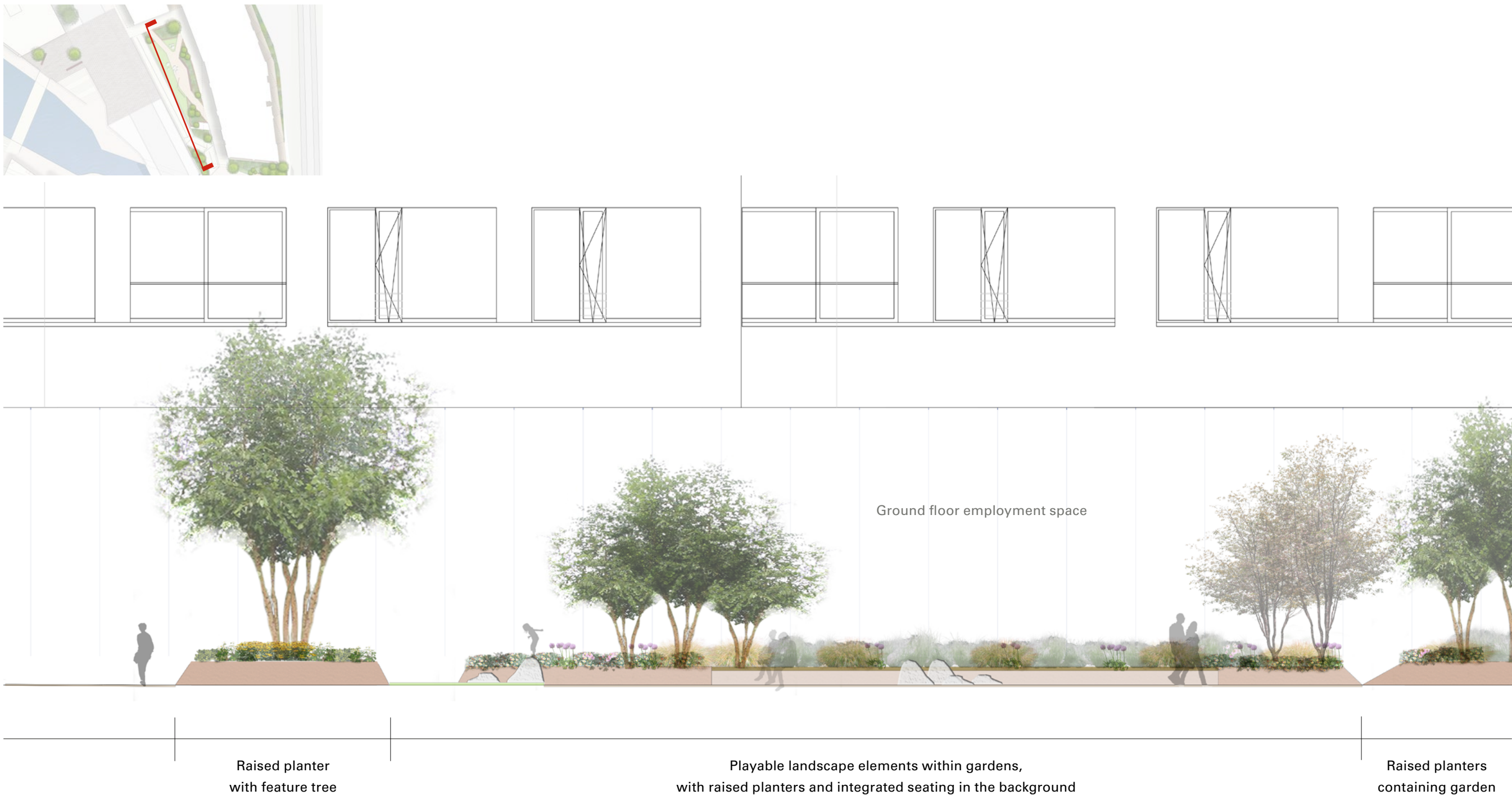


4.0 Landscape Design

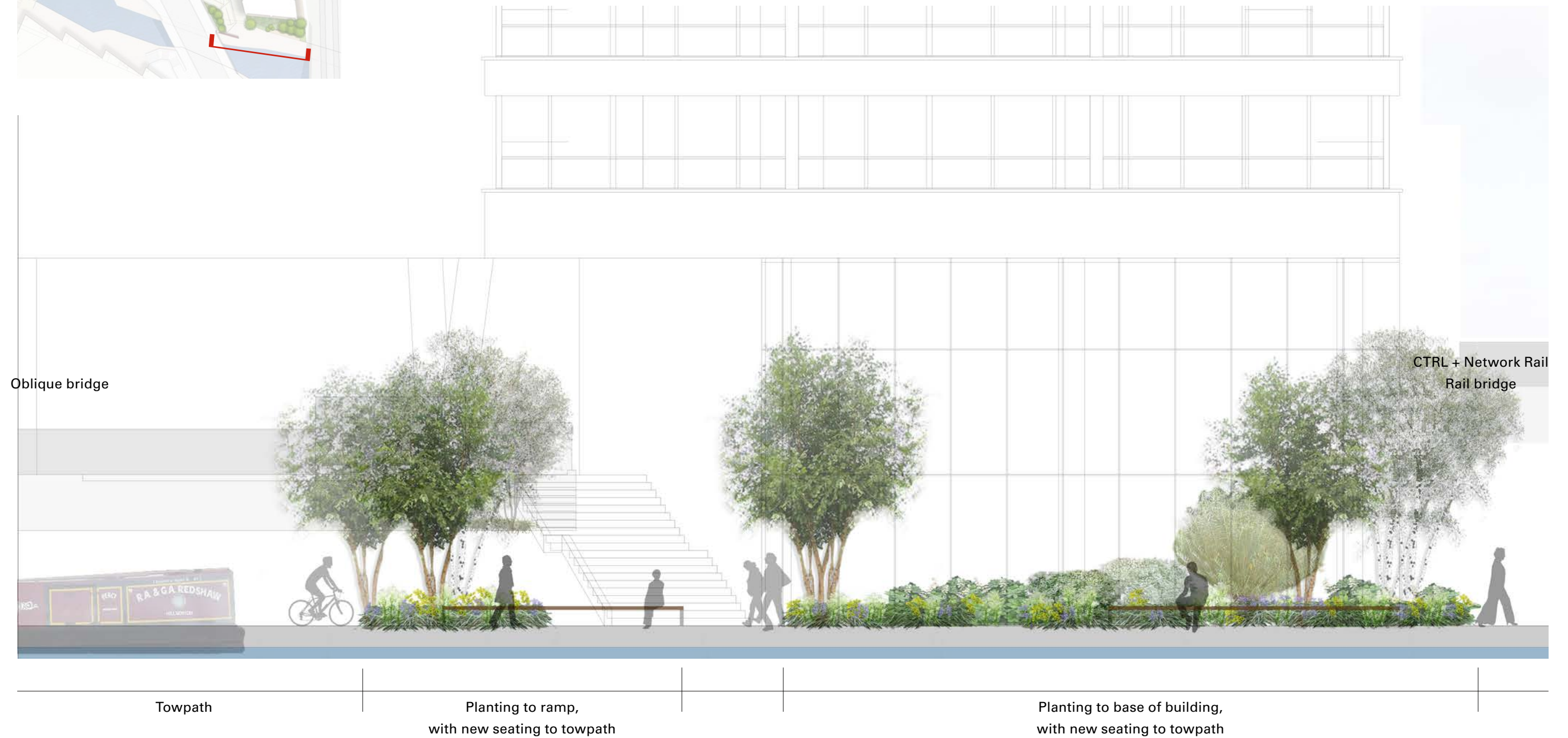
4.4 Landscape Proposals



102 Camley Street elevation

4.0 Landscape Design

4.4 Landscape Proposals



4.0 Landscape Design

4.5 Materials & Furniture

A restrained palette of materials is used throughout. Materials have been selected for their warm tones and natural textures, helping create a welcoming and enjoyable environment. Natural stone flags are proposed at the base of the building and along the ramp, defining a high quality environment. Natural stone steps lead down to the widened towpath which provides new canal side seating opportunities at the lower building level.

The garden area is defined by raised corten steel planters, with integrated timber seating creating an edge to the internal space. Resin bonded gravel creates a ‘softer’ feel within the garden area. Natural play elements; boulders and timber balancing beams are arranged to create a playable landscape for young children.

Granite setts are used to provide a durable, shared space environment for the mews area to the north of the site. Resin bonded gravel extends along a service route to the east of the building.

Granite setts are proposed to span the road between 102 and 103 Camley Street, creating a shared space environment where pedestrians take priority.

- Natural stone flag paving

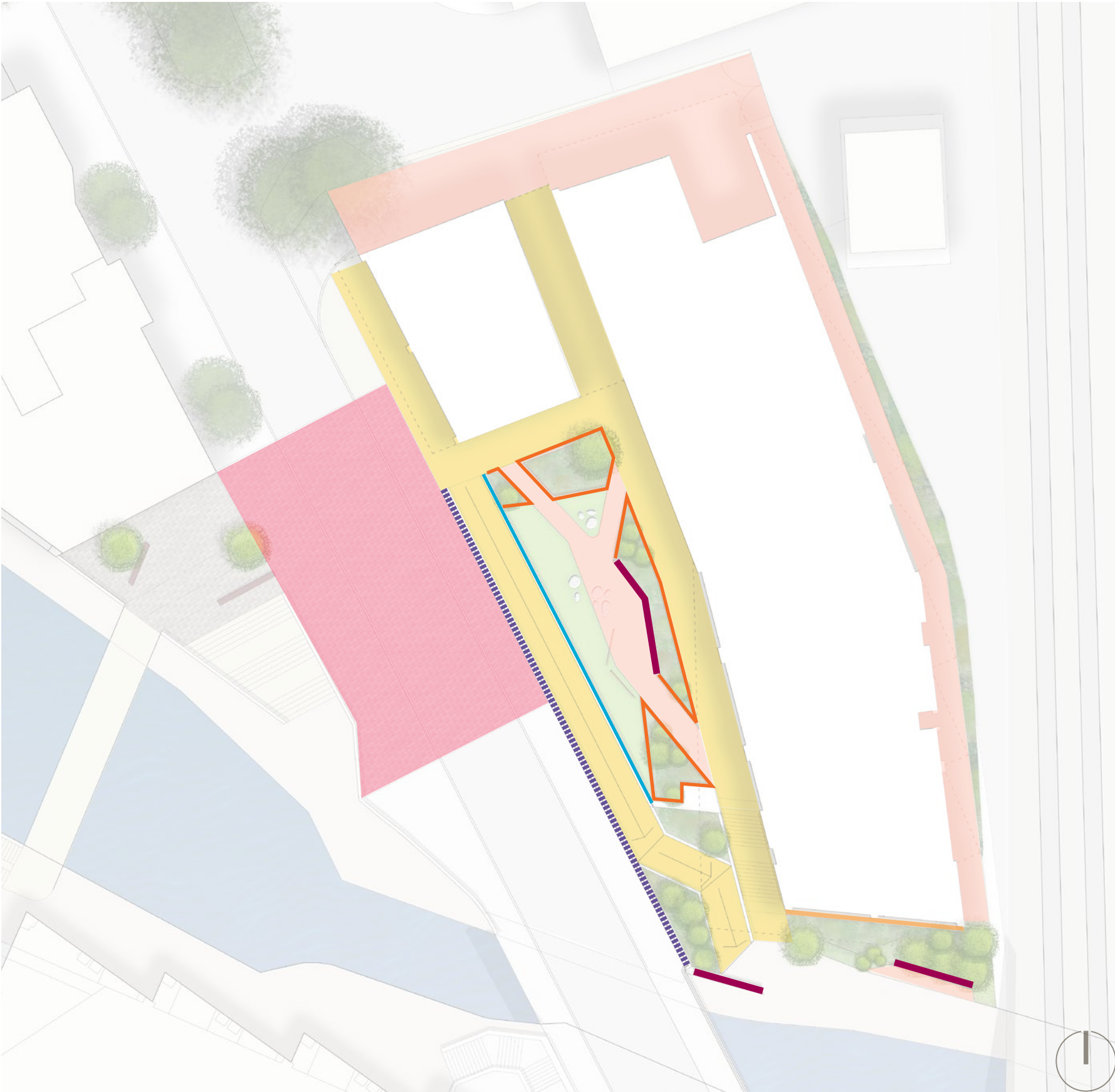
Resin bonded gravel

Granite setts
- Corten steel planters

Timber seating

Glass balustrade

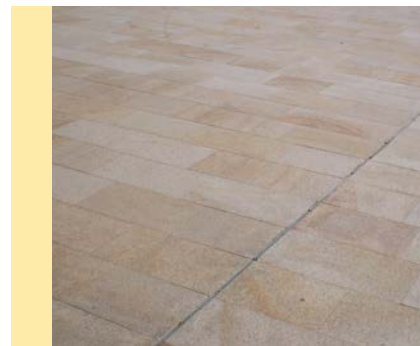
Railing balustrade



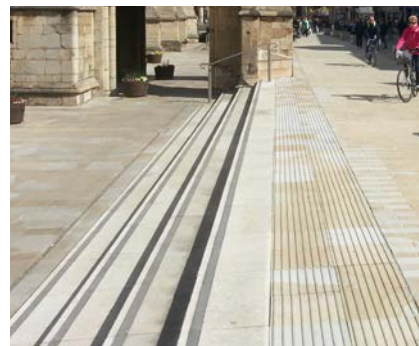
Materials strategy diagram

4.0 Landscape Design

4.5 Materials & Furniture



Natural stone paving



Natural stone steps &
tactile paving



Resin bonded gravel



Granite setts



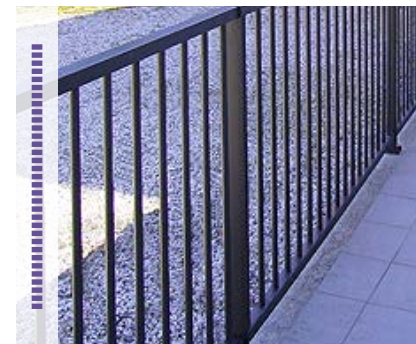
Corten steel planters



Timber seating



Glass balustrade



Railing balustrade



Play

4.0 Landscape Design

4.6 Planting Strategy

Planting throughout the site will help provide seasonal delight and interest as well as enhance local ecology and biodiversity.

The garden area will use a range of herbaceous and evergreen plants that will provide form and structure throughout the year. Bold swathes of flowering perennials will help create a vibrant environment with seasonal interest and grasses will provide height at various times throughout the year.

New canal side planting has been selected principally for its ecological interest. Flowering plants and shrubs will provide shelter and feeding opportunities for a range of insects and birds.

A planted boundary to the Network Rail land on the east is robust and low maintenance. Shade tolerant plants will form a year round buffer to this area and provide ecological and biodiversity interest.

Multi-stemmed birch trees will create focal points at key areas in the landscape. Groups of Amelanchier will provide height, shade and shelter throughout the summer, and dramatic form in winter months.



Amelanchier lamarckii
multi-stemmed



Betula pendula
multi-stemmed



Planting strategy diagram

4.0 Landscape Design

4.7 Lighting Strategy

Feature lighting is proposed to complement and provide animation to the landscape at night, as well as to aid orientation and way finding.

Recessed LED lights to the base of the raised planters and timber seat will help define the circulation space around the perimeter of the garden. Recessed wall lights will line the route of the ramp and steps. The garden feature tree will be up lit to create ambience.

Feature lighting is proposed beneath the two bridges that cross the towpath. Examples of lighting used elsewhere along Regents Canal suggest that the use of ‘artistic’ lighting would help to strengthen the sequence of events along the towpath.

No additional lighting is proposed to the towpath, in line with the ecologists recommendations.

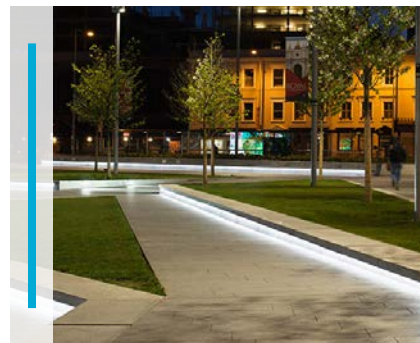
- Recessed LED lights
- Recessed wall lights
- Uplighters to trees
- Lighting beneath bridges



Furniture and lighting strategy plan

4.0 Landscape Design

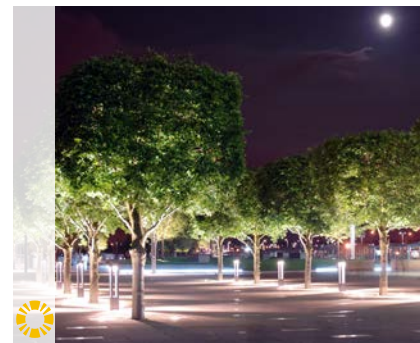
4.7 Lighting Strategy



Feature lighting



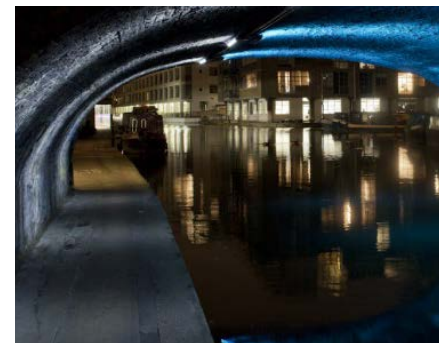
Recessed wall lights



Uplighters to trees



Lighting beneath bridges
(Regents Canal examples)



4.0 Landscape Design

4.8 Roof Terrace

The roof terrace is a semi-private space for residents to enjoy, offering further door step play opportunities and south facing areas to sit. The arrangement of planters, seats and planting shares a similar language to the ground floor garden area, helping to create a unified language of external spaces. Residents will be able to enjoy the sun and views looking out over the London skyline. The architectural massing of the building will help reduce any noise of the railway.

A private terrace to an adjacent residential unit is provided with planting helping to create a buffer to the more open space. Planting to the space helps to define a safe space away from the maintenance path which wraps around the roof terrace adjacent to the parapet.

The material and planting palettes are similar to that used at the lower level in order to create a unified approach to external space. Resin bonded gravel will be used to create a durable surface with raised corten steel planters and timber benches. Natural play elements are arranged in the more open area of the space, furthest from the private terrace. Timber decking will be used to the private terrace. A glass balustrade is used between the planting and maintenance path to restrict access.

Planting will provide structure throughout the year as well as seasonal variation and interest. Larger feature shrubs will help frame views from the terrace. Opportunities for food growing could also be accommodated as part of the overall roof planting strategy.



Roof terrace plan (level 09)

4.0 Landscape Design

4.8 Roof Terrace



Resin bonded gravel



Timber decking



Corten steel planters



Timber seating



Glass balustrade



Amelanchier lamarckii (spring)



Amelanchier lamarckii (autumn)



Viburnum bodnantense 'Dawn' (autumn)



Cornus stolonifera



Allium 'Globemaster'



Lavandula angustifolia



Anthriscus sylvestris



Stipa tenuissima



Echinacea purpurea



Deschampsia cespitosa



Cornus stolonifera



4.0 Landscape Design

4.9 Green Roof

Green roofs which incorporate a range of plant species will be used at level 12 in conjunction with areas of PV panels. The use of sedum and native species will help improve local ecology and biodiversity and will provide a low maintenance planting arrangement, which will not overshadow the panels and affect their performance. Other features such as substrate mounding and log piles will be incorporated where possible to improve the range of ecology features.

The incorporation of green roof beneath new PV panels not only facilitates renewable energy use, but subject to suitable design, and use of native species and substrates also likely will help to provide a range of microclimatic conditions (including shade and shelter) which will benefit different floral species and contribute to the overall wildlife value of the green roof.

The green roofs will contribute to a wider network of green spaces and roofs, improving ecological connections and corridors, and in turn providing significant feeding opportunities for insects and birds.



Green roof with PV panels



Green roof terrace plan

4.0 Landscape Design

4.10 Combined Landscape Proposals

The combined proposals help embed the different architectural proposals for the Gateway sites at 101, 102 and 103 Camley Street into the local context, providing a positive setting that creates a new canal side space to serve the residents and users of the developments and surrounding areas.

The combined schemes provide significant new open spaces for resident, occupier and public use, contributing to a more significant gateway space, improving pedestrian connections between the developments, Camley Street and the canal.

