

Design and Access Statement

APPLICANT : **Mr Gabriel de Mercur**
APPLICATION SITE : **71 Arlington Road, London, NW1 7ES**
OUR REF : **DP/2337/PP**
DATE : **07/07/2014**

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1.0 The site Location and Description

The application site is a Grade 2 listed mid terrace property which comprises 4 storeys including basement level. Currently the rear garden is accessed through the doors from the basement however previously the access to the garden was also achieved through a timber staircase from the bathroom located between the ground and first floors.

2.0 The Proposal

Single Storey Rear Extension and Associated External Alterations.

3.0 Design Principle

i). The development of the property should be in keeping with the style and character of the area.

ii).The development should respect the amenity of neighbouring properties in terms or privacy, day lighting and disturbance due to noise from adjacent living areas.

iii).The design of the proposed development should be in keeping with the general standard of the area in terms of design, amenity, layout, facilities and convenience.

4.0 Design Solution

The application seeks to grant permission for the extension of a single storey rear extension matching neighbour's existing at No. 73. The proposed depth of the single storey rear extension will match the one which exist at No.73 as demonstrated on attached plans.

The extension will be a flat roof with decking on top of the flat roof to be used as the terrace area similar to neighbour's existing terraces. The extension will be built using matching materials to the existing building. A new contemporary staircase will be installed on the same location of the original staircase which existed at the rear of the property providing access from ground floor to the rear garden also to the terrace area.

The house itself is a large 4+ bedroom family dwelling which lacks living and entertaining space for any family which will occupy the house. The proposed scheme will create a large open plan kitchen/dining/living area for the future occupiers creating a much better way of life.

The single storey extension will have 2 slim line roof lights bedded into the decking which will provide further natural light to this living area as well as the large bi-fold doors at the rear of the extension.

Internal changes include demolition of chimney breasts located at basement, first and second floor levels. There will be few more minor alterations internally such as creating a new door entrance from the hallway at second floor level to the rear bedroom.

There will be no changes to the front of the building which is the only part of the building that is visible from the public path.

5.0 Sustainability

In terms of sustainability the new unit will be energy efficient, the thermal elements will be constructed to a high standard in compliance with current building regulations standards. Therefore a low level fuel will be required to heat and sustain the new unit. This will ensure the carbon footprint is kept to a minimum.

- All new sanitary ware will be low flow to reduce water consumption.
- Energy efficient lighting will be introduced into the new unit.
- The contractor will segregate waste onsite for recycling.
- Throughout the construction of the development, local materials will be sourced where possible to ensure transportation and emissions are kept to a minimum.

6.0 Examples of Proposed Staircase Materials

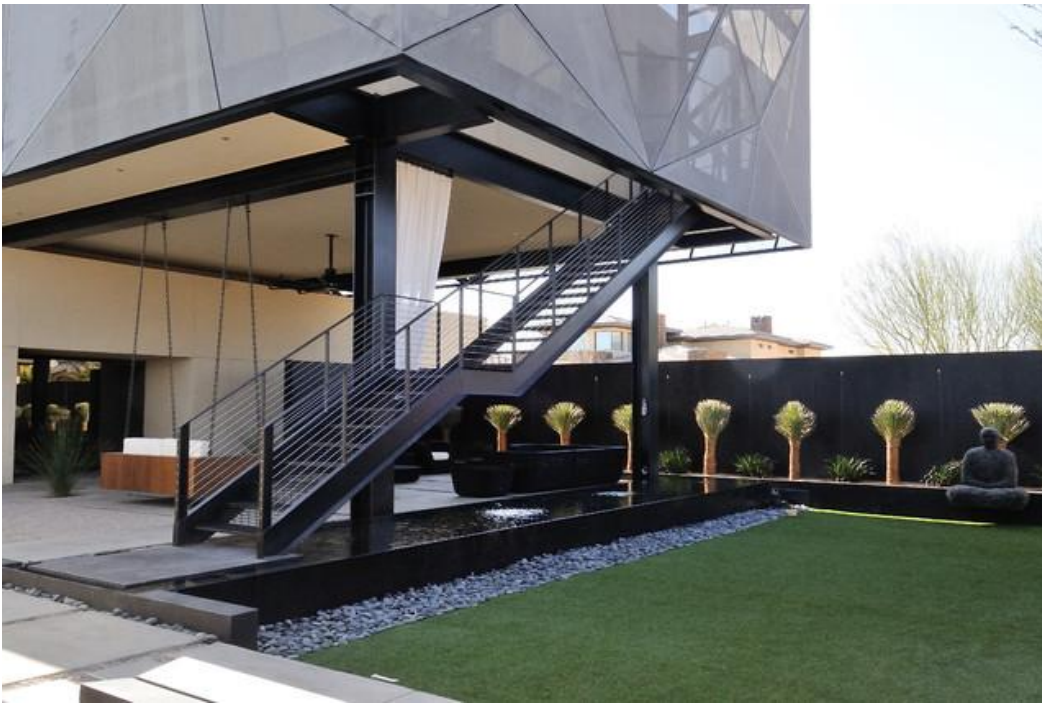


Image showing similar handrails and guarding to the proposed at the application site



Image showing a similar staircase as proposed with a central steel core

7.0 Conclusion

It is considered that the proposed scheme will not adversely impact residential amenity or the visual amenity of the host building. Nor is it considered to have a detrimental impact upon the character and appearance of the street scene and the general area. The proposed scheme will create a much needed modern living space for the large family dwelling whilst keeping the character and the heritage of the building.

8.0 Site Pictures



Photo showing existing rear elevation



Photo showing neighbour's existing rear extension at No.73