits the chargeable development; **and**
- I do not own this interest jointly with a party which is not a charitable institution; **and**
- the whole or main part of the chargeable development will be used for charitable purposes (whether of myself, or of myself and other charities); **and**
- a qualifying charity will occupy or control the portion of the chargeable development used for charitable purposes; **and**
- I have completed an apportionment assessment to determine the extent of my CIL liability and will submit a revised apportionment assessment where I make a material disposition of any of the relevant land prior to commencement of development; **and**

I understand:

- That where mandatory CIL charitable relief cannot apply due to it constituting a State aid, and the charging authority operates such a policy, my claim may be considered for discretionary relief under regulation 45 of the Community Infrastructure Levy Regulations (2010) as amended;
- The meaning of a "disqualifying event" for CIL charitable relief and that where a disqualifying event occurs before or after commencement of development I must inform the collecting authority within 14 days.
- that my claim for relief will lapse where development commences on this chargeable development prior to the collecting authority informing me of its decision
- that my claim for relief will lapse where a commencement notice is not submitted prior to commencement of development of the chargeable development to which this relief applies

Name - Claimant:

Date (DD/MM/YYYY):

Or name - Agent:

Date (DD/MM/YYYY):

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a charging or collecting authority in response to a requirement under the Community Infrastructure Regulations (2010) as amended (regulation 110, SI 2010/ 948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

Declaration - Discretionary Relief

I wish to be considered for discretionary relief for my portion of the CIL liability.

I declare that all the below points apply:

- As indicated in Section B above, I am a person or trust established for charitable purposes only (a "charity") **or** I am a trust of which all the beneficiaries are charities **or** a unit trust scheme in which all the unit holders are charities; **and**
- I am an owner of a freehold interest in the relevant land or a leasehold interest in the relevant land of 7 years or more from the date of planning permission first permits the chargeable development; **and**
- I do not own this interest jointly with a party which is not a charitable institution; **and**
- the whole or the greater part of the chargeable development will be held by myself or by myself and other qualifying charities as an investment from which the profits will be applied for charitable purposes (whether of myself, or of myself and other charities); **and**
- the portion of the chargeable development held in the manner described above will not be used for ineligible trading activities; **and**
- I am satisfied that I meet the criteria advertised by the charging authority for giving discretionary relief; **and**
- I have completed an apportionment assessment to determine the extent of my CIL liability and will submit a revised apportionment assessment where I make a material disposition of any of the relevant land prior to commencement of development; **and**

I understand:

- The meaning of a "disqualifying event" for CIL charitable relief and that where a disqualifying event occurs before or after commencement of development I must inform the collecting authority within 14 days.
- that my claim for relief will lapse where development commences on this chargeable development prior to the collecting authority informing me of its decision
- that my claim for relief will lapse where a commencement notice is not submitted prior to commencement of development of the chargeable development to which this relief applies

Name - Claimant:

Date (DD/MM/YYYY):

Or name - Agent:

Date (DD/MM/YYYY):

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a charging or collecting authority in response to a requirement under the Community Infrastructure Regulations (2010) as amended (regulation 110, SI 2010/ 948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

Declaration

I wish to be considered for discretionary exceptional circumstances relief for my portion of the CIL liability.

I declare that all the below points apply:

- I am an owner of a freehold interest in the relevant land or a leasehold interest in the relevant land of 7 years or more from the date of planning permission first permits the chargeable development; **and**
- A planning obligation under section 106 of the TCPA 1990 has been entered into in respect of the planning permission referred to at Section A: General Information; **and**
- The charging authority has approved my choice of independent person to conduct the assessments required to accompany this claim; **and**
- Copies of this completed form and the accompanying documentation will be sent to any other owners of the relevant land; **and**

I understand:

- The meaning of a "disqualifying event" for CIL exceptional circumstances relief and that where a disqualifying event occurs before or after commencement of development I must inform the collecting authority within 14 days.
- That my claim for relief will lapse where development commences on this chargeable development prior to the charging authority informing me of its decision.
- That it is an offence under sections 2 and 3 of the Fraud Act 2006, to commit fraud by false representation, or to fail to disclose information when under a legal duty to do so, and that should this be found to be the case for this declaration or the supporting information, I could face criminal proceedings.

Name - Claimant:

Date (DD/MM/YYYY):

Or name - Agent:

Date (DD/MM/YYYY):

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a charging or collecting authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/ 948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

Section A3: Social housing relief (mandatory)

Supporting Information for Social Housing Relief

Please indicate the type of social housing you intend to build and where on the site this will be located. A site map indicating the intended location of the social housing in the chargeable development **MUST** be attached. Please note that this must include any qualifying communal areas

21 affordable rented units and 16 shared ownership units are proposed. These units total 3,627 sqm GIA of affordable housing.

Please refer to attached schedule two which provides additional information about the location of the social housing.

Does your organisation operate separate management accounts for public service and commercial activities? Please supply evidence.

Declaration

I wish to claim social housing relief on the chargeable development.

I declare that all the below points apply:

- I am an owner of a freehold interest in the relevant land or a leasehold interest in the relevant land of 7 years or more from the date of planning permission first permits the chargeable development; **and**
- I have assumed liability to pay the CIL charge on this chargeable development; **and**
- This chargeable development will include qualifying dwellings as described in the CIL regulations relating to discretionary social housing relief; **and**
- The degree to which this chargeable development consists of qualifying dwellings is as specified in the relief assessment and I will submit a revised relief assessment with supporting evidence where this changes prior to commencement of development; **and**

I understand:

- The meaning of a "disqualifying event" for CIL social housing relief and that where a disqualifying event occurs, I must inform the collecting authority within 14 days and will be liable to pay some or all of the relief I have claimed.
- That where there is a disposal of any of the land on which these qualifying dwellings will be situated to another person, I must inform the collecting authority as soon as practicable after this occurs.
- That my claim for relief will lapse where:
 - development commences on this chargeable development prior to the collecting authority informing me of its decision;
 - a commencement notice is not submitted prior to commencement of development of the chargeable development to which this relief applies;
 - my assumption of liability is withdrawn or otherwise ceases to have effect, or is transferred to another person.