1. Gardens and playable landscape
2. Ramp access to the canal
3. Canal side seating and widened towpath
4. Canal side gardens and play area
5. Residents arrival square
6. Terraced garden
7. Boundary planting
8. Potential for traffic calming to Camley Street
9. Potential for planting to canal edge (outside of site boundary)

N.B. footbridge shown for illustration only



Combined landscape plan

5.0 Access and safety

5.1 Introduction

The development proposal has been designed on the principles of inclusive design for mixed and sustainable communities. It aims to provide an environment that can be used equally by everyone, irrespective of age, gender or disability. The development proposal will provide a safe, high quality and legible environment that will be easily used by as wide a range of people as possible without undue effort, special treatment or separation.

The development proposals set out to achieve the objectives of inclusive design in relation to access by:

- Securing reasonable access throughout the site for all members of the community.
- Ensuring that the duties and obligations of the Disability Discrimination
- Act 1995 can be met with regard to disabled people as residents and visitors to the site.

The development proposal will provide accessible access across the site, maximise circulation space at ground floor and animate the public spaces within the scheme. An accessible high quality public realm for residents and visitors will be created. Pedestrian routes are provided through the site which will increase permeability.

The following documents were considered as part of the design:

Planning and Access for Disabled People, a good practice guide (2003) published by the Office of the Deputy Prime Minister to provide guidance in the delivery of inclusive environments through the Town and Country Planning system.

Building Regulations Approved Document M (2013)

A central requirement for the proposed development is to meet and where possible exceed the guidance contained in AD-M (2013) residential and non-residential standards.

The London Plan: Supplementary Planning Guidance, Accessible London: achieving an inclusive environment, Greater London Authority April 2004.

This document provides guidance on creating inclusive access to residential and employment spaces.

Supplementary Policy Guidance (SPG) Implementation Points 12 and 13 refer to Lifetime Homes and Wheelchair Guidance respectively in order to ensure accessible homes for all.

The purpose of SPG Implementation Point 11, Employment is to ensure inclusive design is adopted including access to, into and within the building and its facilities, as well as appropriate car parking and access to public transport provision. This is derived from London Plan Policy 3B.12 which aims to improve skills and employment opportunities for all Londoners and London Plan Policy 4B.5 ‘Creating an inclusive environment which applies to all employment developments’.

Disability Discrimination Act 1995

Developers or others may have ongoing obligations under the DDA as landlords and may also have obligations as service providers where they are also providing services and information to the public.

London Borough of Camden

The London Borough of Camden Local

Development Framework (LDF) provides guidance on creating inclusive environments. Policy DP29 and CS14 set out the principles to ensure equality of opportunity and that the highest standards of access in all buildings and urban environments are met. These principles include considering inclusive design at the earliest stage possible, improving permeability and providing amenities accessible to all. Camden Development Policy DP6 refers to Lifetime Homes Criteria and Wheelchair Housing with all residential units to be built to Lifetime Homes standards and 10% of units to meet Wheelchair Housing standards or be adapted to them.

CABE

Principles of Inclusive Design (2006)

British Standards

British Standard BS8300:2001 (amended June 2005), Design of Buildings and their approaches to meet the needs of disabled people – Code of Practice, BSI, Designing for Accessibility, Centre for Accessible Environments/RIBA, 2004.

5.0 Access and safety

5.2 Inclusive Access

The principles of inclusive design, as defined by CABI, call for places to be:

- Inclusive so everyone can use them safely, easily and with dignity;
- Responsive taking account of what people say they need and want;
- Flexible so different people can use them in different ways;
- Convenient so everyone can use them without too much effort or separation;
- Accommodating for all people, regardless of their age, gender, mobility, ethnicity or circumstances;
- Welcoming with no disabling barriers that might exclude some people;
- Realistic offering more than one solution to help balance everyone's needs and recognising that one solution may not work for all.

Pedestrian access

Step free pedestrian access is been provided throughout the site at ground level at Camley Street. Whilst no level access has been provided from towpath to site due to site constraints (see Section 2.0) access to towpath for wheelchair and other disabled users is enabled by the provision of a platform lift at 101 and 103 Camley Street. This provision has been taken into account in parallel to the inclusion of a 2.8m wide cycle ramp (excluding balustrade) that links the towpath to Camley Street as well as compliant stepped access stairs.

The hard landscaping has been designed using high quality and durable materials, such as natural stone flags, to avoid clutter and with simplicity, will lead visitors toward the main entrance lobbies with a level threshold. Resin bonded gravel, also highly durable, is proposed to the north of the site where the service zone is located.

The lobbies are accessed via recessed doors which open at least 1m clear. A concierge area is provided 24/7 within the site where visitors would then be directed to either of the two residential lobbies or to the commercial units. An out of hours intercom will be located to suit wheelchair users and with a speech reinforcement system included.

Approaches to the site

Walking to and around the site is very well provided for. Any change in level will be Part M and Lifetime Homes compliant. The shared surfaces along the towpath to the south of the site and on Camley Street will be provided with visual and textural keys to pedestrians without the need for extraneous signage or markers.

Further details on access via public transport and travel plans are provided in the Transport Assessment and Travel Plan produced by TTP Consulting (June 2014) as part of this planning submission.

Building access and passenger lifts

Entrances to the building are all accessible from the link or the pedestrian link and lead to two pairs of lifts in the north core (including a lift for the transport of larger goods and furniture), one pair for private residents and one for affordable rent residents, and one pair of lifts in the south core (also including a 'goods' lift). An additional lift has been provided to accommodate employment area access to the basement.

Passenger lifts provide the primary means of vertical circulation within the building from the ground floor to the penultimate floor of each core. These lifts have wide doors and are large enough to accommodate a wheelchair and several other people and allow for the wheelchair to turn around within the car. All of the lifts

are a minimum of 1400 mm deep x 1100 mm wide. There is lift access to the basement cycle storage and 9th floor outdoor amenity space in the north core.

All lift accesses have been designed to adhere with Fire Safety regulations Approved Document Part B (2013).

A Fire Strategy Assessment undertaken by Arup provides further details on means of escape and compliance with Part B (2013).

Horizontal access

Each level is step free and the common circulation corridors will be designed with interior finishes distinguishing walls to floors and doors within walls. Highly reflective surfaces will be avoided and finishes used to provide the best acoustic qualities.

Doors on all circulation routes will be designed with minimum opening pressures of less than 30 Newtons or where this is not possible, either power assisted or on hold open devices. All common doors will have 300 mm clear to the opening side and be a minimum of 800 mm wide unless power operated or held open. Residential corridors will be at minimum 1500 mm wide to allow a wheelchair turning circle.

Cycle access and route

A new cycle ramp is proposed as part of the development supported by Camden, the GLA and the Canal River Trust. It will enhance cycling to and from King's Cross and areas further north of Camden and the wider cycle network. The 2.8m ramp has been designed with safety in mind and includes the introduction of chicanes to discourage speed through the change of direction. Refer to Section 3.0 of this report.

Secured parking for over 280 bicycles is provided at basement level (1 per 1 and 2-bed units and 2 per 3

and 4-bed units) for the development. This follows the Code for Sustainable Homes Level 4 criteria. Access to the basement level is provided through the 3 sets of passenger and goods lifts. Access for disabled cyclists is via the same route with step free access into the building lobby and basement.

Shower rooms are provided at basement level for the use of cyclists using the employment spaces and for building management staff and these include accessible shower facilities.

Vehicular access

102 Camley Street is a car-free development in accordance with Development Policy DP17 that promotes sustainable and efficient travel through significantly improved pedestrian and cycling links, and the promotion of public transport.

Two parking bays are provided for wheelchair users to the north of the site with access compliant with Part M (2013). The proposal thus complies with Policy DP18 that encourages the limitation of car parking spaces and only the minimum necessary provision is accommodated.

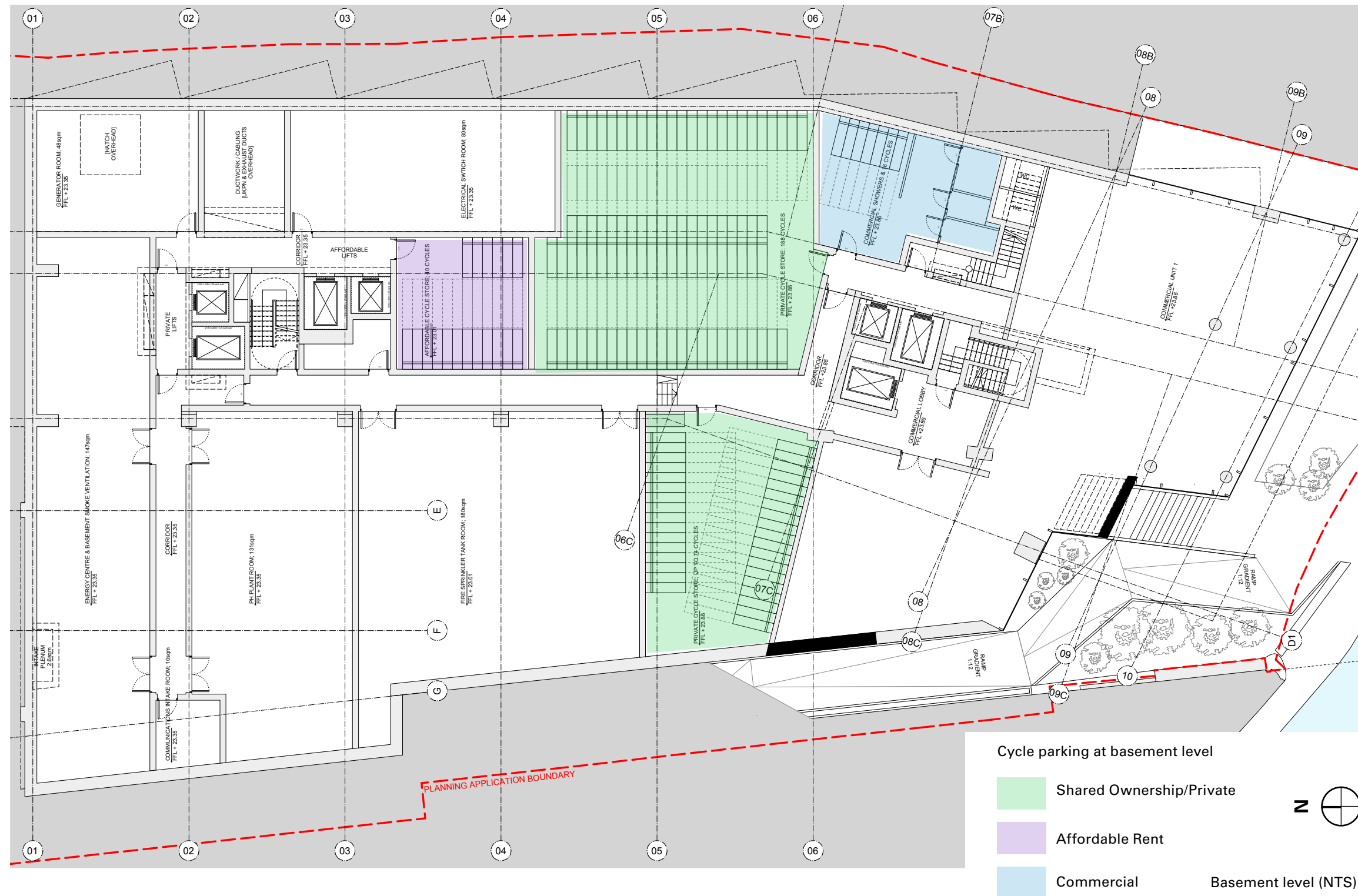
Vehicular access to services are mainly facilitated to the north of the site as further explained in sub-section on Building services further below.

For the detailed proposals for vehicular and pedestrian access refer to the accompanying Transport Assessment and Travel Plan produced by TTP Consulting.

5.2 Inclusive Access



5.2 Inclusive Access



5.0 Access and safety

5.3 Lifetime Homes

All residential units are designed to Lifetime Homes standards. Lifetime Homes standards go further than Part M with the idea that, by careful design, homes can be adapted in response to the changing needs of their occupants. Homes that meet all the Lifetimes Homes standards are entitled to be designated ‘Lifetime Homes’. They will also meet the Part M Building Regulations, the relevant parts of the Housing Corporation Scheme Development Standards and the requirements of most local authorities for accessible housing. Each of the Lifetime Homes criteria are reviewed below against the proposed design:

Standard 1
Where there is car parking adjacent to the home, it should be capable of enlargement to attain 3300mm width.
This standard is not applicable as the car parking is not adjacent the home.
There are however 2 car parks which are Wheelchair compliant.

Standard 2
The distance from the car parking space to the home should be kept to a minimum and should be level or gently sloping.
There is step free access from the car parking at ground level to the residential levels through lift access.

Standard 3
The approach to all entrances should be level or gently sloping
All entrances to the building are level.

Standard 4
All entrances should:
a) be illuminated
b) have level access over the threshold and
c) have a covered main entrance
All entrances to the residential units will be illuminated, have level access over the threshold and benefit from a

generous entry canopy in the pedestrian link or under the building splay.

Standard 5
a) Communal stairs should provide easy access and
b) where homes are reached by a lift, it should be fully wheelchair accessible
The communal stairs have been designed to be ambulant disabled complaint.
The residential lifts are wheelchair accessible, with clear landing entrances 1800x1800mm and min. internal dimensions 1100x1400mm

Standard 6
The width of the doorways and hallways should conform to the specifications below.
Doorway clear opening width corridor/ passageway width (mm)
750 or wider 900 (when approach is head- on)
750 1200 (when approach is not head- on)
775 1050 (when approach is not head- on)
900 900 (when approach is not head- on)
The clear opening width of the front door should be 800mm. There should be 300mm to the side of the leading edge of doors on the entrance level

All door and corridor widths will be designed to meet the requirements above. See Lifetime Homes layouts included in the following pages of this report.

Standard 7
There should be space for turning a wheelchair in dining areas and living rooms and adequate circulation space for wheelchair users elsewhere
A turning circle of 1500mm diameter for private/shared ownership units and 1800mm diameter for affordable units or a 1700x1400mm ellipse has been provided.
Refer also to Lifetime Homes layouts included in this report.

Standard 8
The living room should be at entrance level
All units in the development are designed with living spaces at the entrance level.

Standard 9
In houses of two or more storeys, there should be space on the entrance level that could be used as a convenient bed-space
This standard is not applicable.

Standard 10
There should be
a) a wheelchair accessible entrance level WC, with
b) drainage provision enabling a shower to be fitted in the future
The drainage provision for a future shower should be provided in all dwellings. In small two- bedroom dwellings where the design has failed to achieve this fully accessible WC, the Part M standard WC will meet this standard

All units accommodate the Part M standard WC. Up to 10% of all units are compliant with Camden Wheelchair guidance or the GLA's Wheelchair Best Practice Guidance *Wheelchair accesible housing.*

Standard 11
Walls in bathrooms and toilets should be capable of taking adaptations such as handrails
Wall reinforcements will be located between 300 and 1500mm from the floor in all bathrooms and toilets.

Standard 12
The design should incorporate
a) provision for a future stair lift
b) a suitably identified space for a through- the- floor lift from the ground to the first floor, for example to a bedroom next to a bathroom.
This standard is not applicable as all residential units are on a single floor level.

Standard 13
The design should provide for a reasonable route for a potential hoist from a main bedroom to the bathroom
Refer to Lifetimes Homes layouts within this report for hoist routes.

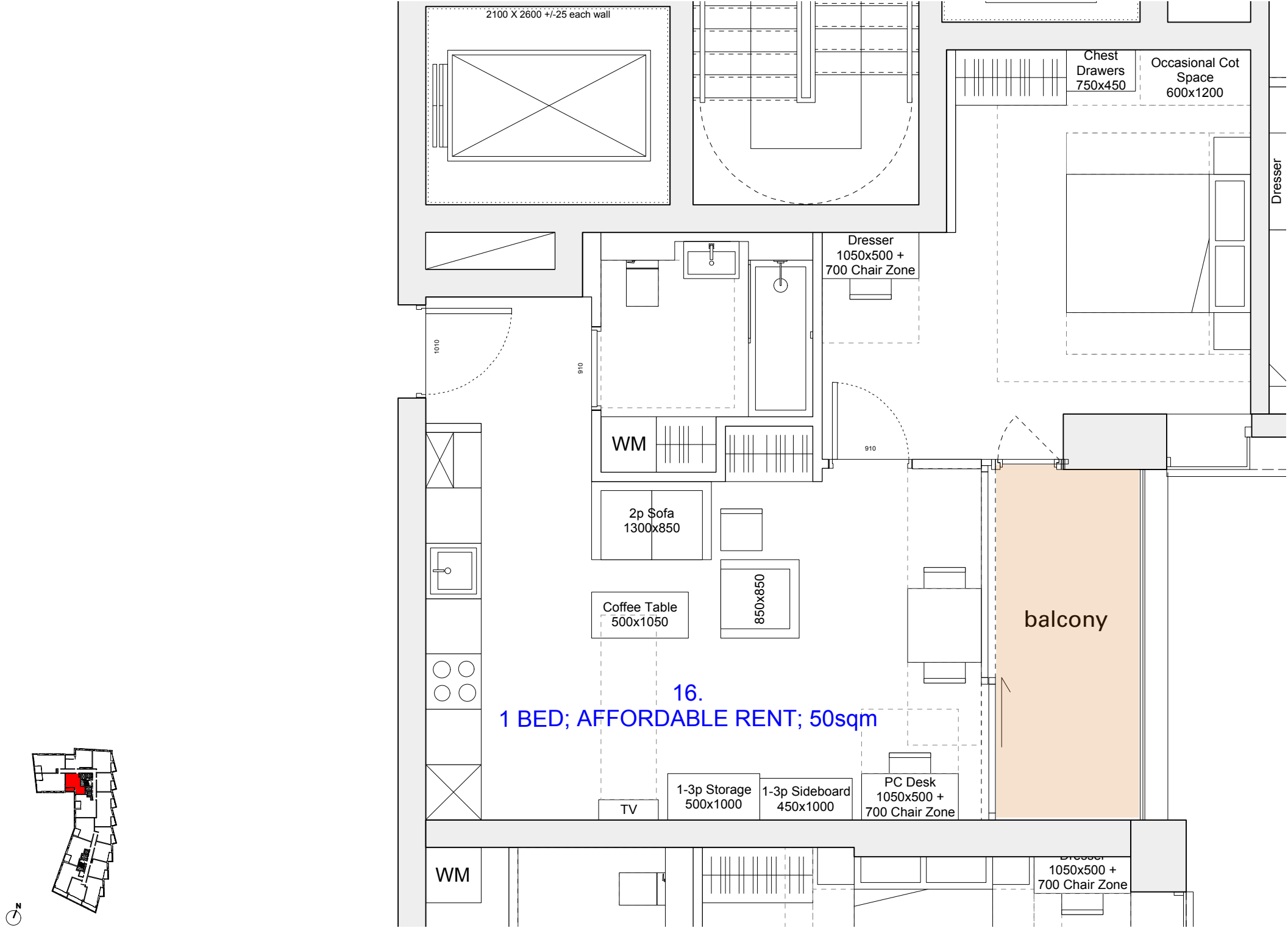
Standard 14
The bathroom should be designed to incorporate ease of access to the bath, WC and wash basin. Although there is not a requirement for a turning circle in bathrooms, sufficient space should be provided so that a wheelchair user could use the bathroom
All bathrooms have been designed to allow Part M access to the toilet, 10% units have been designed to be Wheelchair compliant.

Standard 15
Living room window glazing should begin at 800mm or lower and windows should be easy to open/ operate
People should be able to see out of the window whilst seated. Wheelchair users should be able to operate at least one window in each room
Refer to Lifetimes Homes Layouts within this report, all main bedrooms and living rooms have a minimum of 800mm clear access to windows.

