



0 1 5m

	Hatch thus de	enotes new build area	
E	2014.06.24	Minor ammendments to approved drawings	KK
D	2014.02.24	Revised following comments from Local Authority Conservation Officer.	MR
С	2013.12.06	Planning Submission	NI
В	2013.11.27	Revisions to internal layouts	NI
Α	2013.11.25	Revisions to internal layouts	NI
rev.	date	description	revised by

stage Planning	Proposed Lower Grou	ind Floor Plan	
<u>Lipton</u>		This drawing is copyrights and the state of	E mail@lparchitects.

	mt .		81-83 Essex Road Islington London N1 2SF	<b>T</b> +44 (0)20 72 <b>F</b> +44 (0)20 72		E mail@lparchitects.co.uk W www.lparchitects.co.uk
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AC		CTS			Londo W1T	
scale 1:50 @ A1 1:100 @ A3	date issued 2013.10.29	drawn by	drawing no 336.(1). <b>1.001</b>		revision	





5m 

Hatch thus denotes Unit 02

Hatch thus denotes Unit 01

Hatch thus denotes new build area 2014.06.26 Revised following comments from Local Authority Conservation Officer. 2014.02.24 Revised following comments from Local Authority Conservation Officer. 2013.12.06 Planning Submission 2013.11.27 Revisions to internal layouts 2013.11.25 Revisions to internal layouts description revised by

revisions

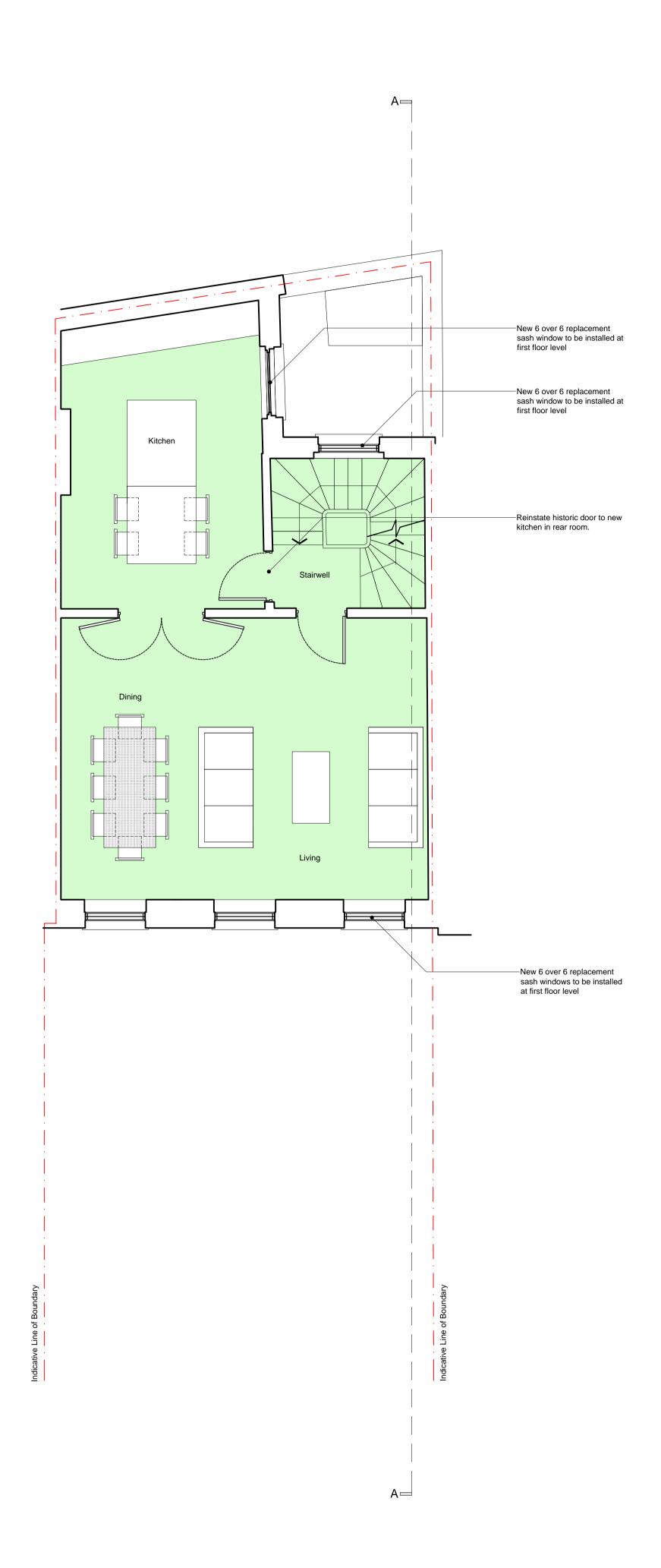
1:100 @ A3

stage Planning drawing title
Proposed
Ground Floor Plan This drawing is copyright.