Name - Claimant:

Date (DD/MM/YYYY):

Or Name- Agent:

Date (DD/MM/YYYY):

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a collecting authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.



Community Infrastructure Levy Form 2 - Schedule 1

Description of Development

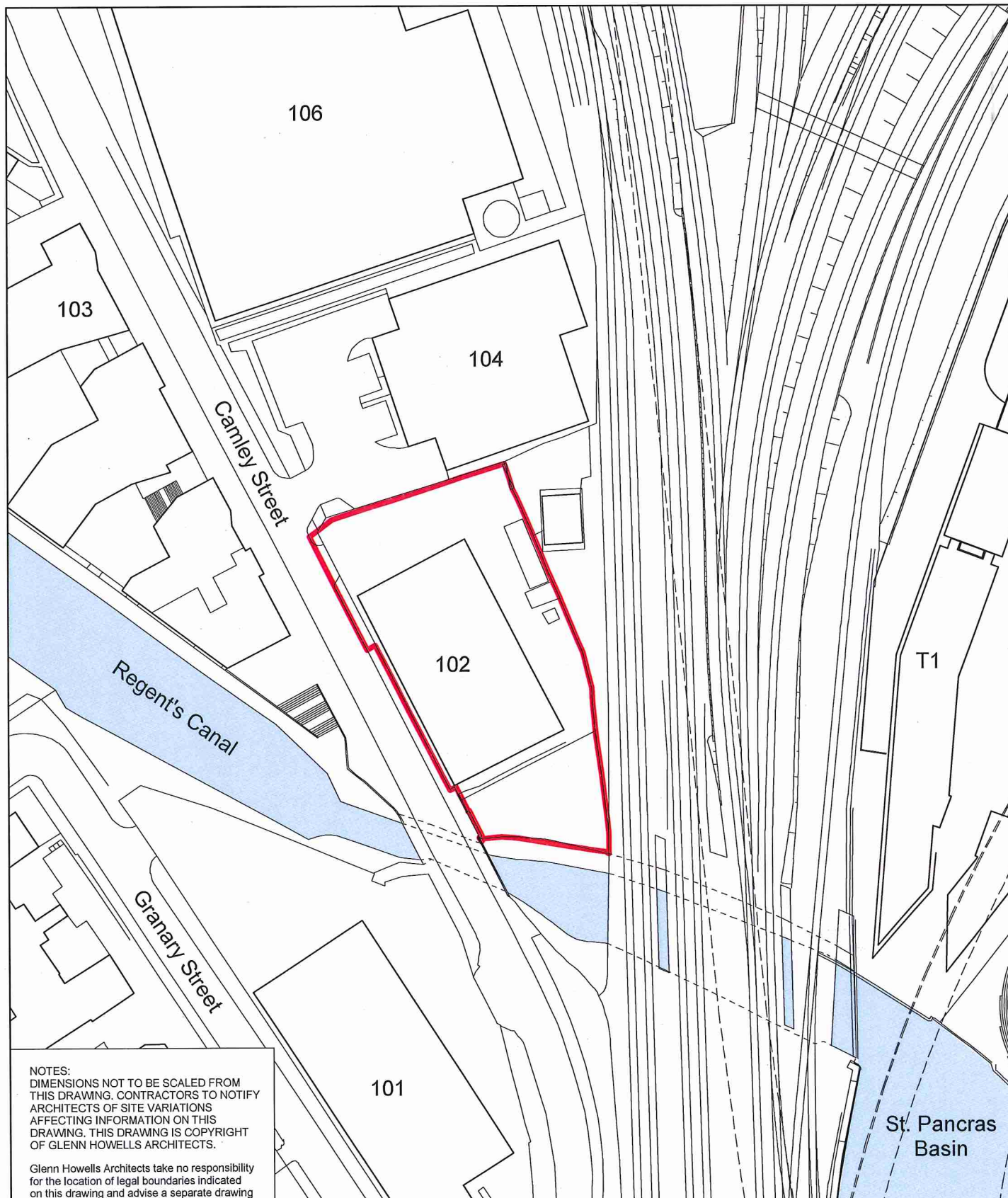
Demolition of existing buildings and structures at 102 Camley Street and the subsequent redevelopment for a mixed use building ranging from 8 – 12 storeys comprising 1,620 sqm GEA employment floorspace (Class B1), 154 residential units, provision of a cycle ramp, improvements to the public realm and all other necessary enabling works.



Community Infrastructure Levy Form 2 - Schedule 2

Section A3: Social Housing Relief

Plans showing location of affordable housing



NOTES:
DIMENSIONS NOT TO BE SCALED FROM
THIS DRAWING. CONTRACTORS TO NOTIFY
ARCHITECTS OF SITE VARIATIONS
AFFECTING INFORMATION ON THIS
DRAWING. THIS DRAWING IS COPYRIGHT
OF GLENN HOWELLS ARCHITECTS.

Glenn Howells Architects take no responsibility
for the location of legal boundaries indicated
on this drawing and advise a separate drawing
be completed by a specialist Surveyor in order
to establish exact boundaries.

Please note information relating to the
existing elements within this building/site
should be treated as indicative and must
be confirmed through accurate site
measurement before being relayed upon.