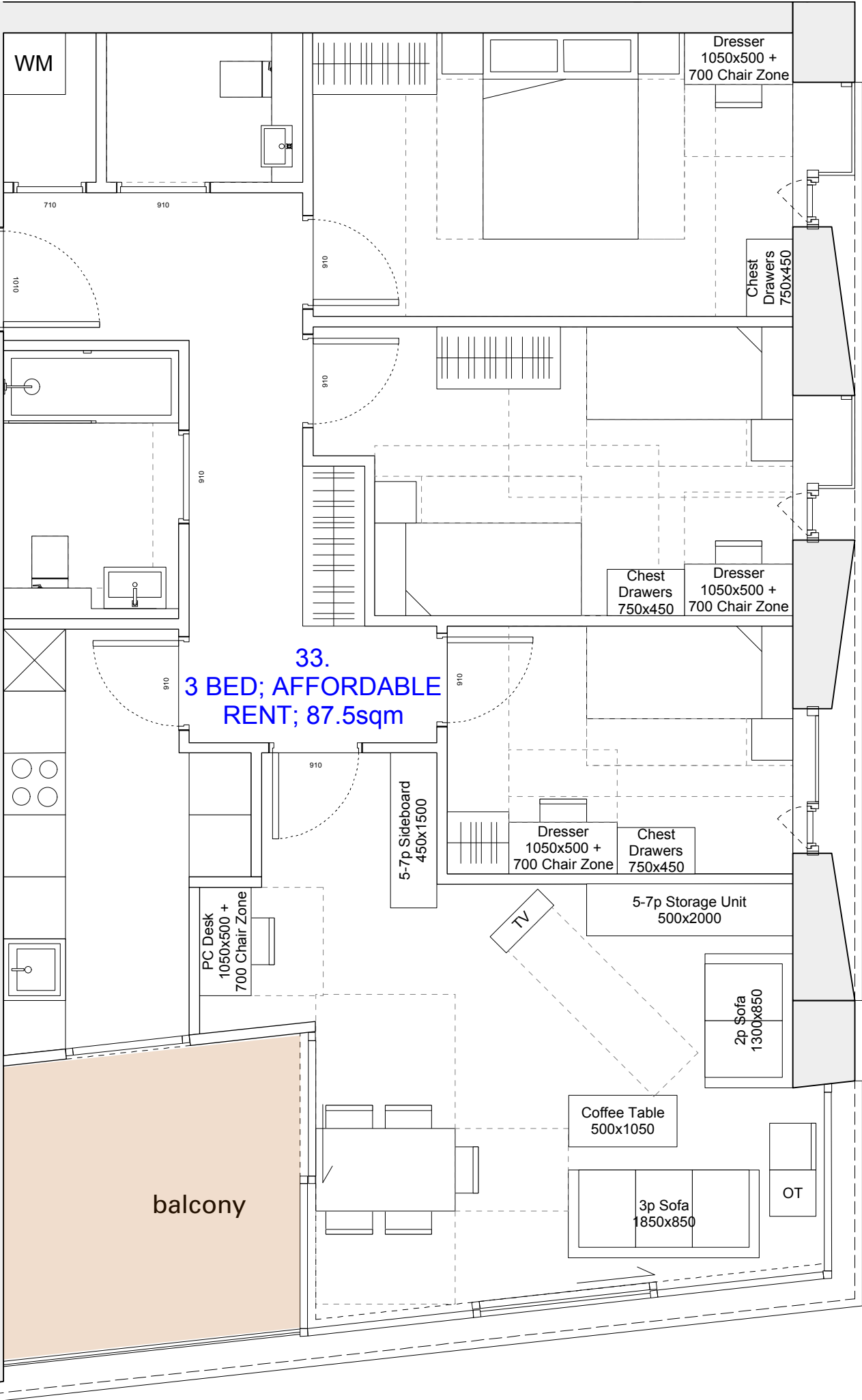
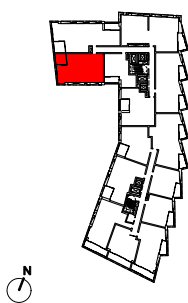
Standard 16
Switches, sockets, ventilation and service controls should be at a height usable by all (i. e. between 450 and 1200mm from the floor)
This applies to all rooms including the kitchen and bathroom
Sockets and switches will be located between 450 and 1200mm above floor level in all rooms.
Refer to Lifetime Homes Layouts following this section.

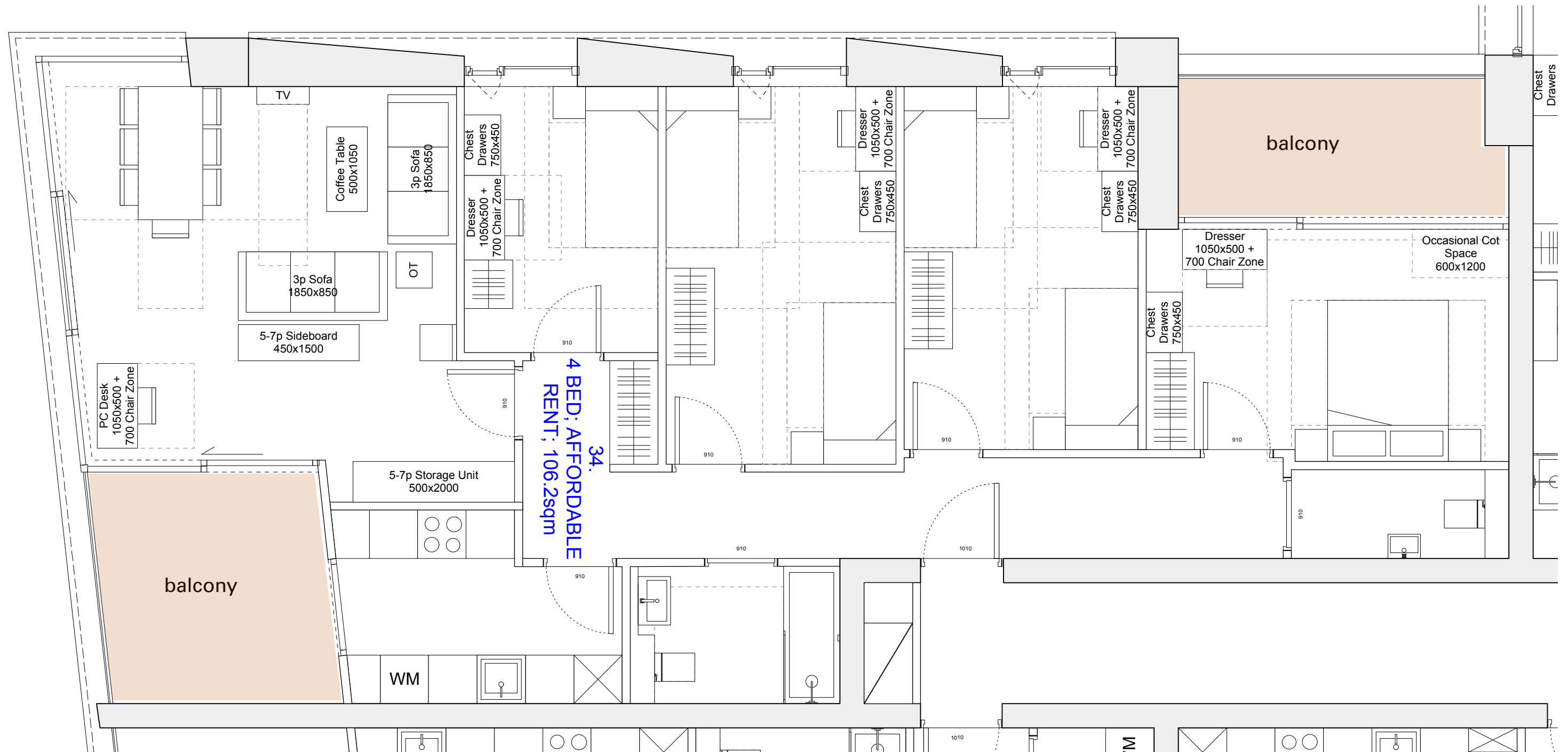
Examples of Lifetime Homes compliant units are shown in the following pages.

Level 01 – 1 Bed Affordable 50sqm
Scale 1:50

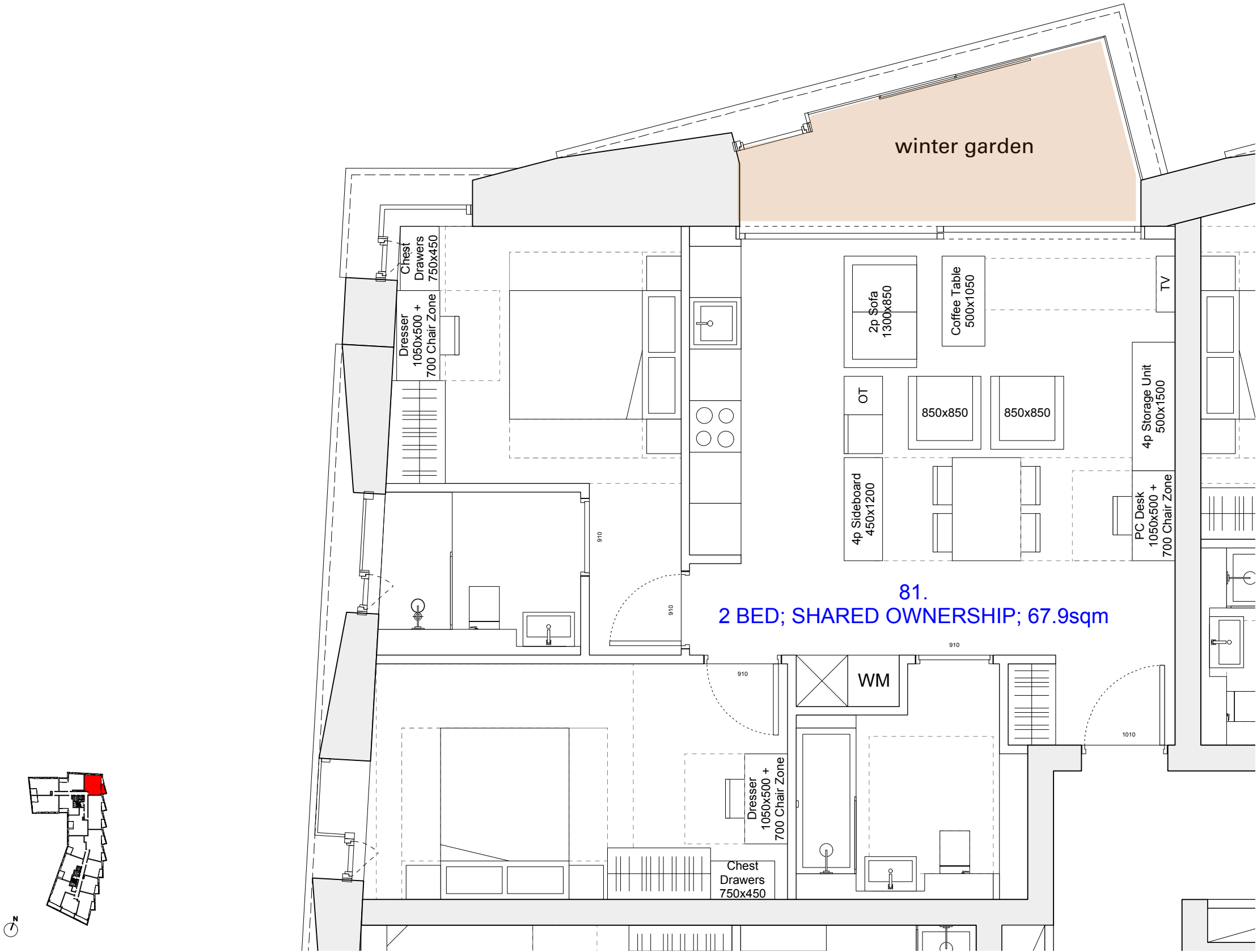


Level 03 – 3 Bed Affordable Rent 87 sqm
Scale 1:50

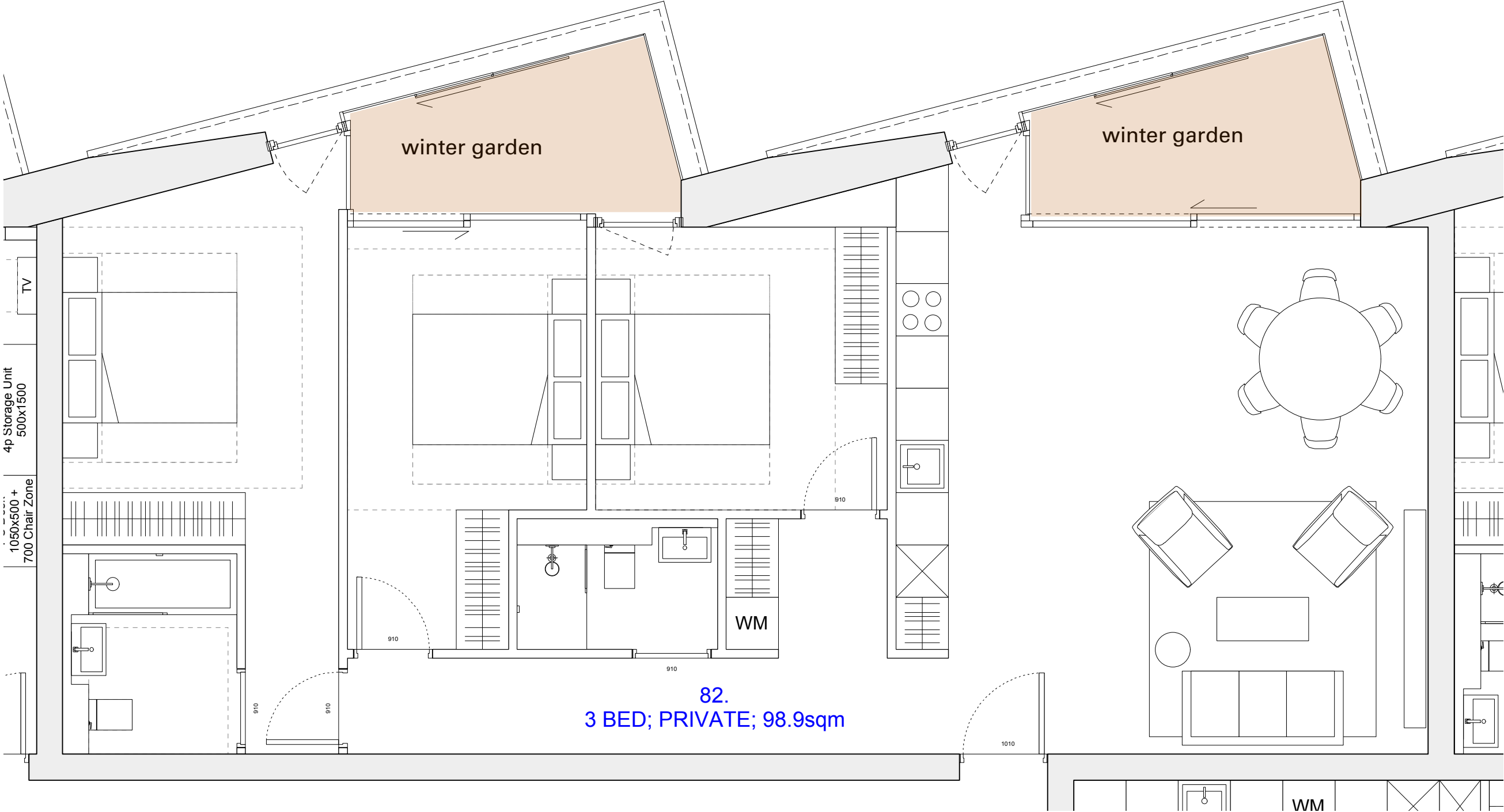
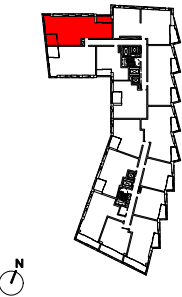




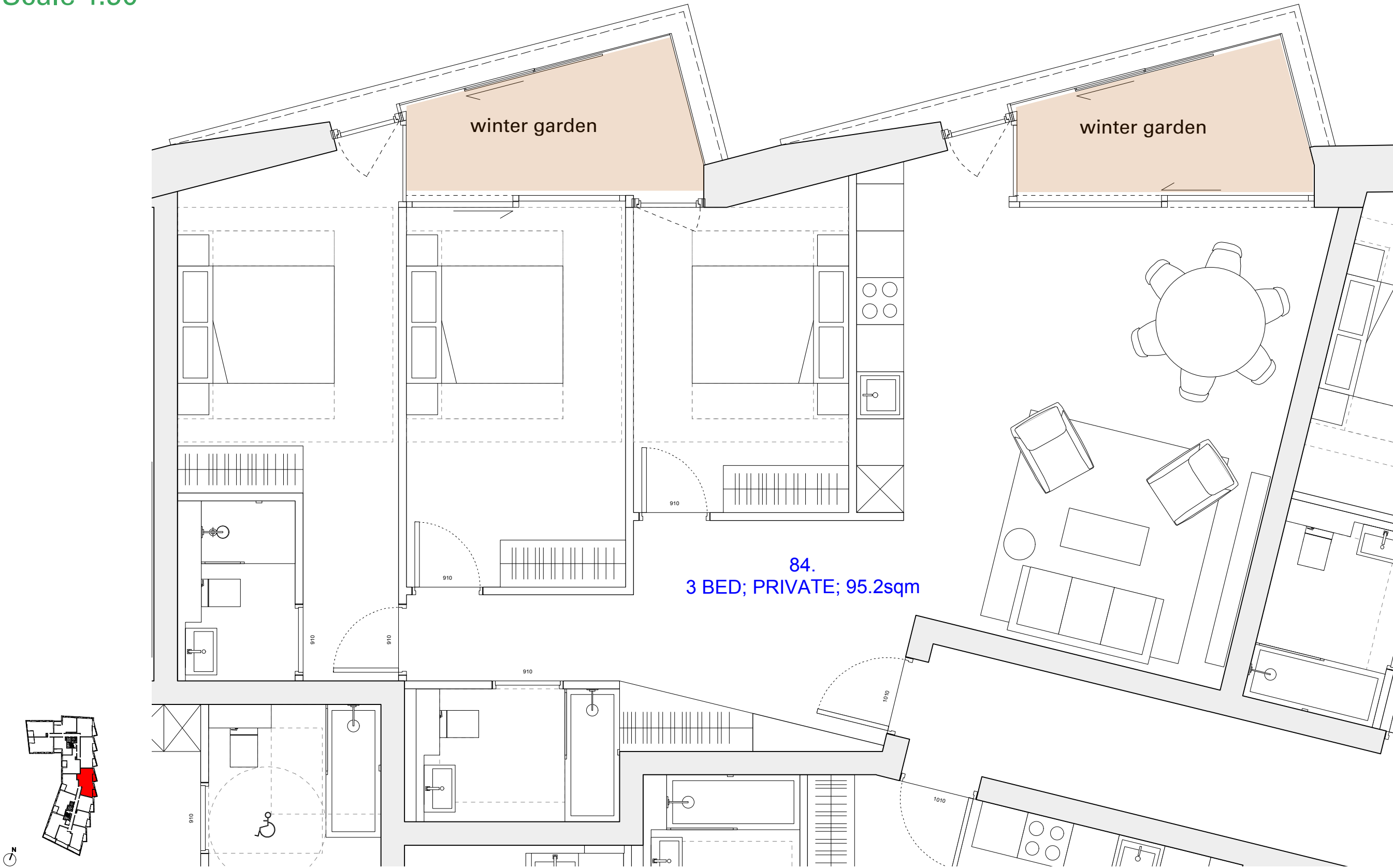
Level 06 – 2 Bed Shared Ownership 67.9 sqm
Scale 1:50