Mr Landon Kulick project Address

16 Cleveland Street London W1T 4HX scale date issued NI 1:50 @ A1 2013.10.30 NI

drawing no 336.(1).1.002



Proposed First Floor Plan

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Hatch thus denotes Unit 02



Hatch thus denotes new build area

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rev.	date	description	revised by
Α	2013.11.27	Revisions to internal layouts	NI
В	2013.12.06	Planning Submission	NI
С	2014.02.24	Revised following comments from Local Authority Conservation Officer.	MR
D	2014.06.26	Revised following comments from Local Authority Conservation Officer.	KK

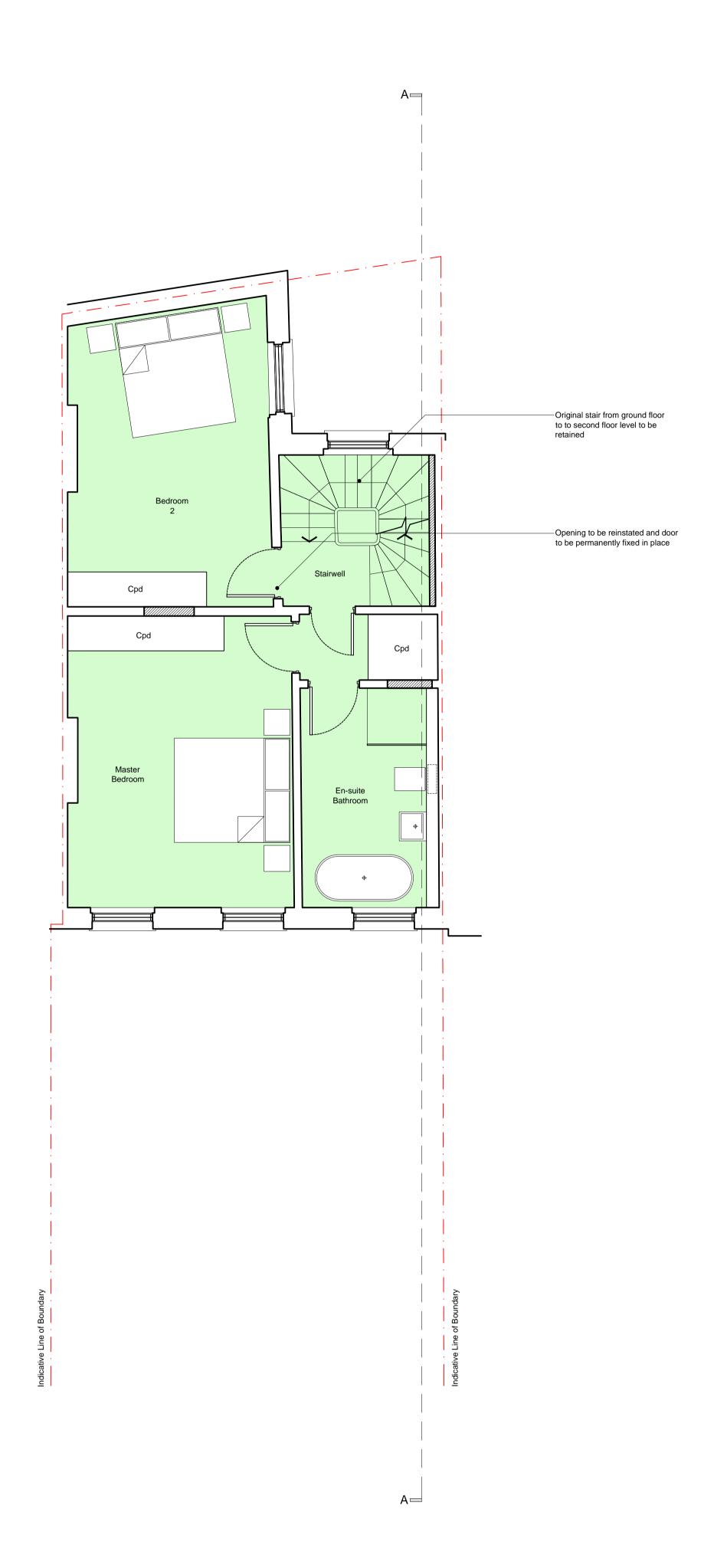
stage Planning	drawing title Proposed First Floor Plan
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I:100 @ A3				_