— Planning
Application
Boundary



PLANNING

GLENN HOWELLS ARCHITECTS

29 Maltings Place, 169 Tower Bridge Road,
London, SE1 3JB

Tel. 0207 407 9915 F. 02074079914

mail@glennhowells.co.uk

Date
30.06.14

Rev
-

By
SD

Details
Planning Issue.

Date
30.06.14

Scale
1:1000@A4

Checked
SD

Project Ref.
1985

Drawing No.
A-P-000

Revision
-

Drawing Title
Site Location
Plan

Project
102 Camley Street

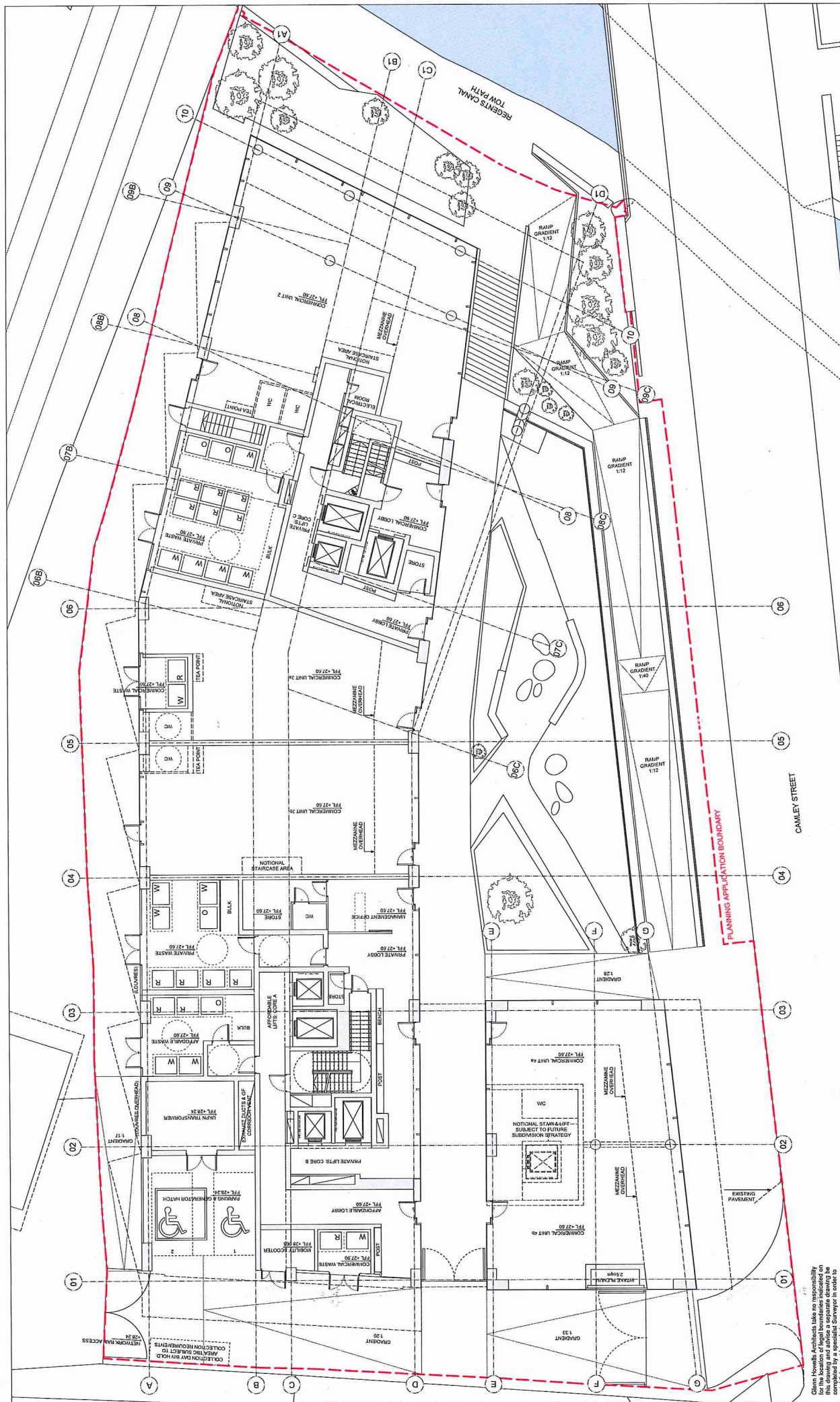
Client
Regent Renewal Ltd.

Key:

Affordable Rent = Purple

Shared Ownership = Orange

Private = Green



0m 5m 10m

N

L00

PLANNING

GLENN HOWELLS ARCHITECTS
100 Abchurch Lane, London, EC4N 3DF
Tel: 0207 407 9915 F: 0207 407 9914
mail@glennhowells.co.uk

Client
Regent Renewal Ltd.