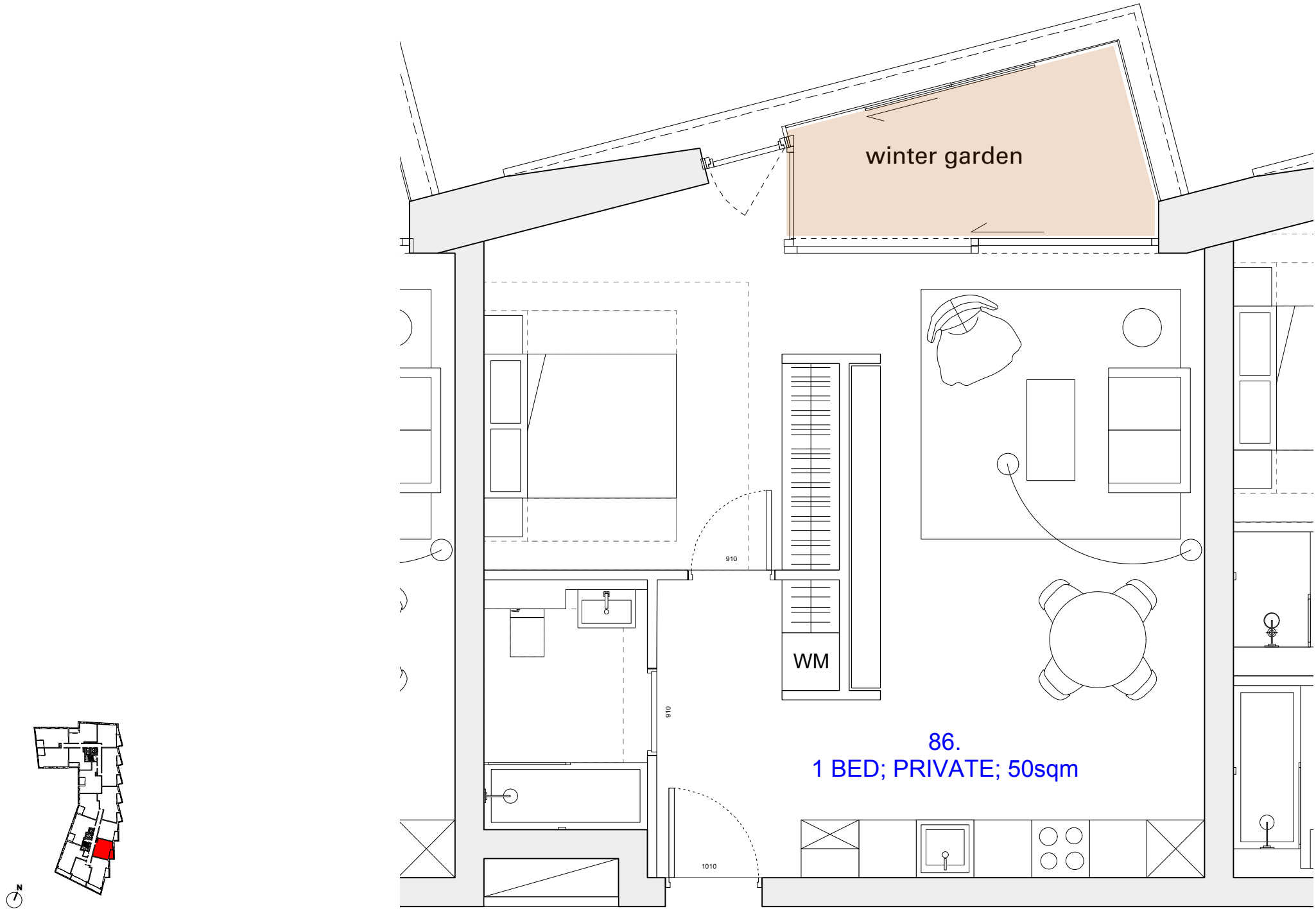
Level 06 – 3 Bed Private 98.9 sqm
Scale 1:50



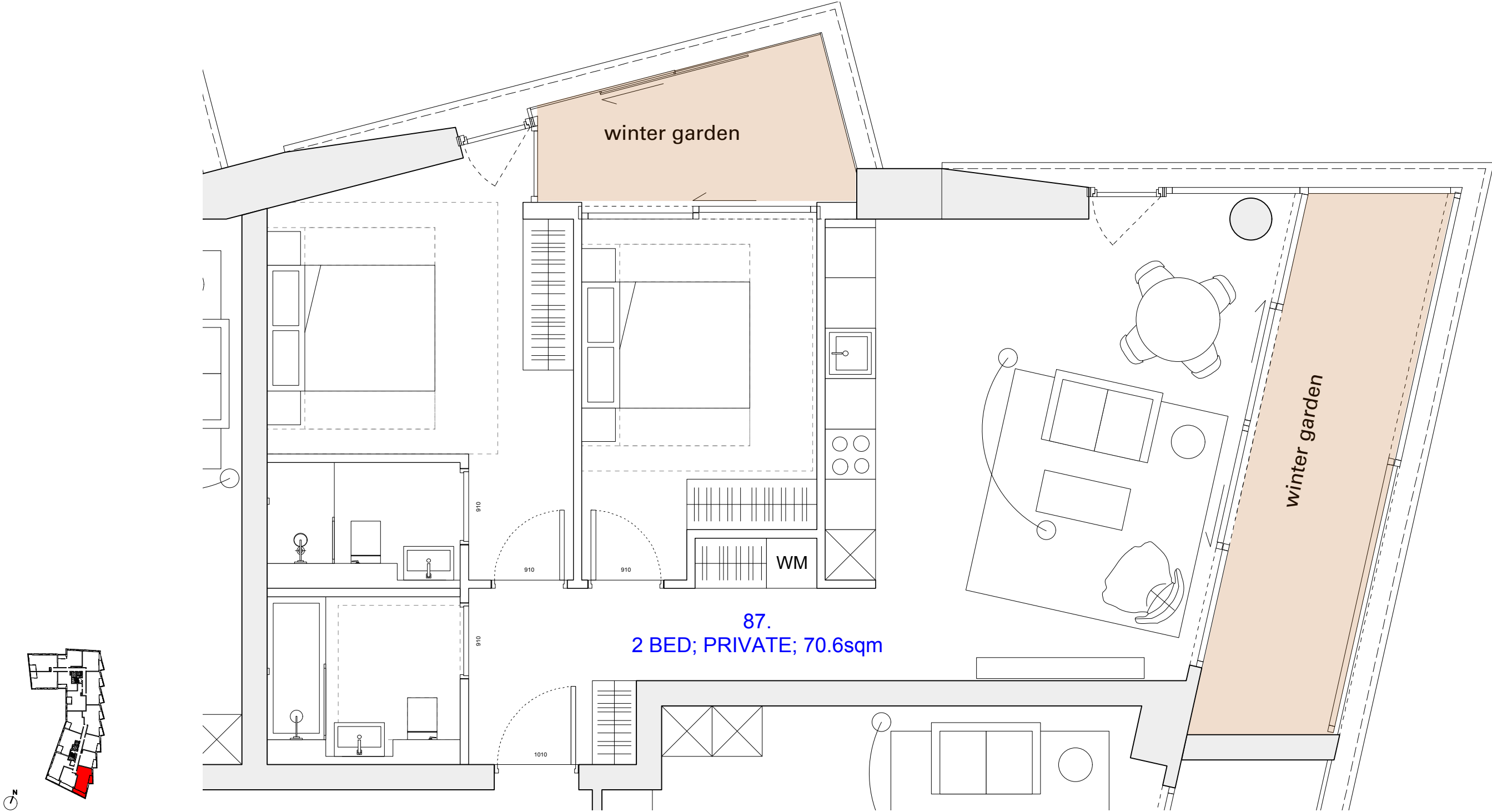
Level 06 – 3 Bed Private 95.2 sqm
Scale 1:50



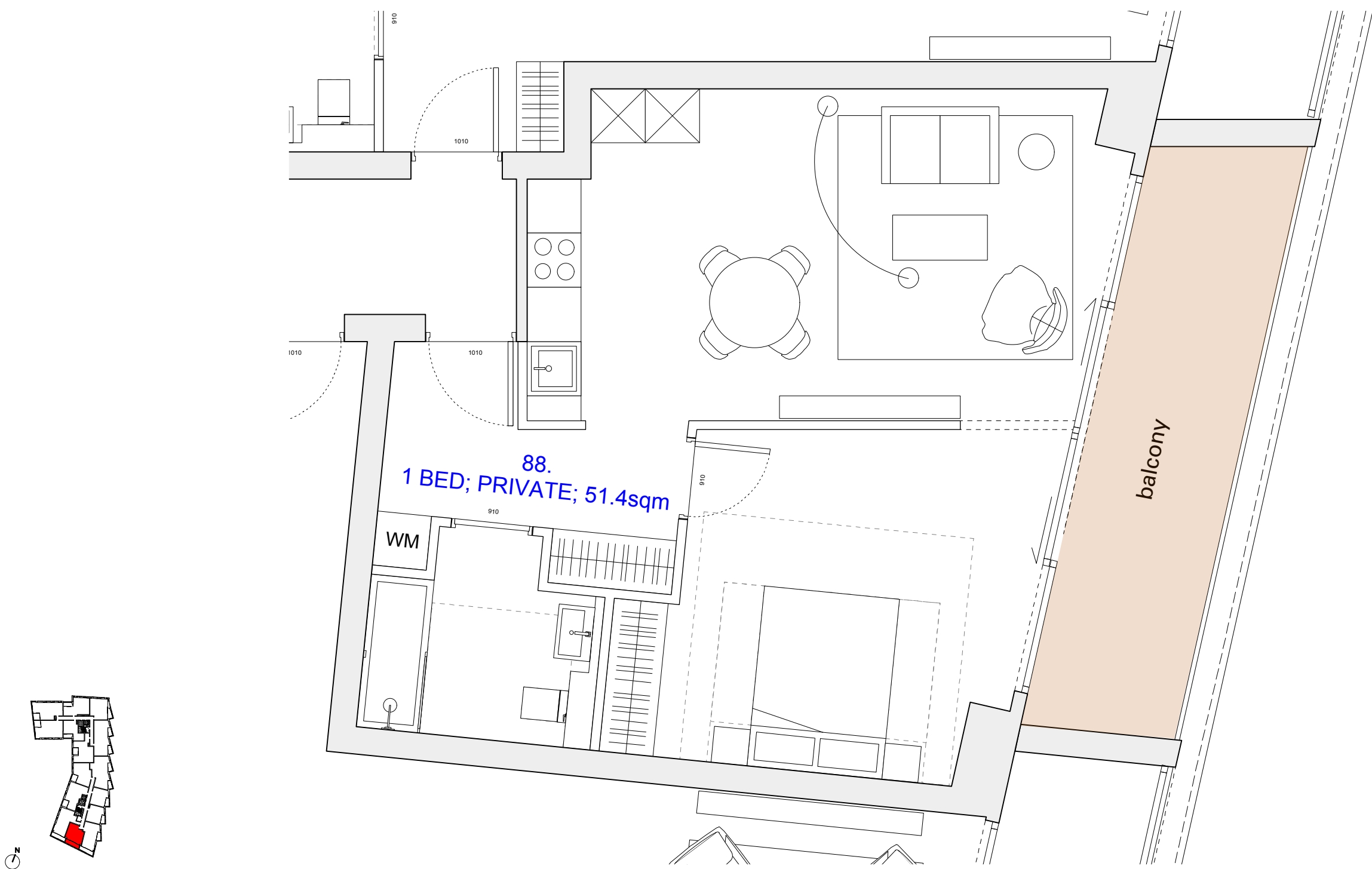
Level 06 –1 Bed Private 50 sqm
Scale 1:50



Level 06 – 2 Bed Private 70.6 sqm
Scale 1:50

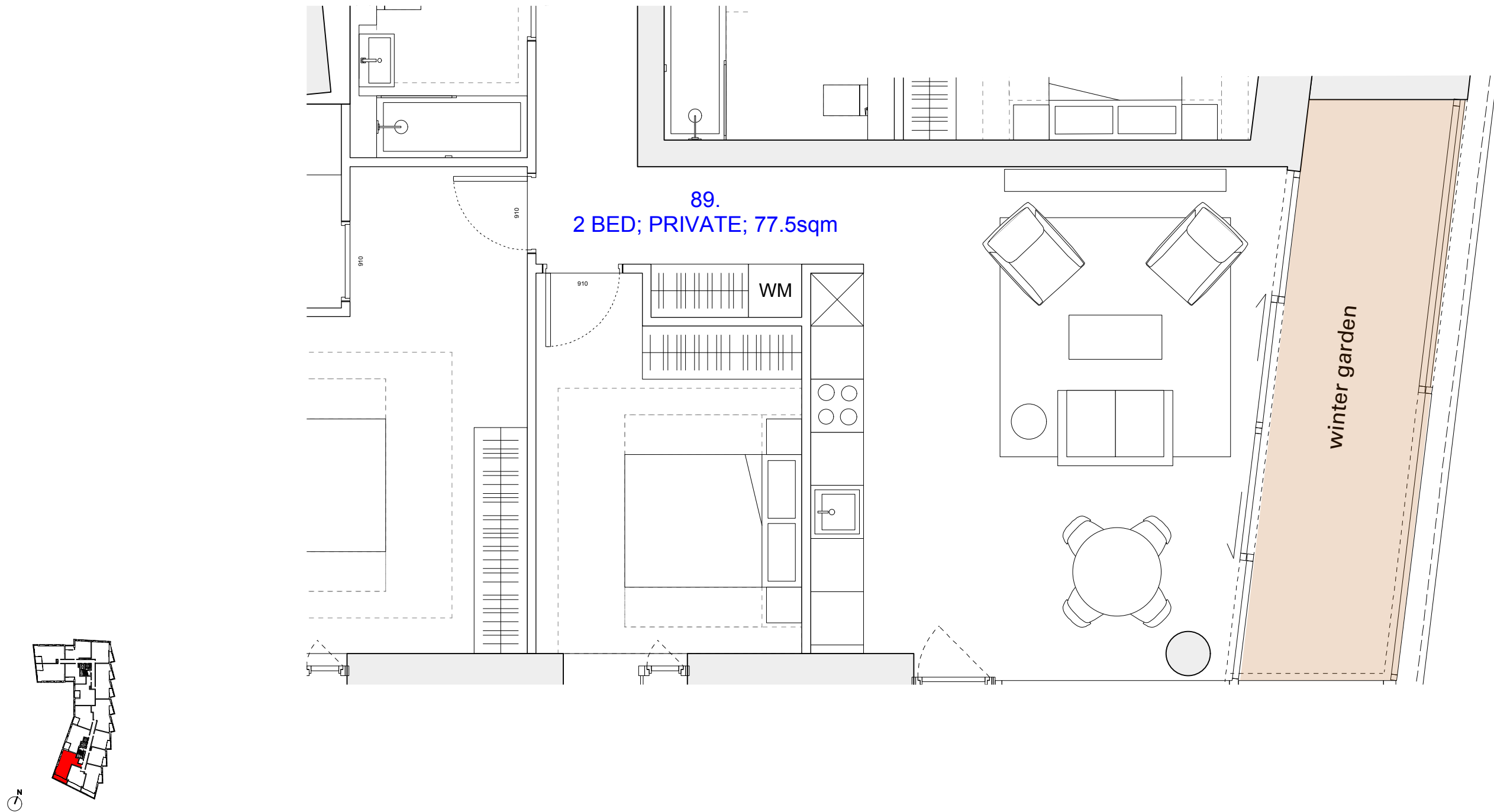


Level 06 –1 Bed Private 51.4 sqm
Scale 1:50



Level 06 – 2 Bed Private 77.5 sqm

Scale 1:50



5.0 Access and safety

5.4 Wheelchair Homes

The building at 102 Camley Street will provide 16 Wheelchair compliant homes or adaptable homes. Easily adaptable means that fittings and fixtures that may be required by an individual can be added at a later date without enlarging or structurally modifying their home.

Seven affordable homes are designed to Camden’s own Wheelchair guidance and 4 shared ownership and 5 private ownership units are designed to either Camden’s Wheelchair guidance or the GLA’s Supplementary Planning Guidance Accessible London: achieving an inclusive environment (April 2004) and Best Practice Guidance for Wheelchair housing. This constitutes 30% of the total Social Rented units, 25% of the Intermediate Housing (Shared Ownership) and 4% of Private units.

Access to flat and entrance zone

- Generous internal circulation space for corridors, kitchens and bathrooms, meeting the minimum turning and manoeuvring requirements set out in the SPG;
- The communal corridors within the building are considered internal entrance doors to flats and allow for 1500x1500 entrance space Storage / recharging and transfer point for battery-operated wheelchair is accommodated either in the entrance area when possible or within the circulation zone of the accommodation.

Circulation within unit

- All units are designed with all rooms on one level
- Circulation within all rooms (kitchen, dining, living space and bedroom) designed with minimum space allowed for wheelchair users to turn through 180° with furniture in place;

Using the spaces

- Kitchen space designed to allow for an additional user
- Additional space in bathroom for either a bath and/ or shower with at least one to be fully installed. Shower area to be fully accessible with floor drain; main bedroom to bathroom connected by a full height knockout panel and provision for future installation of a hoist between the two;

Control / operating of fittings

- Adequate controls of mains water stopcock, gas and electric main consumer units.
- Adequate isolating valves to sink, washing machine, etc;
- Height of living spaces room glazing at 800mm or lower.

Specifically for apartments the following items are required:

Kitchen/Dining/Living Rooms

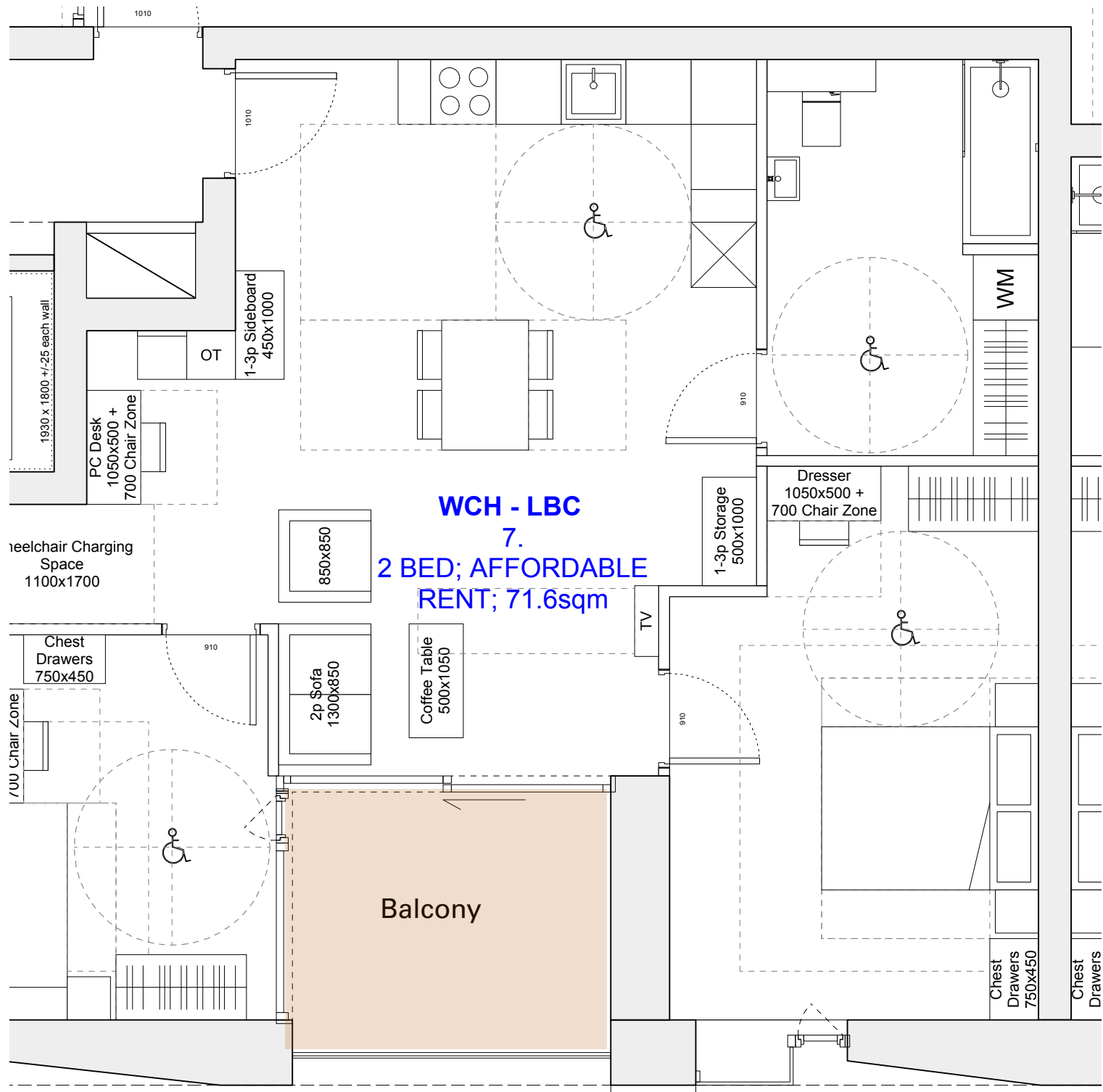
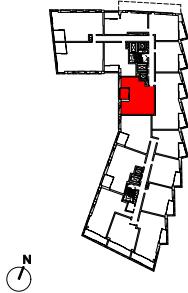
- Living areas can be satisfactorily furnished
- Wheelchair access to windows and external doors.
- Kitchens to be L- or U-shaped (rather than linear) layouts and with convenient access to dining area