Project
102 Canby Street
Ground Floor
GA Plan

Project Ref.
12074079914

Drawing No.
A-P-101

Date
30.06.14

Scale
1:100 @ A1
1:200 @ A3

Checked
SD

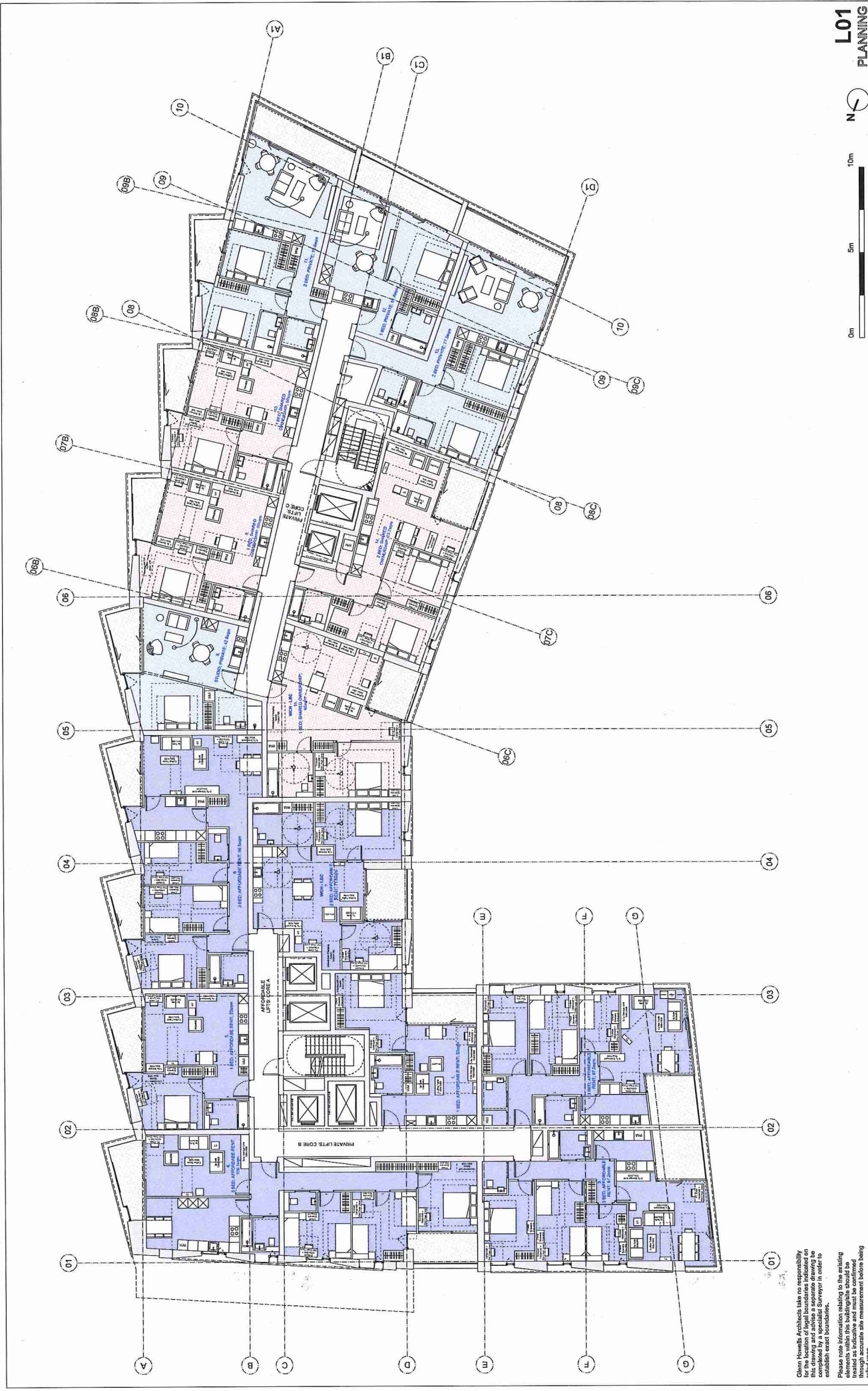
Revision
-

NOTES:
1. Glenn Howells Architects take no responsibility for the location of legal boundaries indicated on this drawing and advise a separate drawing be produced by a qualified surveyor in order to establish exact boundaries.
2. Please note information relating to the existing elements within this building should be treated as indicative and must be confirmed by a qualified surveyor and measurement before being relied upon.

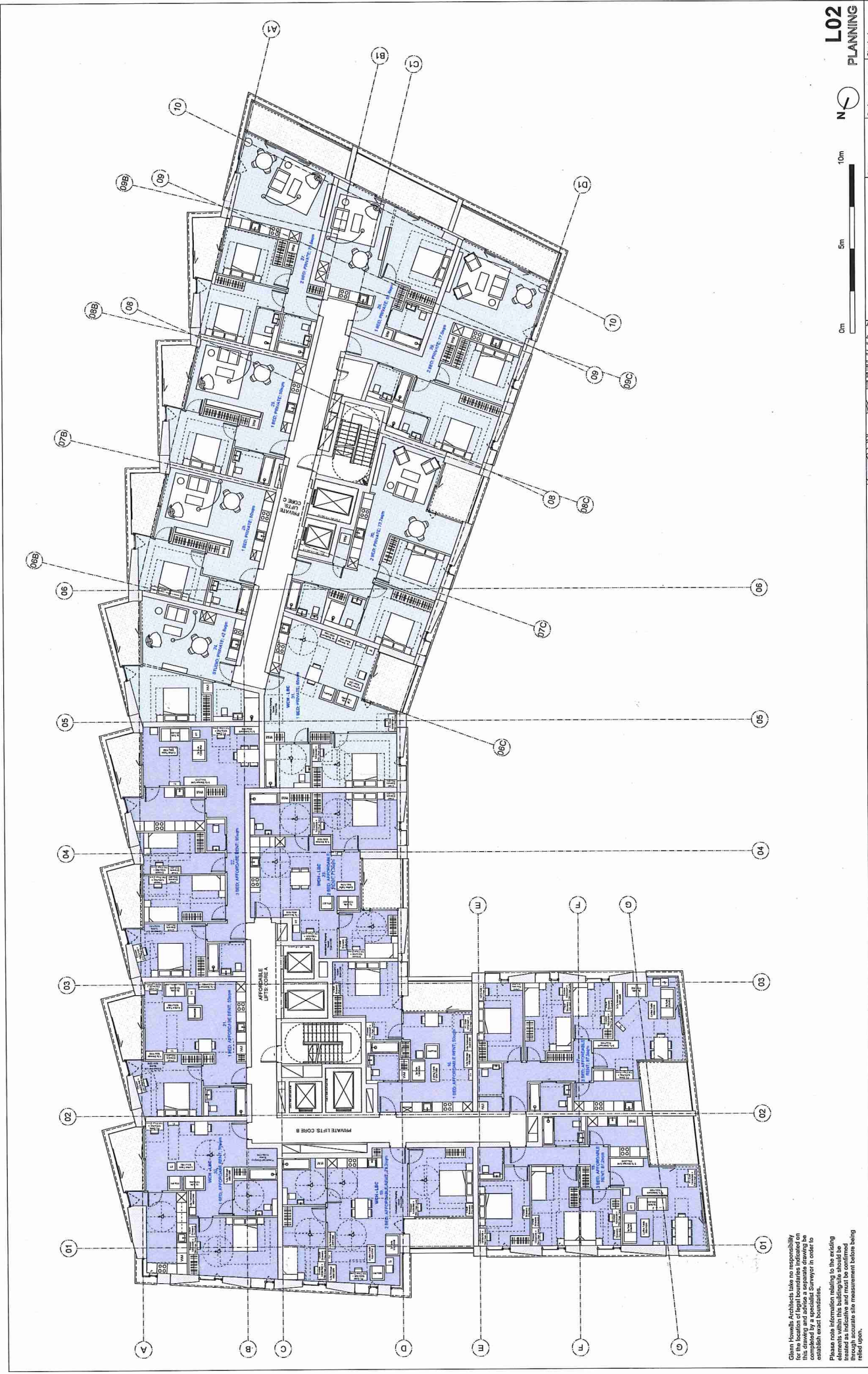
KEY

DATE	REV	BY	DETAIL
30.06.14	1	SD	Planning App.

DISCLAIMER:
NOTATIONS NOT TO BE SCALED FROM THIS DRAWING. CONTRACTORS TO NOTIFY GLENN HOWELLS ARCHITECTS OF ANY CHANGES AFFECTING INFORMATION ON THIS DRAWING. THIS DRAWING IS COPYRIGHT OF GLENN HOWELLS ARCHITECTS.



KEY		Rev	By	Details
		01	02	Planning
NOTES:		Glenn Howells Architects take no responsibility for the location of legal boundaries indicated on this drawing and advise a separate drawing be prepared by the client or a professional surveyor to establish exact boundaries. Please note information relating to the existing elements within this building should be treated as indicative and must be confirmed by the client or a professional surveyor before being relied upon.		
DRAWING CONTRACTORS TO NOTIFY ARCHITECTS OF ANY DISCREPANCIES OR DISCREPANCIES IN POSITION ON THIS DRAWING. THIS DRAWING IS COPYRIGHT OF GLENN HOWELLS ARCHITECTS.				
GLENN HOWELLS ARCHITECTS 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 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NOTES:

Glenn Howells Architects take no responsibility for the accuracy of the information provided in this drawing and advise a separate drawing be prepared for a professional surveyor in order to establish and boundaries.

Please note information relating to the existing elements within this building should be confirmed and measured on site measurement before being relied upon.

KEY

DATE: 30.06.14

REV: 01

BY: [Signature]

CHKD: [Signature]

DATE: 30.06.14

REV: 01

BY: [Signature]

CHKD: [Signature]

GLENN HOWELLS ARCHITECTS

100 Cornhill Street, London, SE1 1JL

Tel: 0207 407 9915 F: 0207 407 9914

mail@glennhowells.co.uk

Project: 102 Cornhill Street

Client: Regent Renewal Ltd.