Bedrooms

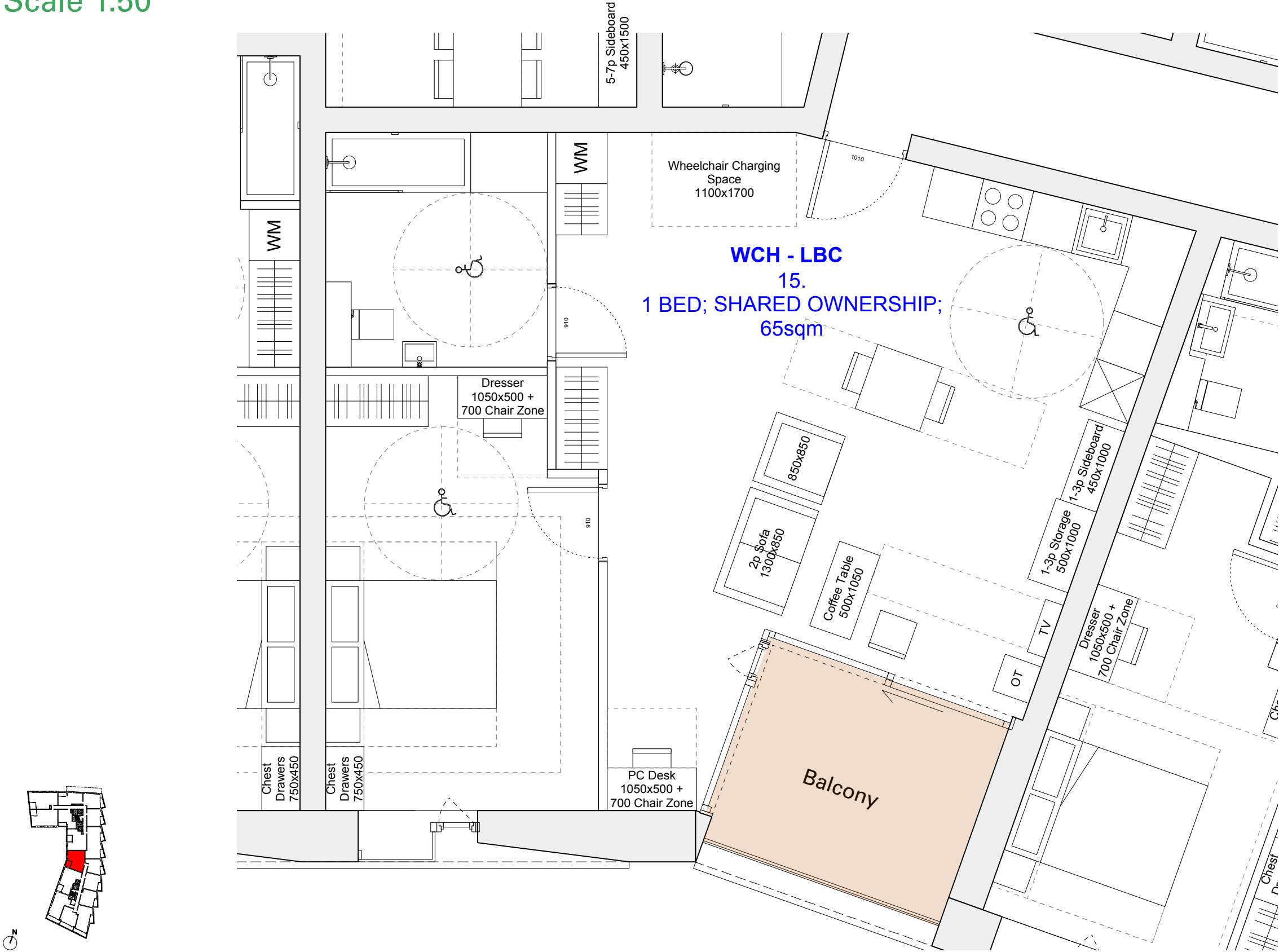
- Direct connection between a main bedroom and bathroom
- Access both sides of a double bed or one side of a single bed, turn and manoeuvre to approach all furniture and operate window controls.

Examples of Wheelchair compliant units are shown in the following pages.

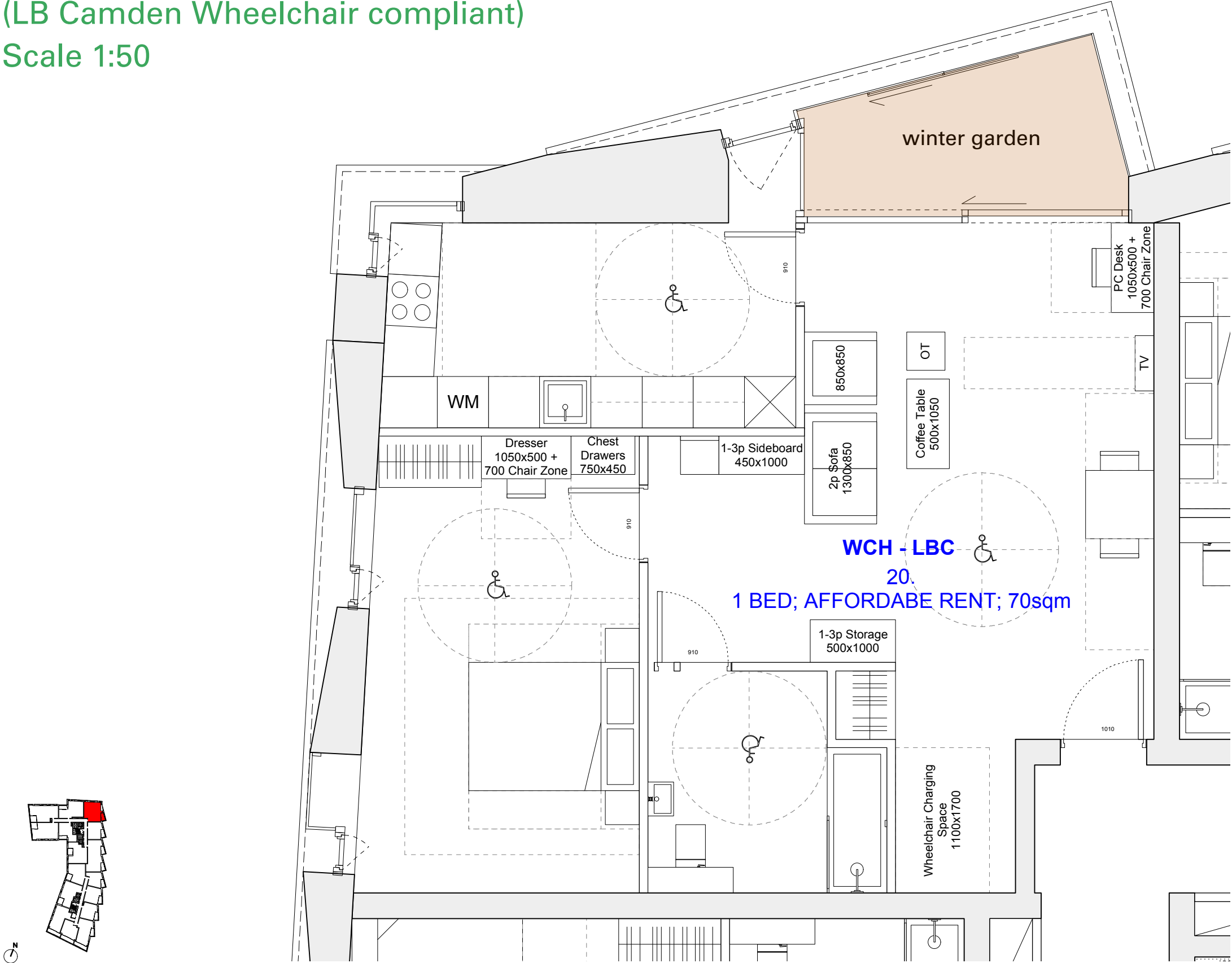
Level 01 – 2 Bed Affordable Rent 71.6sqm (LB Camden Wheelchair compliant)
Scale 1:50



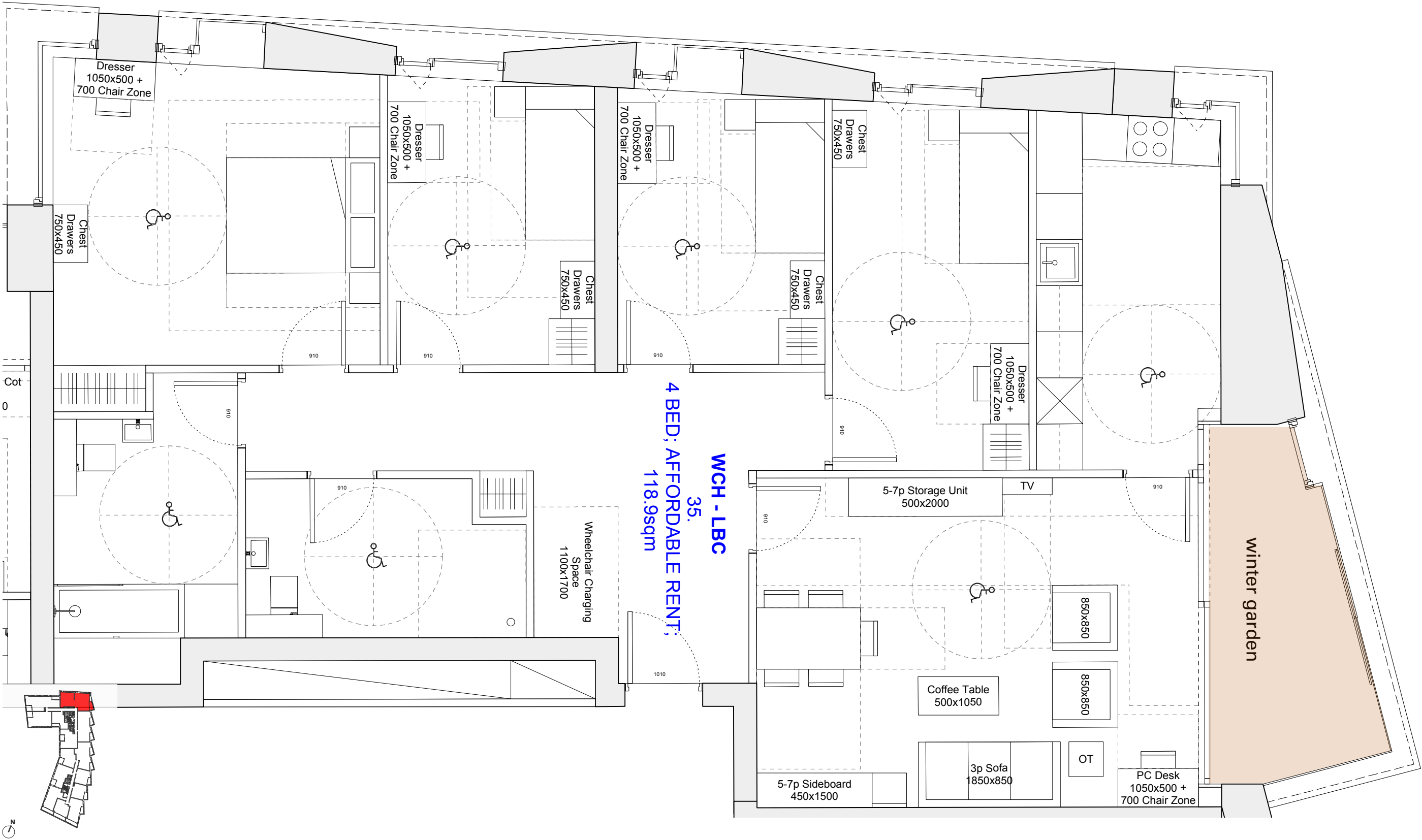
Level 01 – 1 Bed Shared Ownership 65 sqm (LB Camden Wheelchair compliant)
Scale 1:50



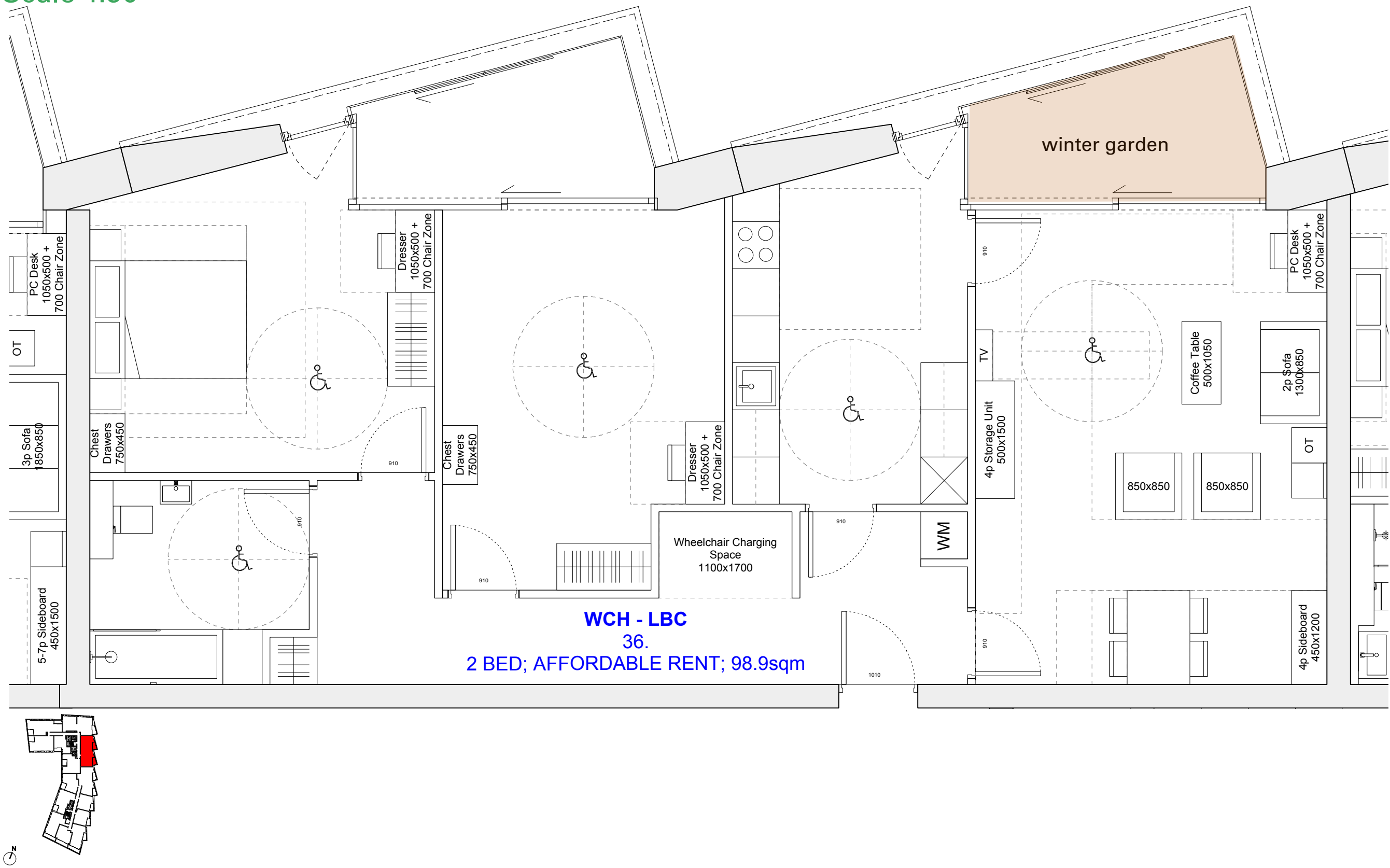
Level 02 – 1 Bed Affordable Rent 70 sqm
(LB Camden Wheelchair compliant)
Scale 1:50



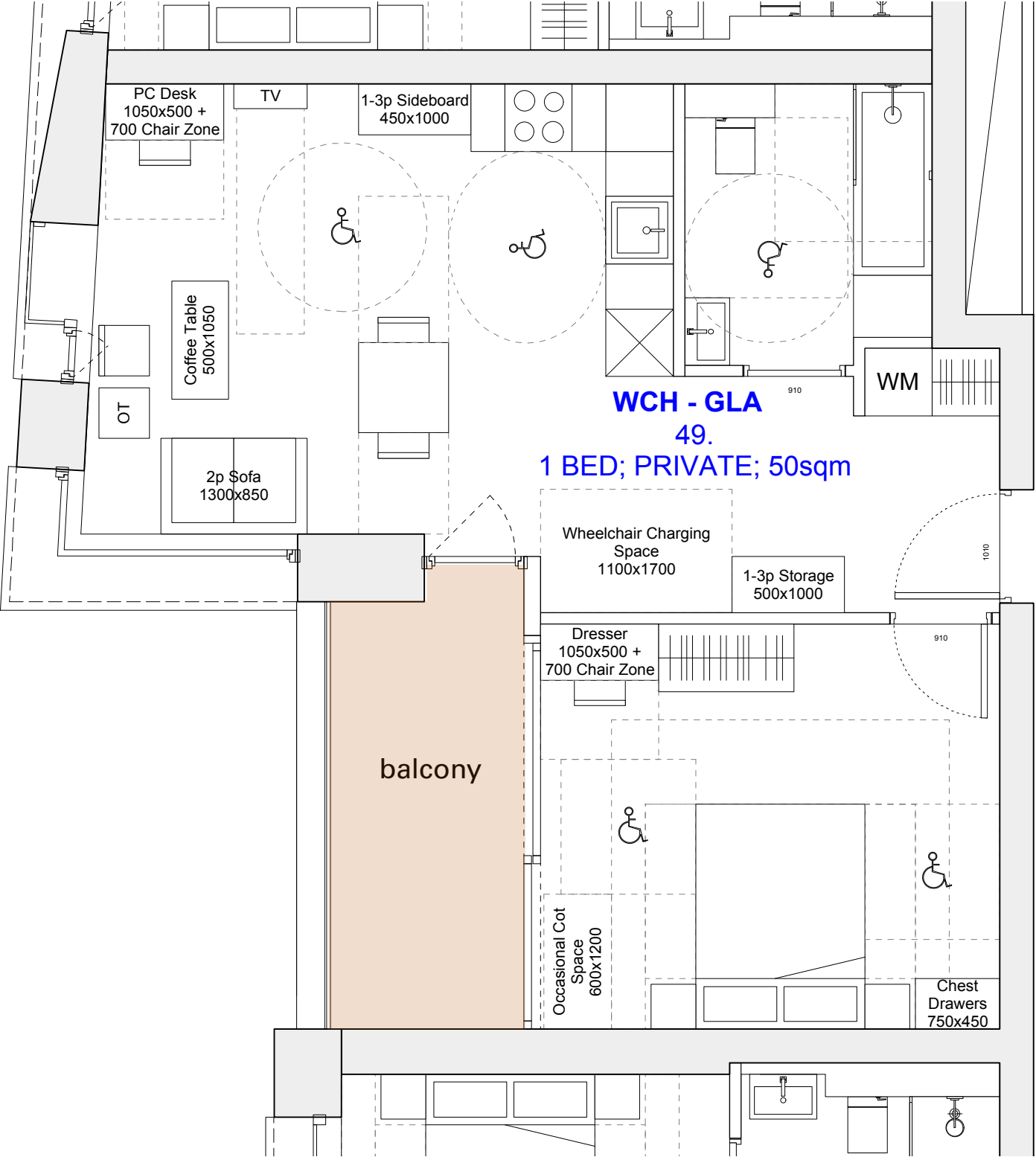
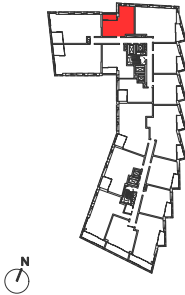
Level 03 – 4 Bed Affordable Rent 118.9 sqm (LB Camden Wheelchair compliant)
Scale 1:50

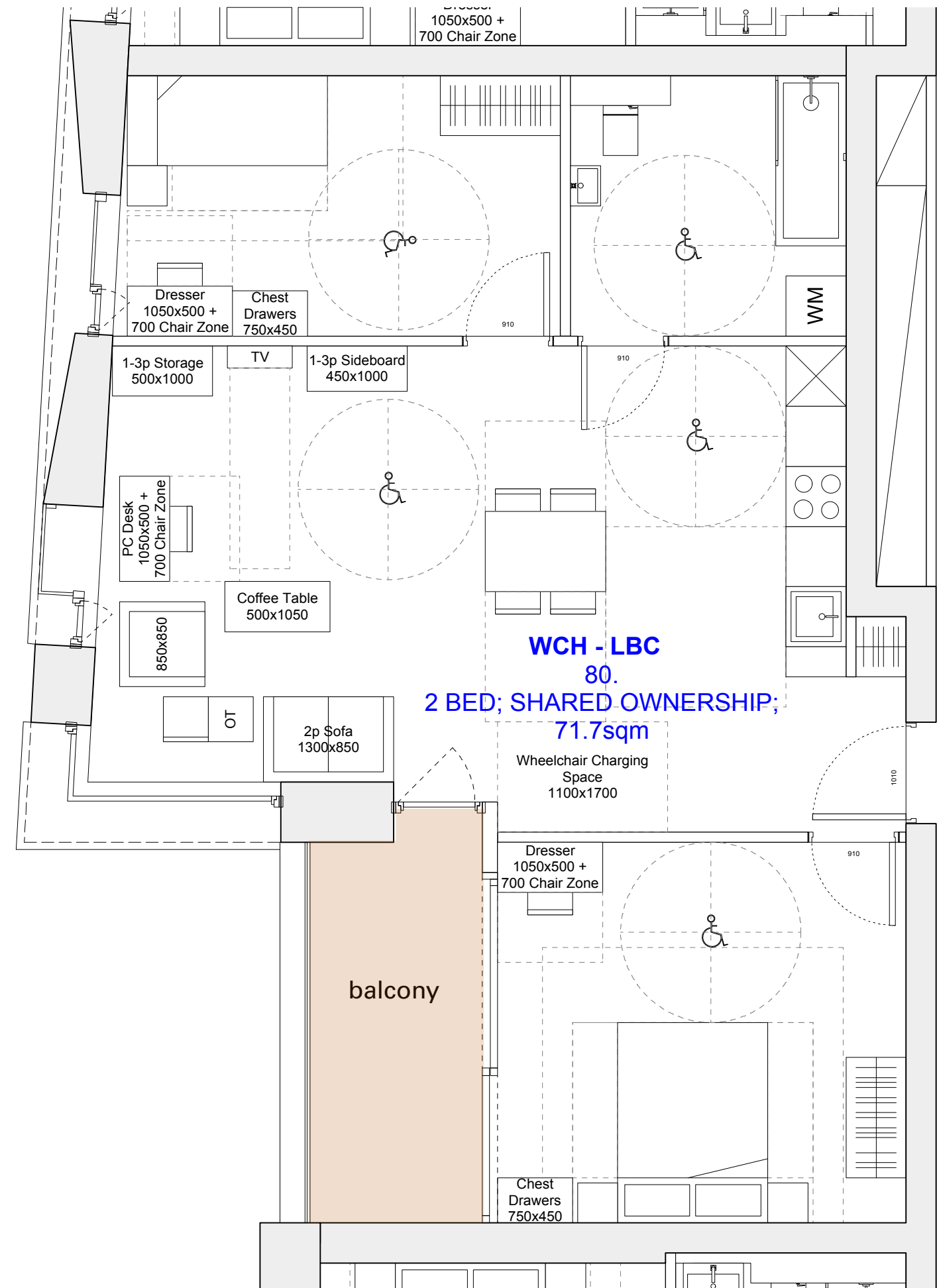


Level 03 – 2 Bed Affordable Rent 98.9 sqm (LB Camden Wheelchair compliant)
Scale 1:50



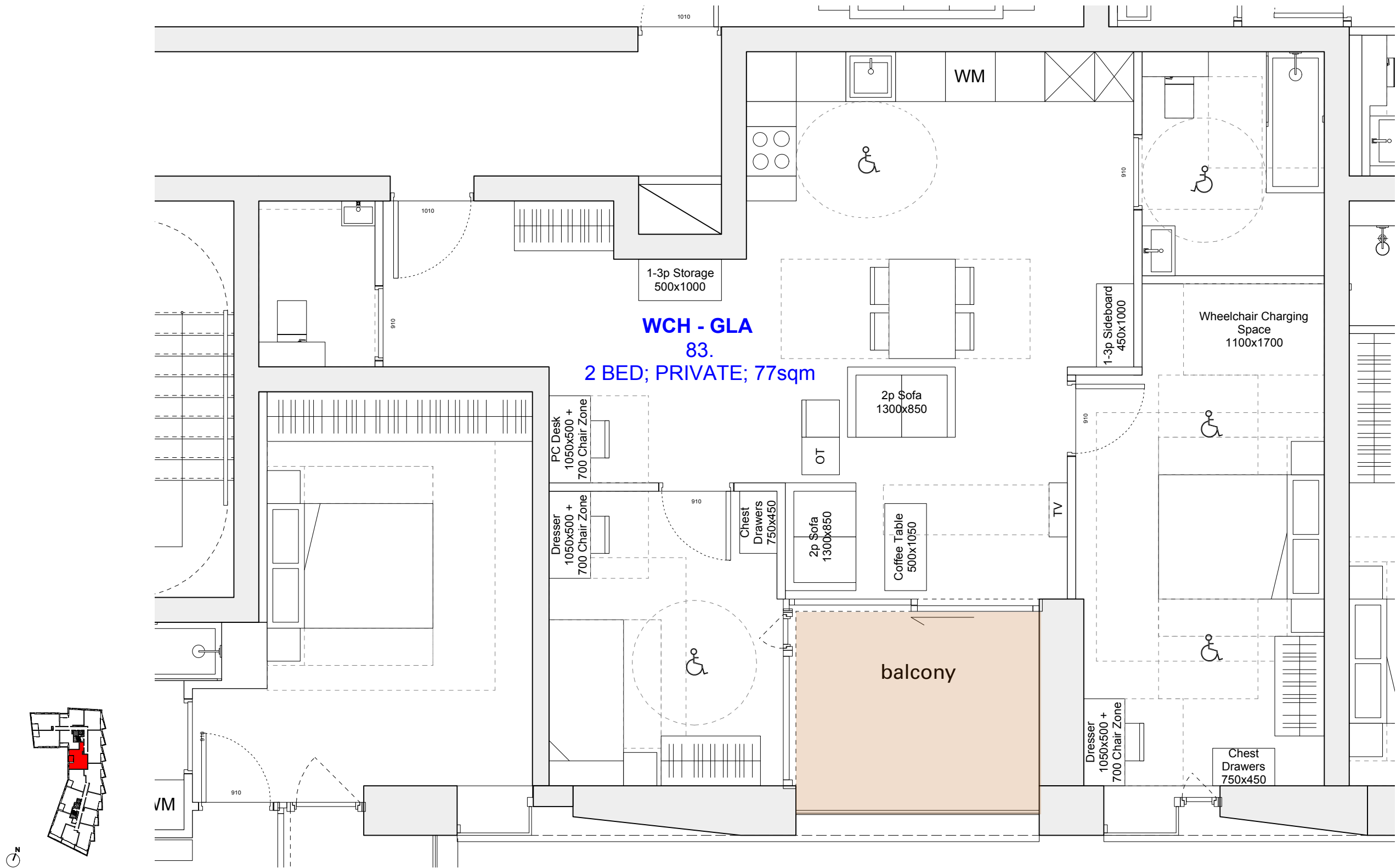
Level 04 – 1 Bed Private 50 sqm (GLA Wheelchair compliant)
Scale 1:50





Level 06 – 2 Bed Private 77 sqm (GLA Wheelchair compliant)

Scale 1:50



5.0 Access and safety

5.5 Safe Environment – Designing-out crime strategy

Secured by Design (SBD) is an initiative by the Association of Chief Police Officers (ACPO) and highlights the need for natural surveillance and the creation of active neighbourhoods through the design and layout of buildings, a mix of dwelling types and the creation of connected movement networks. Busy movement routes provide informal control by citizens and a heightened sense of safety. Through the introduction of appropriate design features that facilitate natural surveillance and create a sense of ownership and responsibility for every part of the development, criminal and anti-social behaviour within the curtilage or grounds of an estate can be deterred.

These design features include secure access, secure vehicle parking, adequate lighting of communal areas, fostering a sense of ownership of the local environment, control of access to individual and common curtilages, defensible space, and landscape design supporting natural surveillance and safety.

A meeting was conducted with the Designing Out Crime Officer (DOCO) responsible for the Camley Street area. Following the DOCO's recommendations, some changes to the design were introduced. Key design features which provide a safe development with a sense of place and community include:

- Appropriate lighting levels to avoid deep shadow throughout the site and particularly along the link and canal towpath whilst avoiding light pollution.
 - The common entries to the building will operate with a concierge management system and be supported by CCTV system.
 - Bicycles are stored in the basement in a series of secure cycle stores with full access control.
 - Introduction of a gate to the northern link to ensure safety after daytime.
-
- A high standard of maintenance and management within the development.
 - Sensitive landscape design with a mix of hard and soft landscaping to avoid inadvertent creation of opportunities for crime.
 - Natural surveillance of the public link and landscaping from the concierge and residents.
 - Location of all entrances to face the link allowing for natural surveillance to take place.

5.0 Access and safety

5.6 Building servicing and refuse strategy

Building servicing

A service area is provided off street to the north of the site for small and medium vehicles which are expected to account for the majority of service movements to the proposed development, including deliveries.

An area adjacent to the development will be used for larger service vehicles. There is also the possibility of a footway loading bay being developed as part of the pedestrian crossing between 102 and 103 Camley Street.

Bulky goods deliveries for the employment space occupiers will be pre-arranged and managed by the on-site estate management company to ensure that deliveries are undertaken efficiently and that a tenant representative is available to collect the goods being delivered.

Refuse Strategy

Refuse areas have been provided for residents based on tenure type. Residents would be responsible for depositing their refuse and recycling in these areas on located on the ground floor level and easily accessible via lifts. Management company staff will regularly check the fullness of the containers and replace when necessary. On collection days, the containers will be presented at the agreed collection point in the service zone to the north of the site for refuse vehicles to collect.

For commercial waste, tenants will segregate and store their refuse and recycling in their own demise. Tenants will be responsible for transporting refuse and recycling and deposit waste in a dedicated commercial waste store. The waste store will be the point that the waste management contractor will collect the waste. These commercial areas would require their own dedicated containers in the commercial waste store which are lockable to prevent misuse by others.

Roof edge protection

On the 'east' block roof, protection from falling at the edge is by way of a latchway system using anchored points and a safe perimeter zone of 600mm from the rear of the parapet, allowing access to the back of the parapet for maintenance.

On the 'north-west' block roof, protection from falling at the edge is secured by a balustrade, which is positioned approximately 1250mm from the rear of the parapet, allowing access to the back of the parapet for maintenance. The balustrade has a handrail at 1100mm from the FFL of the roof build up.

Roof access and Facade maintenance

Frequency of access to the main roofs has been reduced at concept level by locating the majority of plant space at lower ground level. There will however be some plant at roof level including smoke extract equipment on both roofs (east and north-west blocks) and the core overrun (east block). Maintenance will also be required for the photovoltaic panels and green roofs.

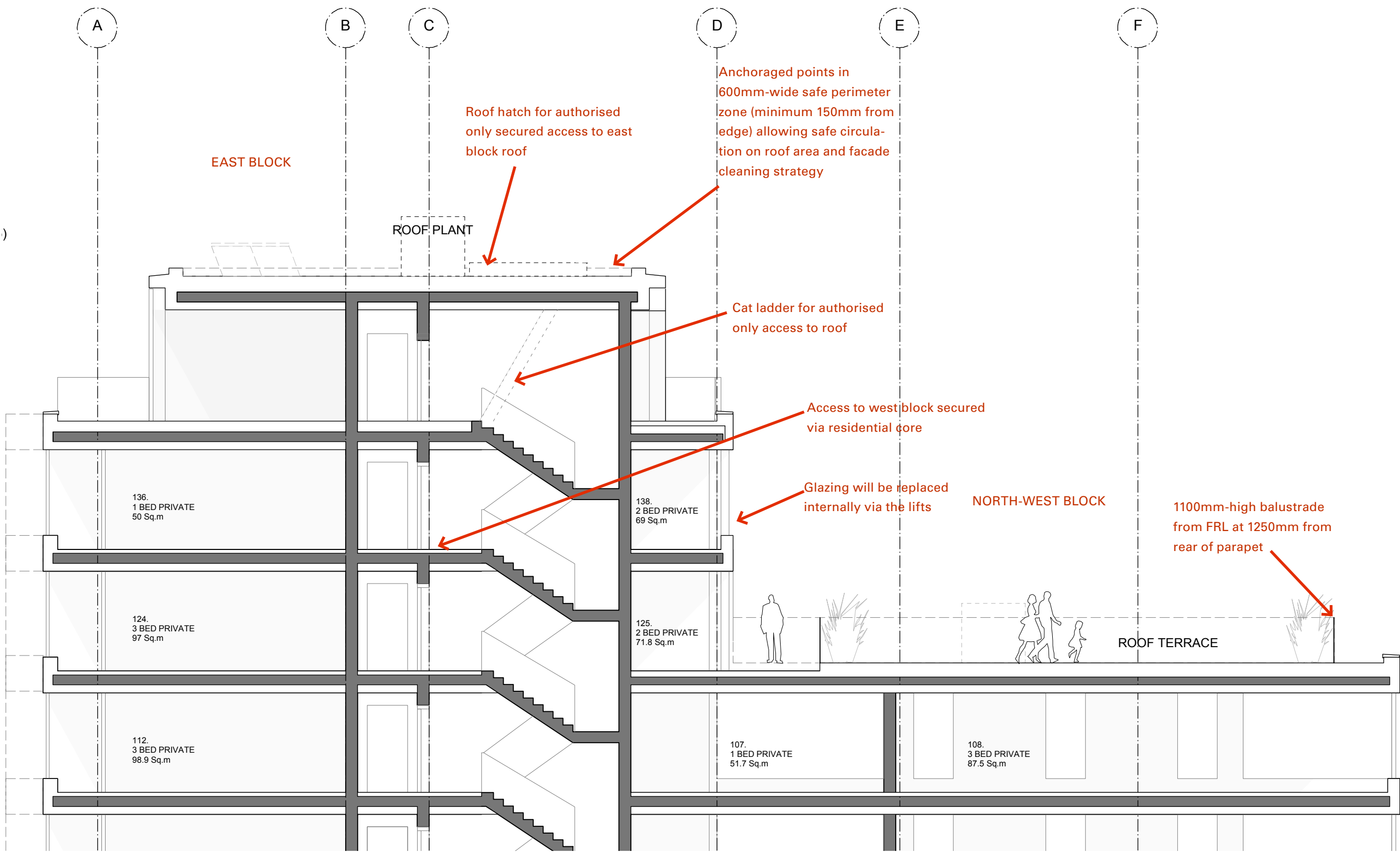
Access to the main roof area of the eastern block will be by way of a roof hatch above the staircase from Level 11 via inclined cat ladder leading to the core's plant area and a perimeter paved route at safe distance from the roof parapet. The ladder will be fitted with a lockable cover plate to prevent unauthorised access and a handrail to prevent falling into the stairwell. As at the Level 9 roof, a latchways mansafe system would provide protection from falling around the roof perimeter.

The smaller roof area of the western block will be easily accessible through lift at Level 9. Refer also to roof plan drawing submitted as part of this application.

Cleaning and maintenance considerations with regard to facades and windows will be carried out through secured abseiling system by the use of anchorage points on the roofs.

5.0 Access and safety

5.6 Building servicing



L9 Amenity space accessed off common corrior and protected by balustrade

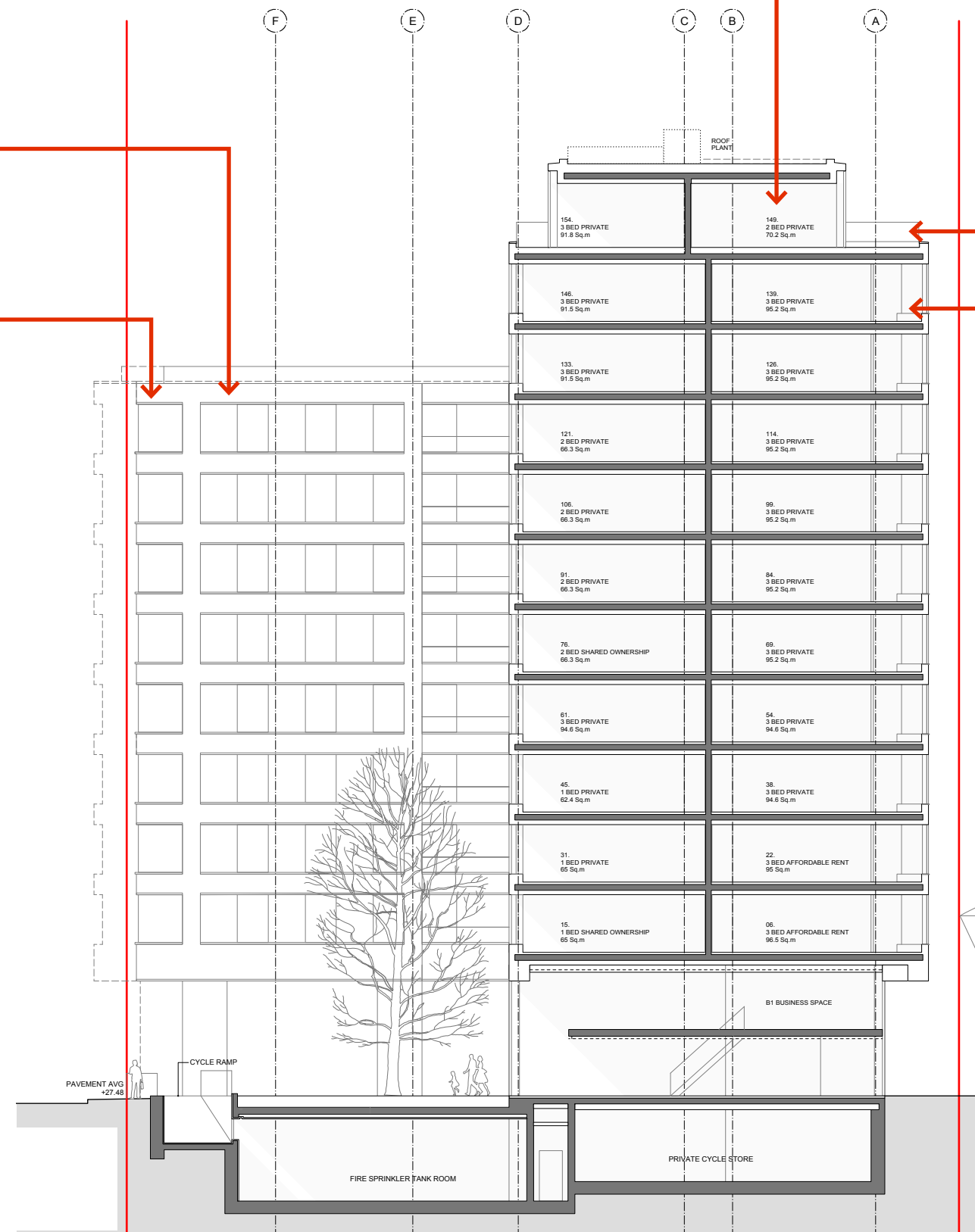
Maintenance alley to perimeter via secured gate and mansafe (latchways) System

L12 Roof Access via hatch and mansafe system (latchways)

Recessed terrace and balcony glazing cleaned by occupants

Upper floors cleaned via abseil system

Lower floors cleaned from ground level



6.0 Conclusion

The proposed development provides a vibrant, new, mixed-use development on Camley Street along with generous and high quality public amenity space integrated in the wider but immediate site context of the Gateway sites at 101 and 103 Camley Street.

The development provides for 50% of the site area to be accessible to the general public.

The scheme provides for enhanced accessibility and linkage between Camley Street and the Regents canal towpath with links to Camden Town, King's Cross and beyond.