Drawing Title: Ground Floor

Scale: 1:100 @ A1

Date: 30.06.14

Project Ref: 1:200 @ A3

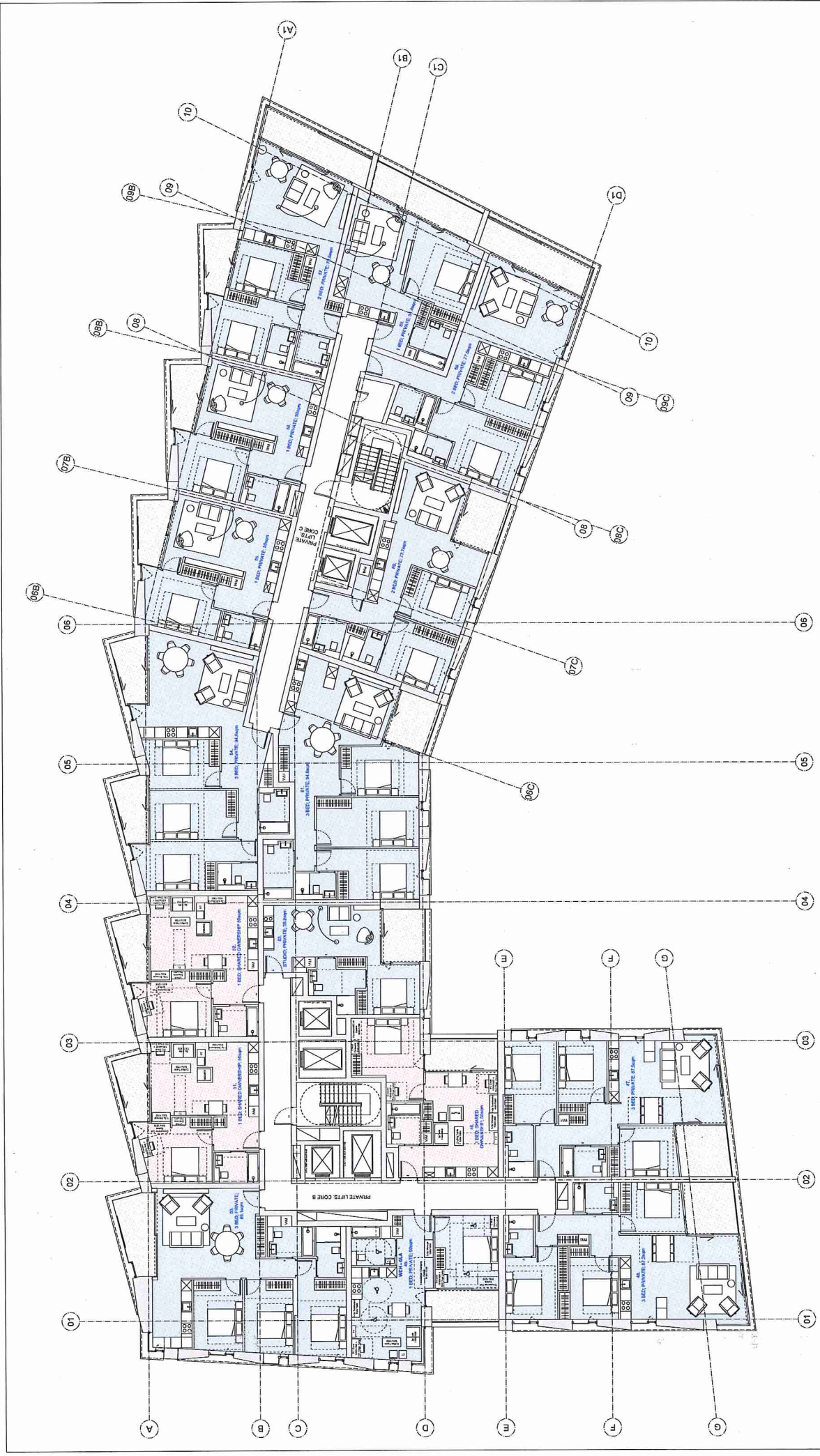
Revision: A-P-104

Client: Regent Renewal Ltd.

L02

PLANNING





Glenn Howells Architects take no responsibility for the location of legal boundaries indicated on this drawing and advise a separate drawing be prepared by a qualified surveyor to establish exact boundaries.

Please note information relating to the existing elements within this building should be treated as indicative and must be confirmed by a surveyor and measured before being relied upon.

NOTES:
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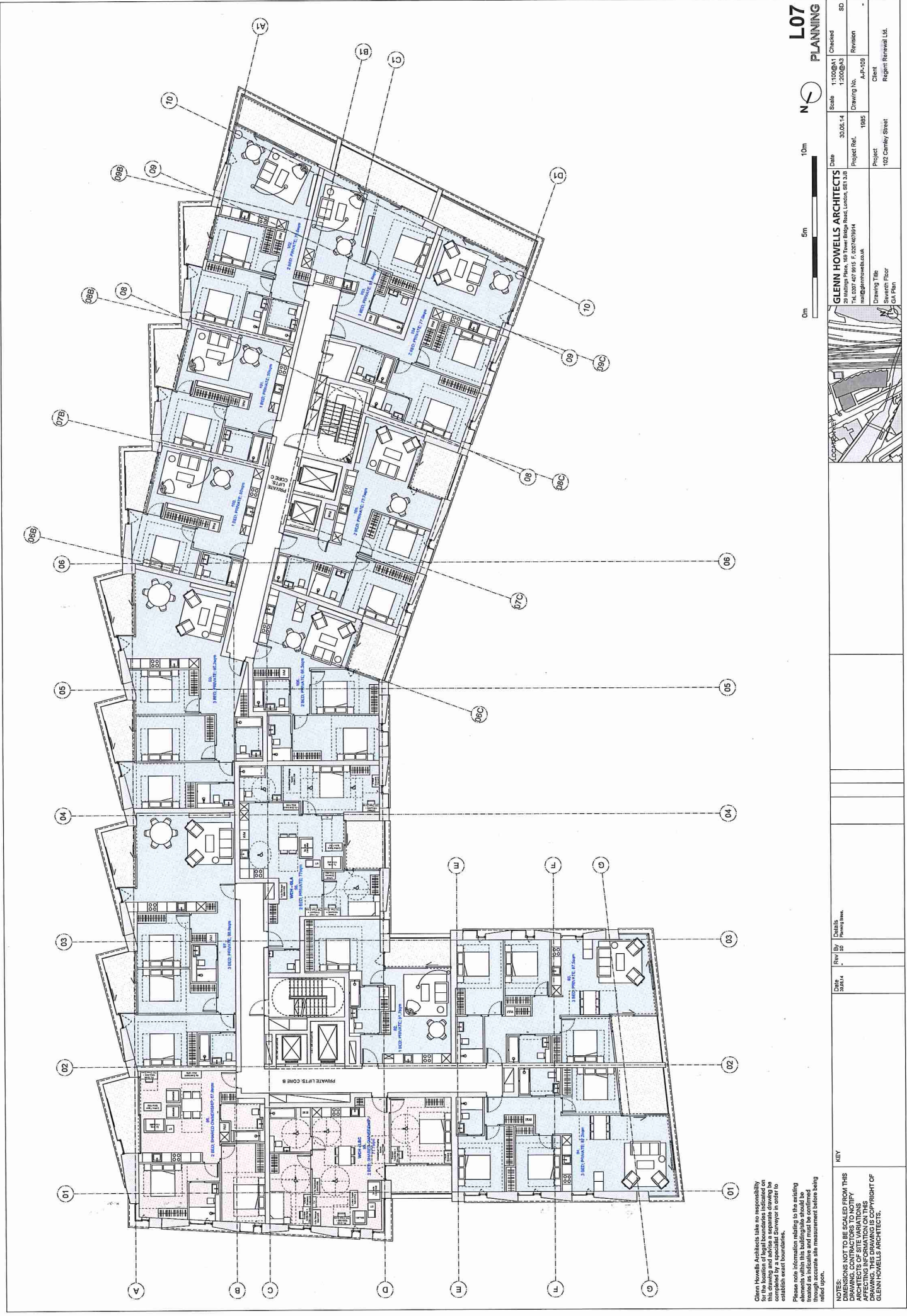
DATE: 30.06.14
REVISED BY: 02
DETAILS: Raising Area.