The proposals create a truly mixed and sustainable scheme with employment and residential areas creating an integrated community of homes and enterprise spaces. The enterprise and employment spaces will be focussed on the new starting and small and medium sized businesses significantly increasing current site employment levels.



Railway View

APPENDIX A

Schedule of Accommodation and Areas

RESIDENTIAL UNIT COUNT				GRAND TOTAL		
				154		
RESIDENTIAL UNIT MIX	% OF GEA	UNIT TYPE	% OF TOTAL			
			[27 -Feb-14]*	30-Jun-14		
PRIVATE	75%	STUDIO / 1BED	[42%]	36%		
AFFORDABLE	25%	2-BED	[46%]	38%		
		3-BED	[12%]	25%		
		4-BED	[0%]	1%		
PRIVATE TOTAL		117	AFFORDABLE TOTAL		37	
				AFFORDABLE RENT		21

% OF TOTAL		% OF TOTAL	
STUDIO	3%	STUDIO	-
1-BED	33%	1-BED	29%
2-BED	38%	2-BED	24%
3-BED	26%	3-BED	38%
4-BED	-	4-BED	10%
% OF TOTAL	100%		100%

SHARED OWNERSHIP		16
% OF TOTAL		
STUDIO		-
1-BED		44%
2-BED		56%
3-BED		0%
4-BED		-
% OF TOTAL		100%

PROPOSED GEA BY USE	sqm	sqft**
RESIDENTIAL	14,045	150,700
COMMERCIAL B1/B1c (FIGURE TBC)	1,620	16,100
ENTRANCE/CONCIERGE	530	5,400
CYCLES	380	3,200
PLANT/SERVICE/WASTE	900	10,800
TOTAL	17,475	186,200

* As submitted at pre-application meeting 2
** Sqft rounded to the nearest hundred

Building	Numbers of Flats A/R*				Numbers of Flats S/O			Numbers of Flats Private						Flats TOTAL	
	no. people	1b2p	2b3p / 2b4p	3b5p / 3b6p	4b5p/4b6p	1b2p	2b3p / 2b4p	3b5p	studio	1b2p	2b4p	3b5p / 3b6p	2b pent		3b pent
	indicative standard unit area range m2	50	-	87.2 - 106.1	106.2	50	66.3 - 73.7	-	38.8 - 42.6	50	66.3 - 77.5	87.2 - 98.9	69.7 - 72.5		91.8 - 101.0
indicative wheelchair unit area range m2	70	71.2 - 98.9	-	118.9	65	71.7	-	-	65	77	-	-	-	-	
RESIDENTIAL															
L01 Mixed Typical	2	1	4	0	3	1	0	1	1	2	0				15
L02 Mixed Typical	3	2	3	0	0	0	0	1	4	3	0				16
L03 Mixed Typical	1	2	1	2	0	1	0	0	4	2	1				14
L04 Mixed Typical					3	0	0	1	4	3	5				16
L05 Mixed Typical					1	1	0	0	4	4	5				15
L06 Private Typical					0	2	0	0	4	5	4				15
L07 Private Typical					0	2	0	0	4	5	4				15
L08 Private Typical					0	2	0	0	4	5	4				15
L09 Private Upper								0	4	5	3				12
L10 Private Upper								0	6	5	2				13
L11 Private Penthouse													6	2	8
TOTAL RESIDENTIAL	6	5	8	2	7	9	0	3	39	39	28	6	2		
sub-total/total no. units	21				16									117	154
% of sub-total no. units	29%	24%	38%	10%	44%	56%	0%	3%	33%	33%	24%	5%	2%		
No. Habitable rooms***	HAB. ROOMS 79				HAB. ROOMS 41			HAB. ROOMS 336							

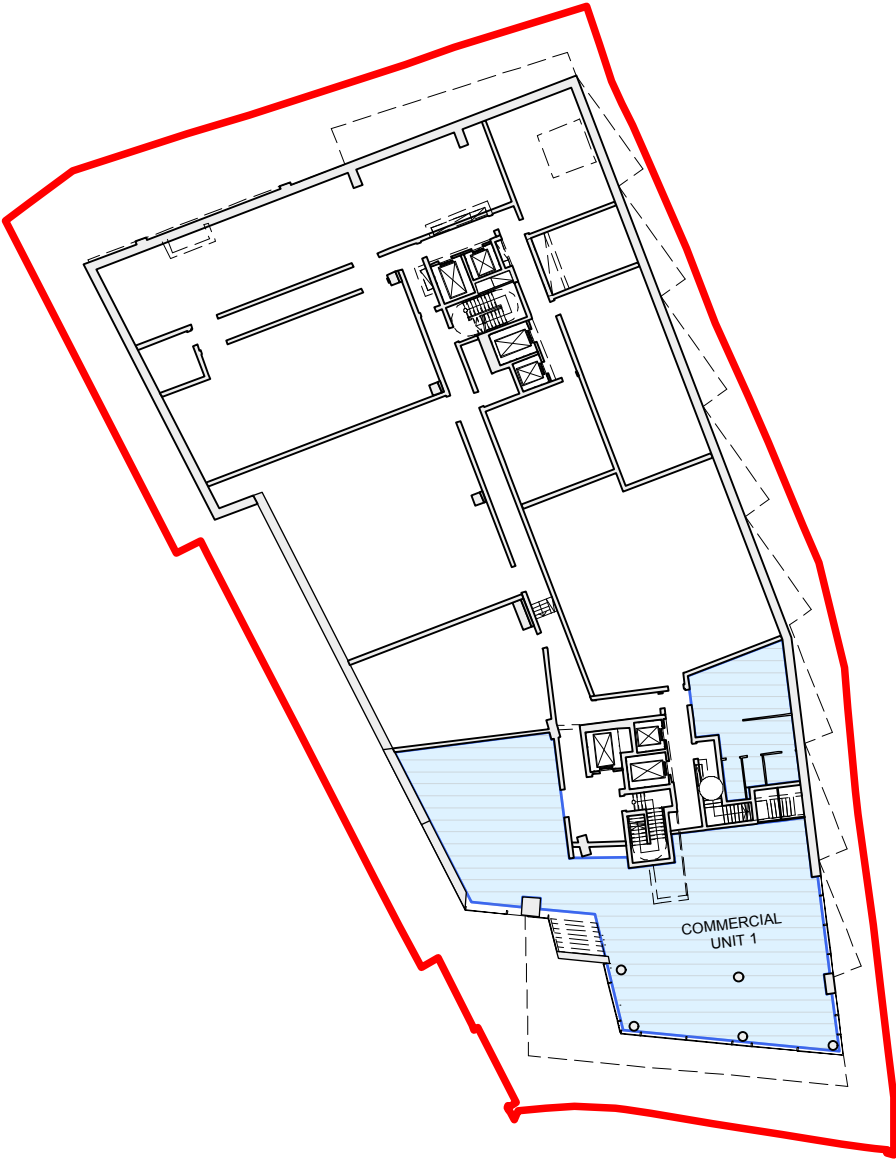
Notes:

- Scheme proposal is tenure-blind. Shared ownership units accessed from private core.
Tenure split to be agreed following viability assessment.
- Existing employment space on site =1008sqm
- These areas relate to the likely areas of the building at the current state of design.

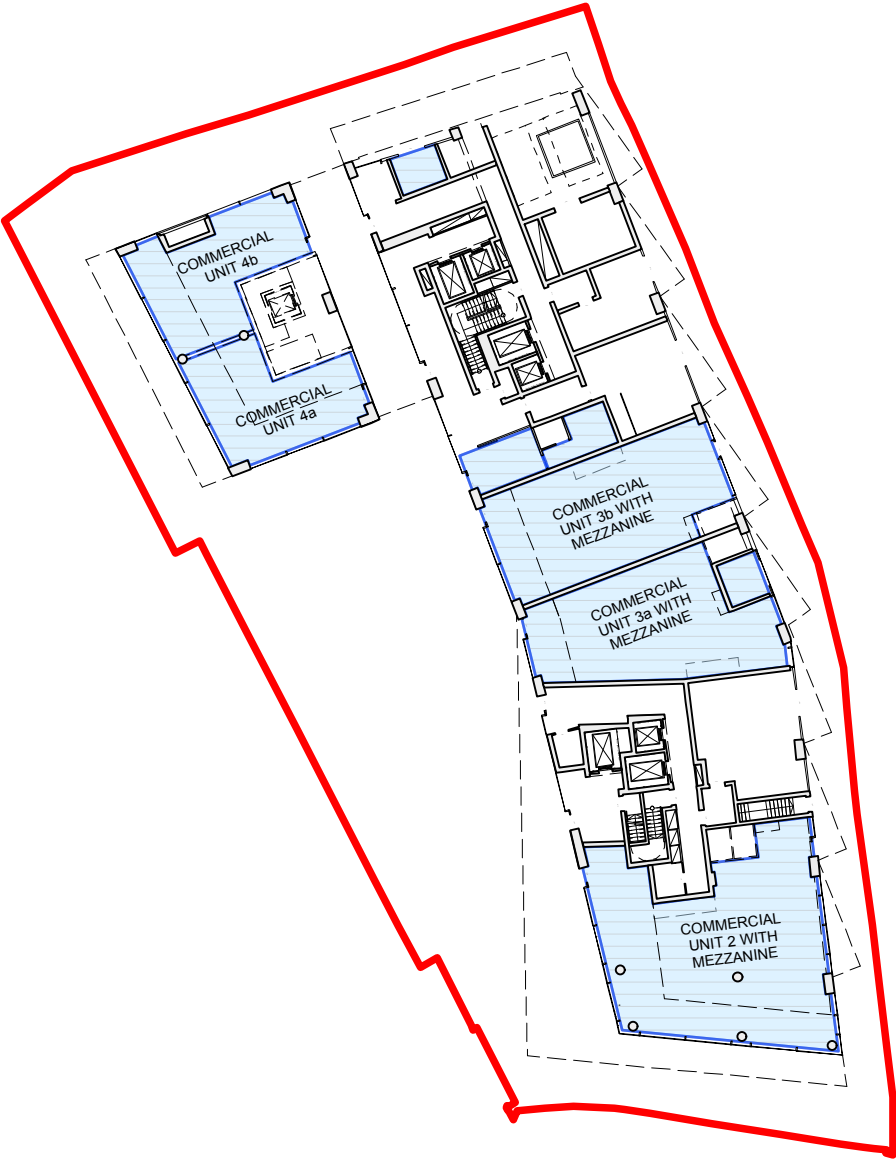
Decisions made on the basis of these areas should include due allowance for increases and decreases inherent in design development, and tolerances during construction.

APPENDIX A

Schedule of Accommodation and Area



Lower Ground Floor
1:500@A4

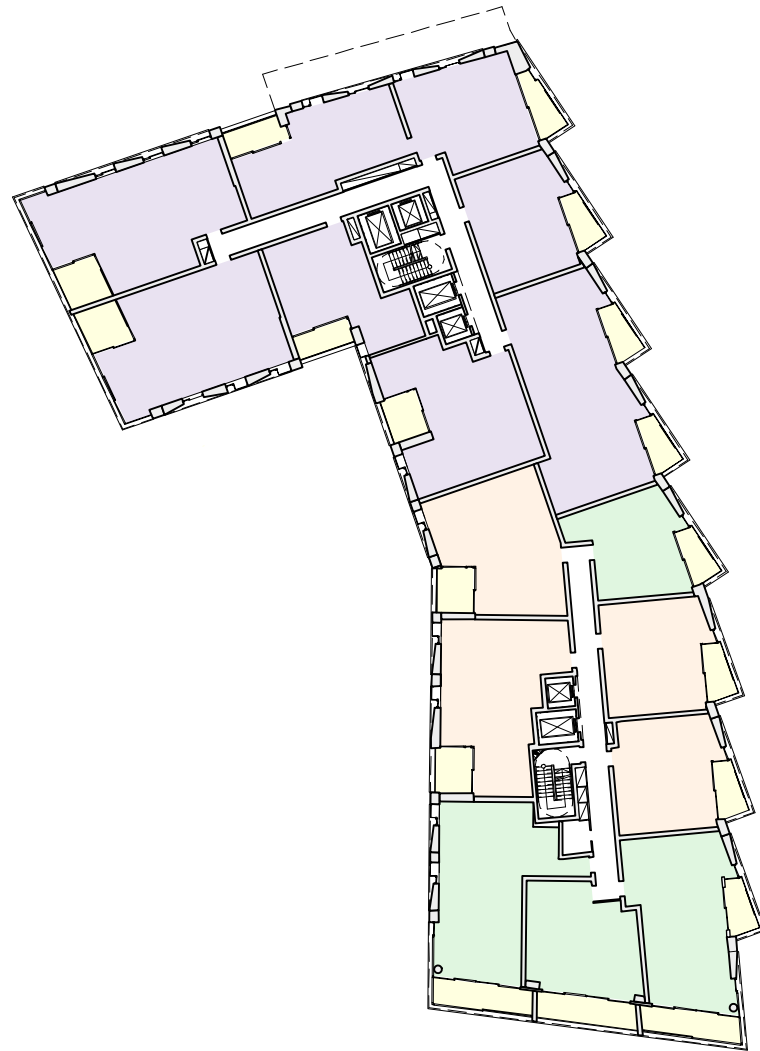


Ground Floor
1:500@A4

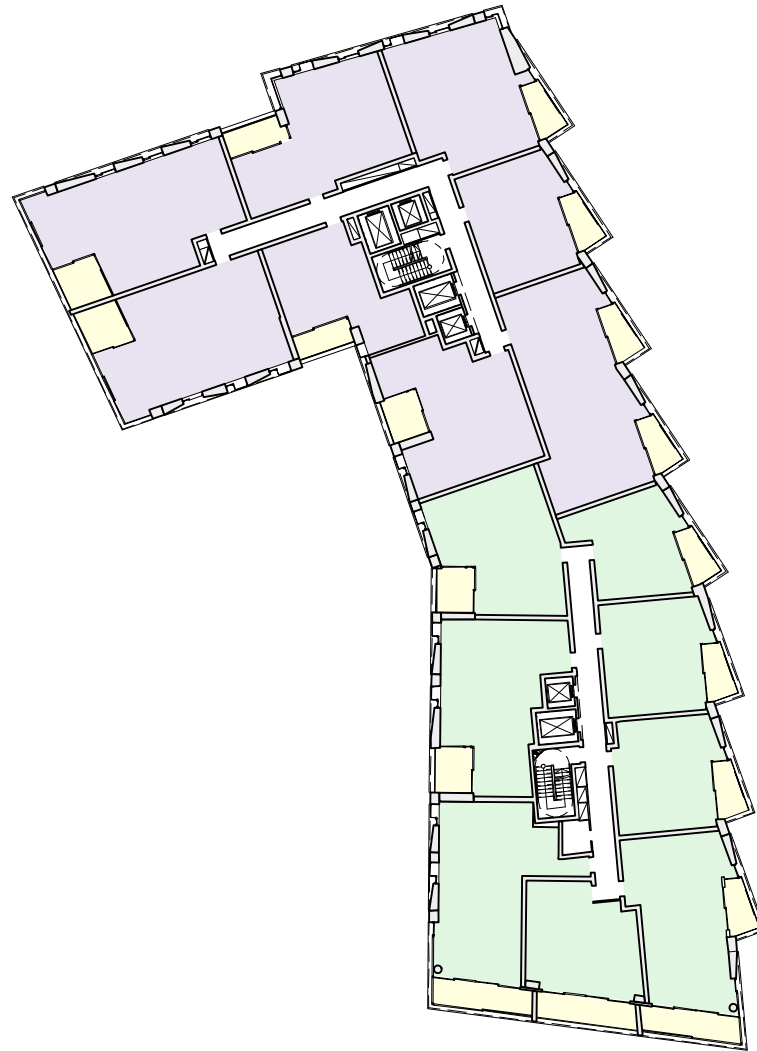


Ground Floor Mezzanine
1:500@A4

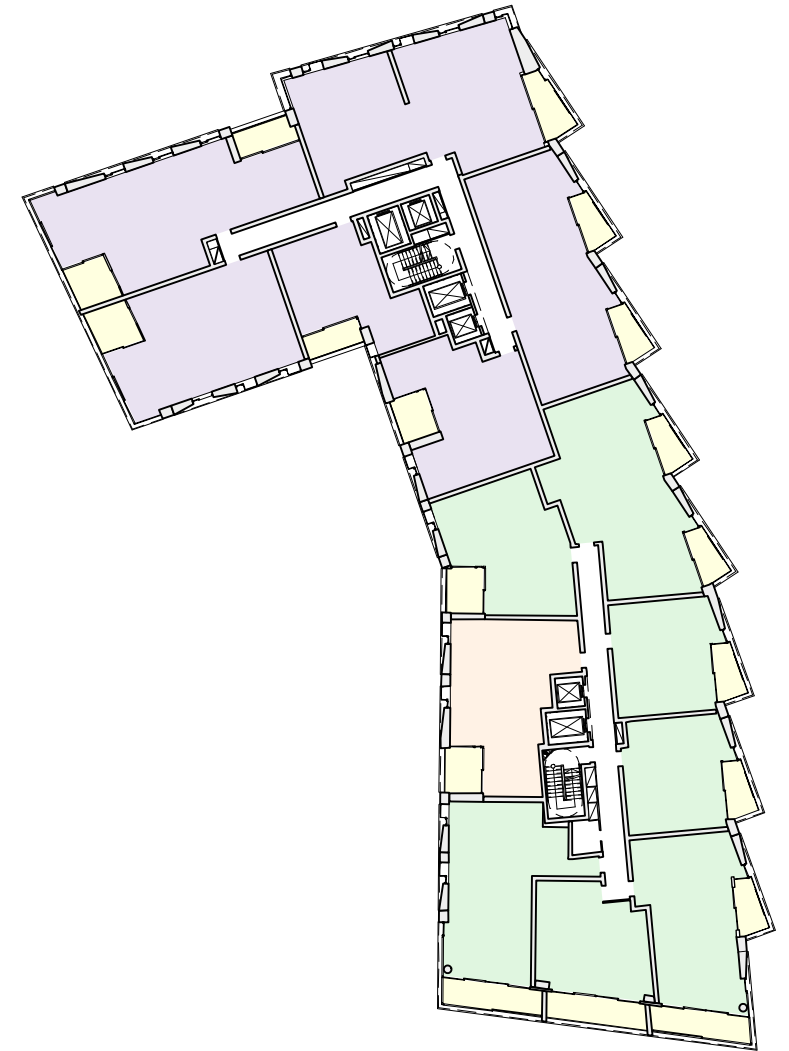
- Key to Uses**
- B1/ B1c Commercial
 - Affordable Rent Residential Unit
 - Shared Ownership Residential Unit
 - Private Residential Unit



Level 01 – Areas
1:500@A4



Level 02 – Areas
1:500@A4



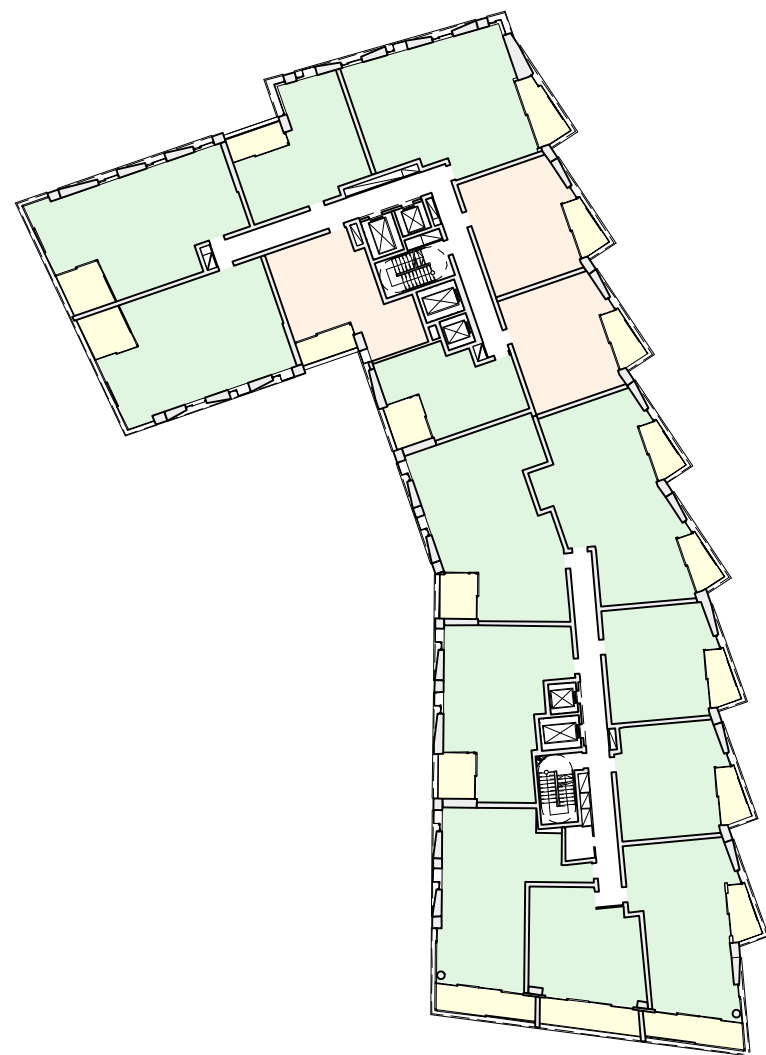
Level 03 – Areas
1:500@A4

Key to Uses

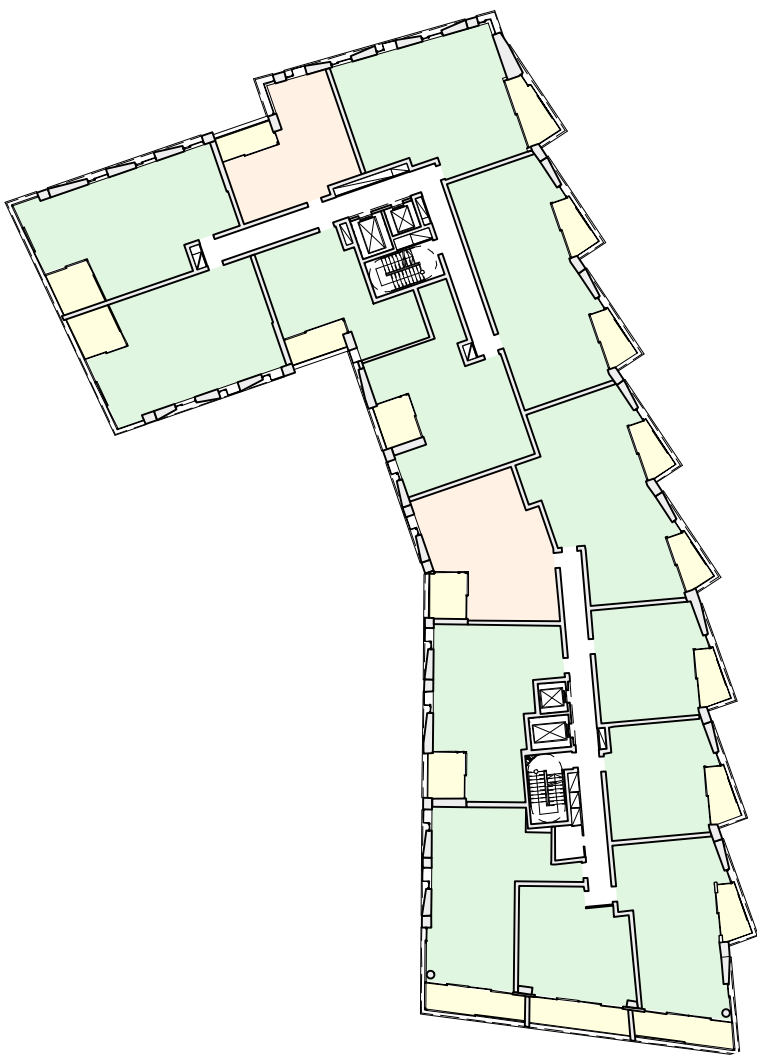
- B1/ B1c Commercial
- Affordable Rent Residential Unit
- Shared Ownership Residential Unit
- Private Residential Unit

APPENDIX A

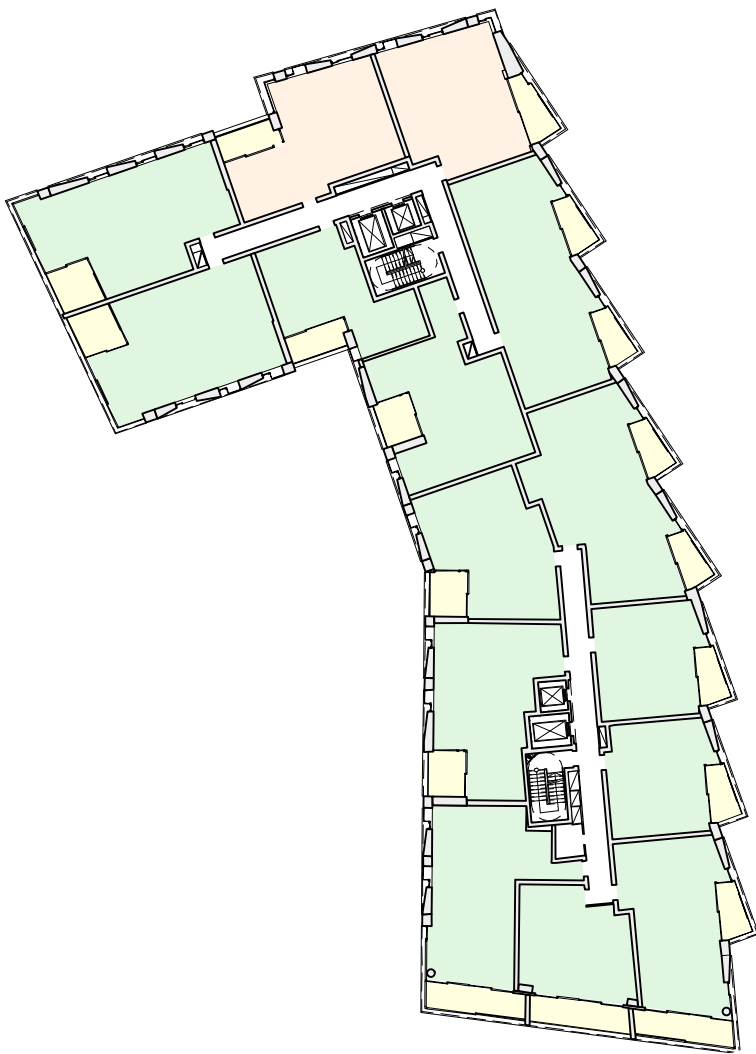
Schedule of Accommodation and Area



Level 04 – Areas
1:500@A4



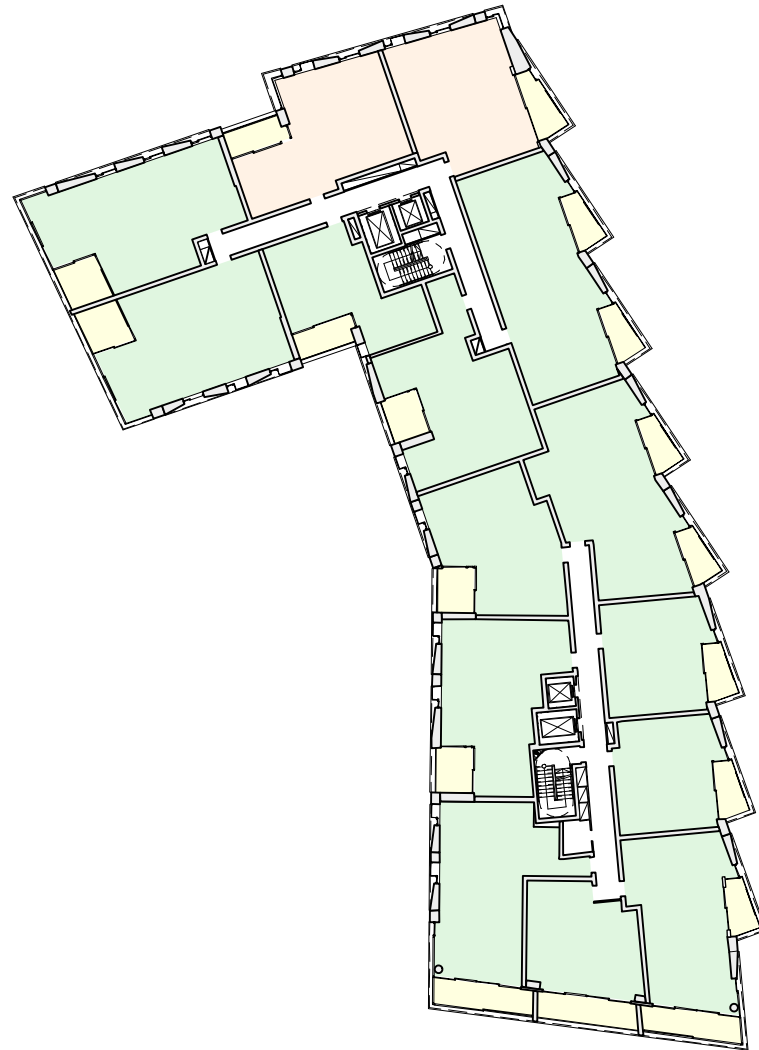
Level 05 – Areas
1:500@A4



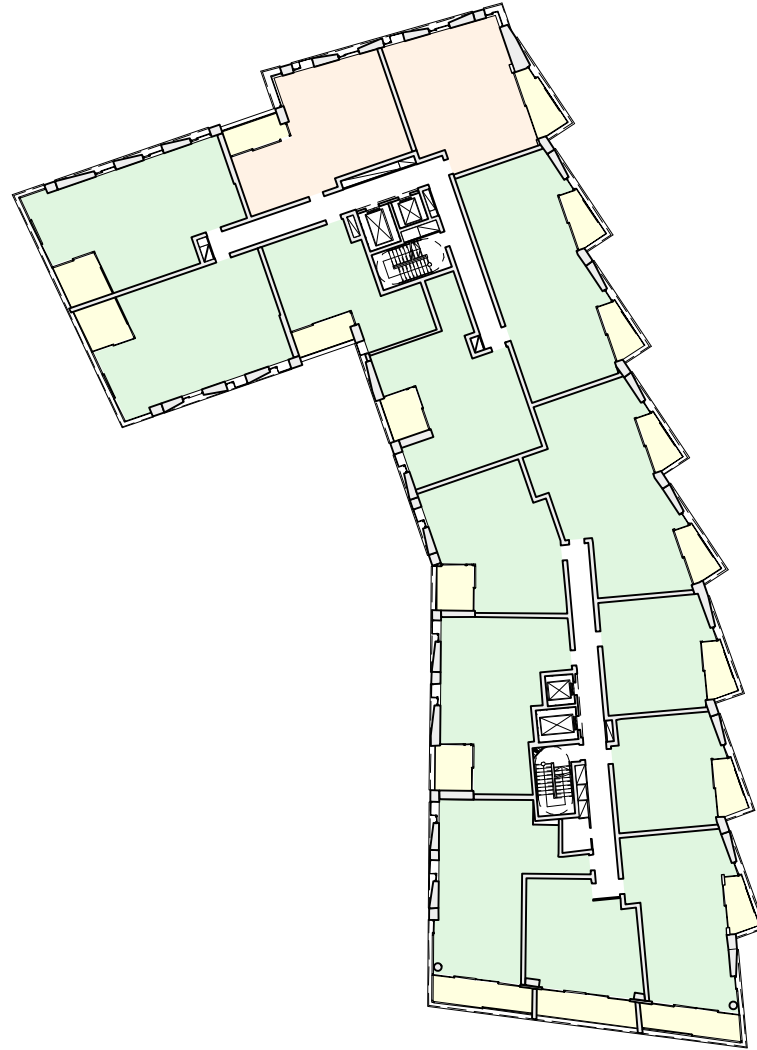
Level 06 – Areas
1:500@A4

Key to Uses

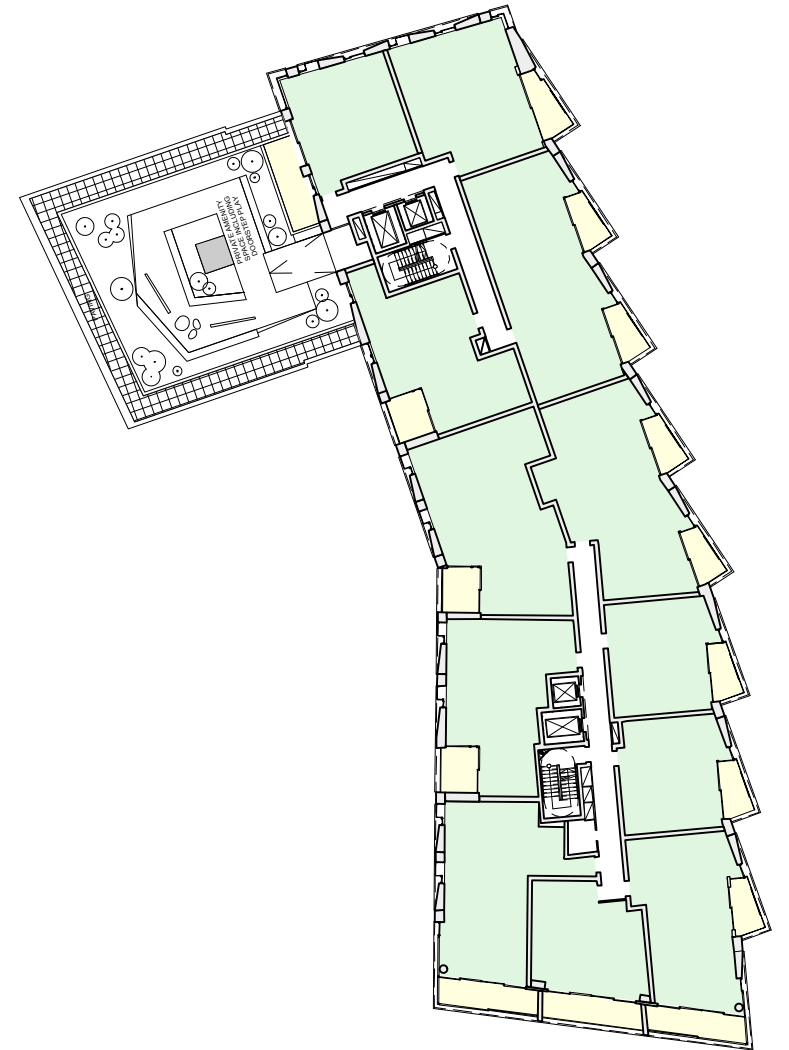
- B1/ B1c Commercial
- Affordable Rent Residential Unit
- Shared Ownership Residential Unit
- Private Residential Unit



Level 07 – Areas
1:500@A4



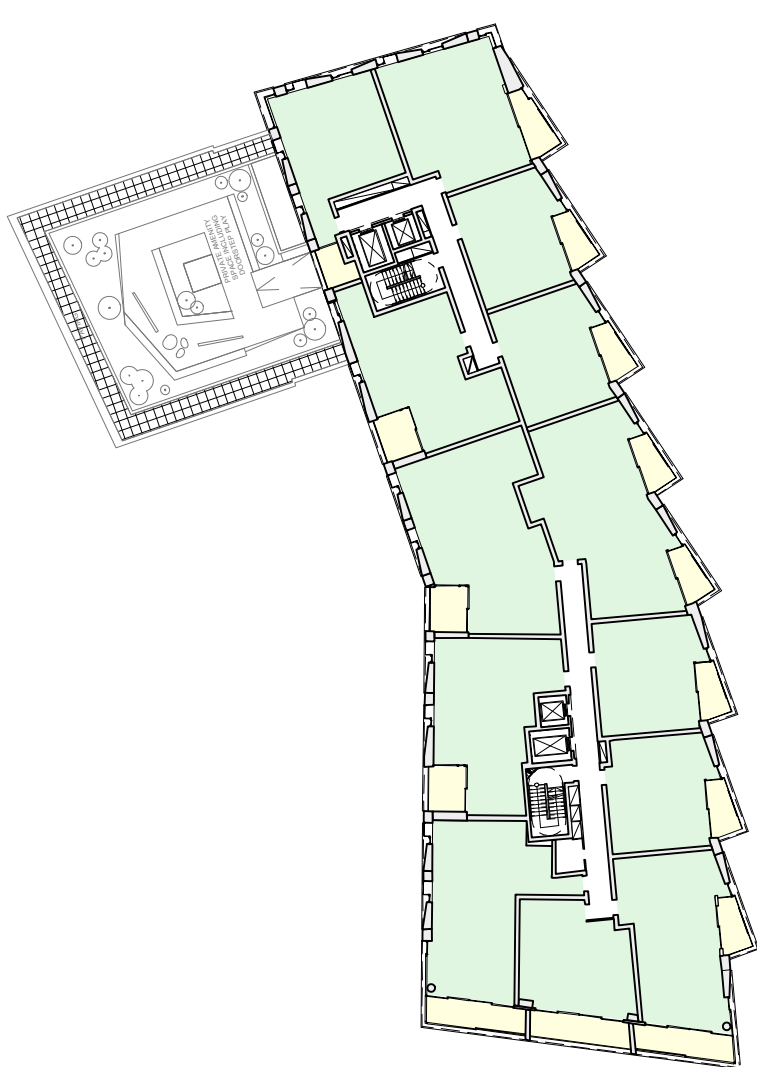
Level 08 – Areas
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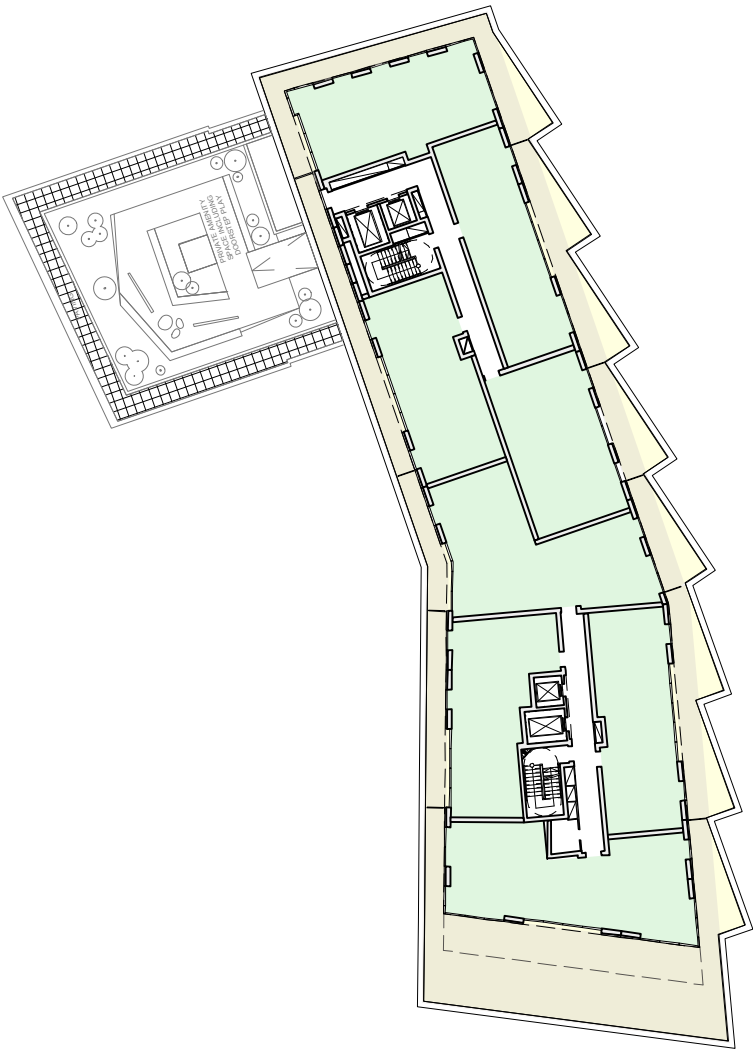
Level 09 – Areas
1:500@A4

APPENDIX A

Schedule of Accommodation and Area



Level 10 – Areas
1:500@A4



Level 11 – Areas
1:500@A4

Key to Uses

- B1/ B1c Commercial
- Affordable Rent Residential Unit
- Shared Ownership Residential Unit
- Private Residential Unit

APPENDIX B

Design Visualisation



View 1 – Canal View

APPENDIX B

Design Visualisation



View 2 – Camley Street View

APPENDIX B

Design Visualisation



View 3 – Pedestrian Link looking South

APPENDIX B

Design Visualisation



View 3 – Pedestrian Link looking North

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