GLENN HOWELLS ARCHITECTS
 16, 207-407 915 F. 0207407914
 mail@glennhowells.co.uk

PLANNING

Scale: 1:100 @ A1
 Date: 30.06.14
 Project Ref: 12008-03
 Drawing No: A-P-108
 Project: 1985
 Client: Regent Renewal Ltd.

Project: 102 Camley Street
 Drawing Title: Fourth Floor
 Client: Regent Renewal Ltd.



Glenn Howells Architects take no responsibility for the location of legal boundaries indicated on this drawing and advise a separate drawing be prepared for the purpose of establishing legal boundaries. Please note information relating to the existing elements within this building should be treated as indicative and must be confirmed by the client. All measurements shown being relied upon.

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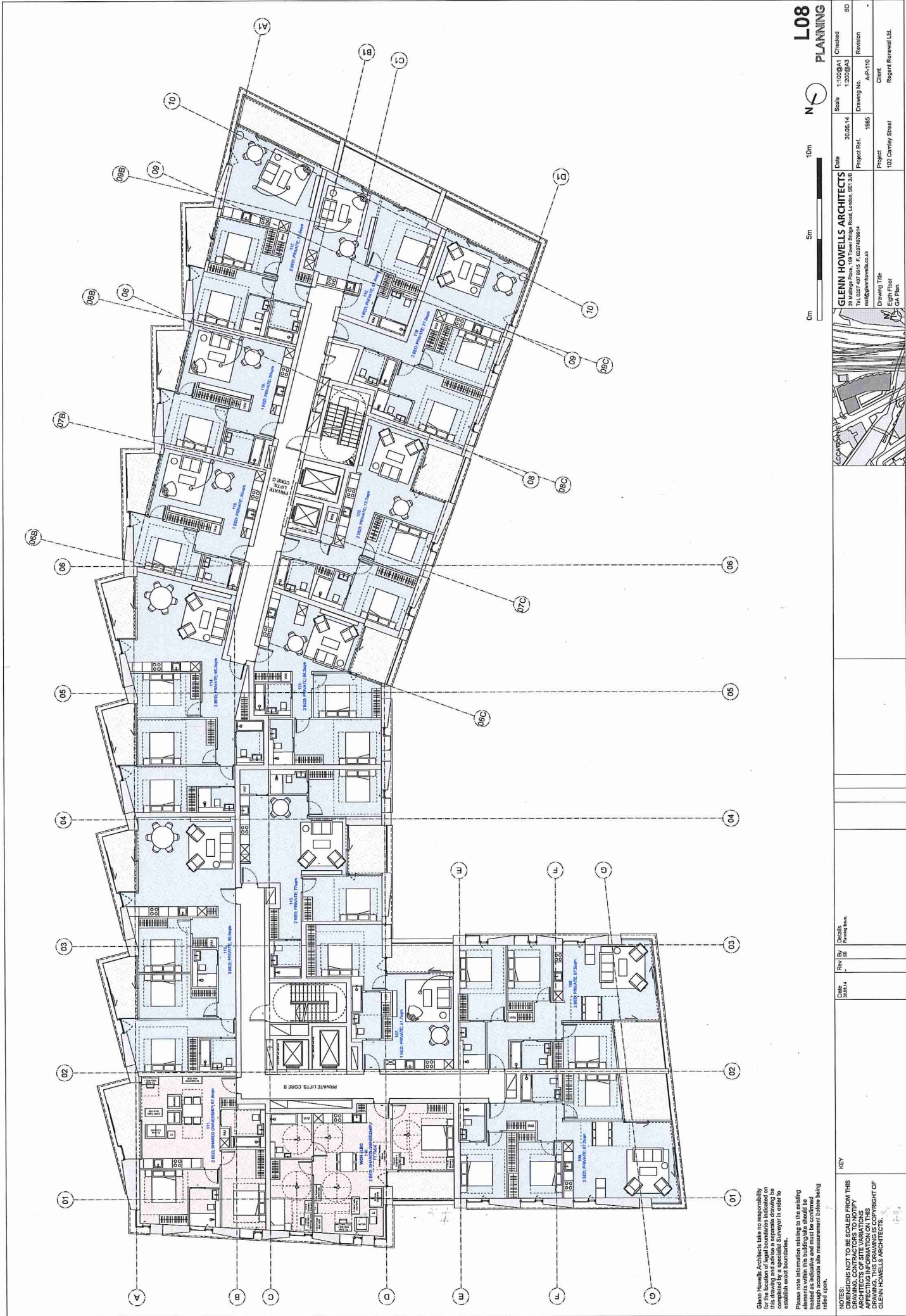
DATE	REV	BY	DETAILS
20.05.14	1	SD	Planning Issue

GLENN HOWELLS ARCHITECTS
29 The Pines, 108 Trower Road, London, SE13 3JF
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L07 PLANNING
Scale: 1:100@A1
1:200@A3
Date: 30.06.14
Project Ref: 1985
Drawing No: A-P-103
Client: Regent Renewal Ltd.
Project: 102 Canvey Street
Drawing Title: Seventh Floor
GA Plan

Checked	1:100@A1
SD	1:200@A3
Revision	Drawing No.
1985	A-P-103
Client	Regent Renewal Ltd.
Project	102 Canvey Street
Drawing Title	Seventh Floor
GA Plan	





Glenn Howells Architects take no responsibility for the location of legal boundaries indicated on this drawing and advise a separate drawing be prepared for the purpose of establishing the exact boundaries.

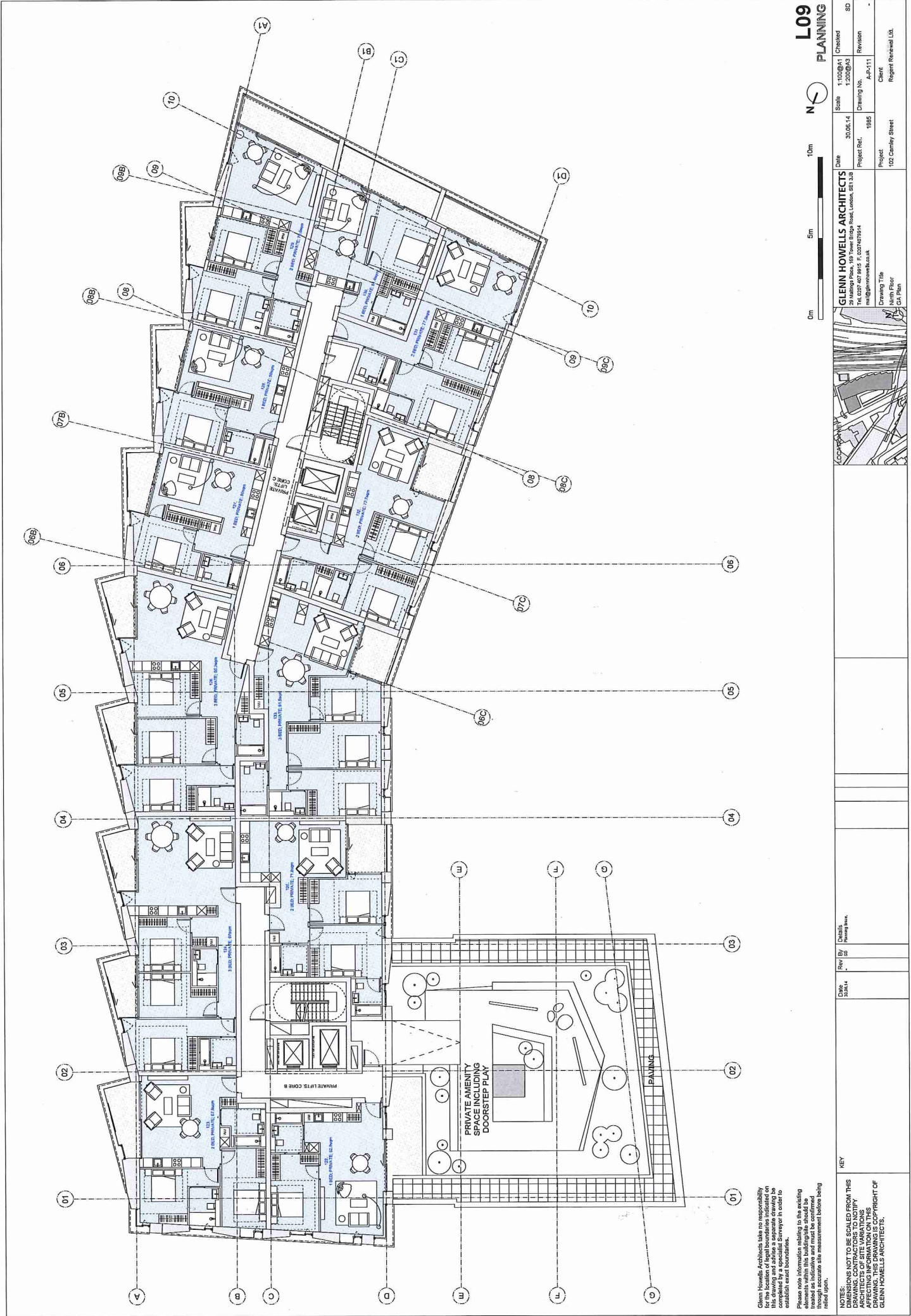
Please note information relating to the existing elements within this building should be checked against the actual site conditions through accurate site measurement before being relied upon.

NOTES:
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KEY	Date	Rev	By	Details
	30.05.14	1	GH	Planning Issue

GLENN HOWELLS ARCHITECTS		Date	1:100@A1	Checked
14, 2017 407 915 F. 0207 6078914		30.05.14	1:200@A3	SD
m.h.g@glennhowells.co.uk		Project Ref.	1985	Revision
Drawing Title		Project	102 Carney Street	Client
Eggs Floor		Project	102 Carney Street	Regent Renewal Ltd.
CA Plan				

L08
PLANNING



Glenn Howells Architects take no responsibility for the location of legal boundaries indicated on this drawing and advise a separate drawing be prepared to show the location of the building in relation to the legal boundaries.

Please note information relating to the existing elements within this building should be treated as indicative and must be confirmed on site before any measurement is taken being relied upon.

NOTES:
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KEY
Date: 30.06.14
Rev: 01
By: [Signature]
Checked: [Signature]
Planning Dept.

GLENN HOWELLS ARCHITECTS

100 Canary Wharf, London, E14 4JL
Tel: 020 407 8910 Fax: 020 407 8914
mail@glennhowells.co.uk

Project

102 Canary Street

Client

Regent Renewal Ltd.

Drawing Title

102 Canary Street

Scale

1:100 @ A1
1:200 @ A3

Date

30.06.14

Project Ref.

1885

Revision

SD

Checked

SD

L09

PLANNING