Proposed Second Floor Plan

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) 1 5m

Hatch thus denotes Unit 02

Hatch thus denotes new build area

revisions			
rev.	date	description	revised by
A	2013.11.25	Revisions to internal layouts	NI
В	2013.11.27	Revisions to internal layouts	NI
С	2013.12.06	13.12.06 Planning Submission	
D	2014.02.24	Revised following comments from Local Authority Conservation Officer.	MR
Е	2014.06.26	4.06.26 Minor ammendment	

<sup>stage</sup> Planning	drawing title Proposed Second Floor Plan			
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Architects	<b>Mr</b>

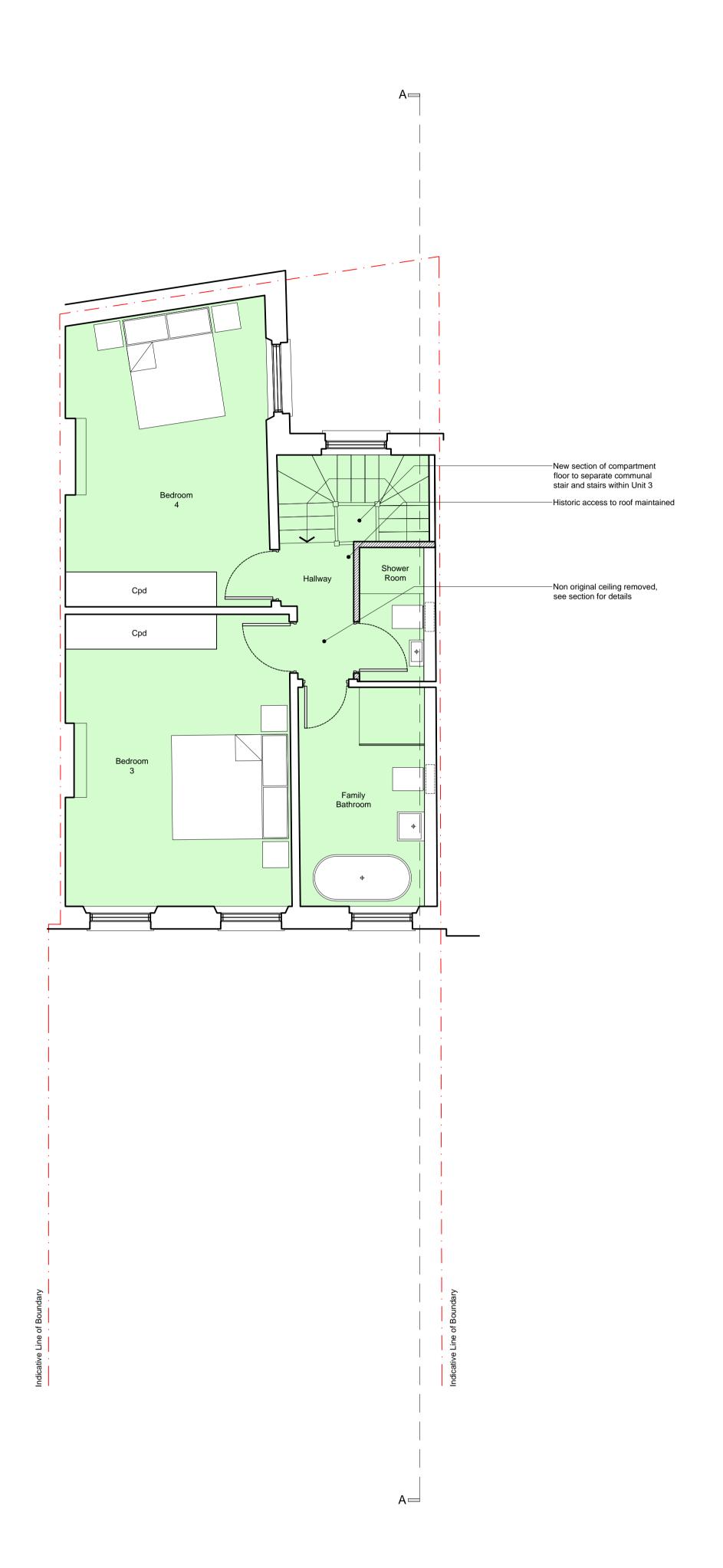
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scale 1:50 @ A1 1:100 @ A3	date issued 2013.10.30	drawn by	drawing no 336.(1). <b>1.004</b>	revision



Proposed Third Floor Plan

Hatch thus denotes Unit 02

Hatch thus denotes new build area

rev.	date	description	revised by
Α	2013.11.25	Revisions to internal layouts	NI
В	2013.11.27	Revisions to internal layouts	NI
С	2013.12.06	Planning Submission	NI
D	2014.02.24	Revised following comments from Local Authority Conservation Officer.	MR
E	2014.06.24	Minor ammendment	KK

Proposed
Third Floor Plan This drawing is copyright.

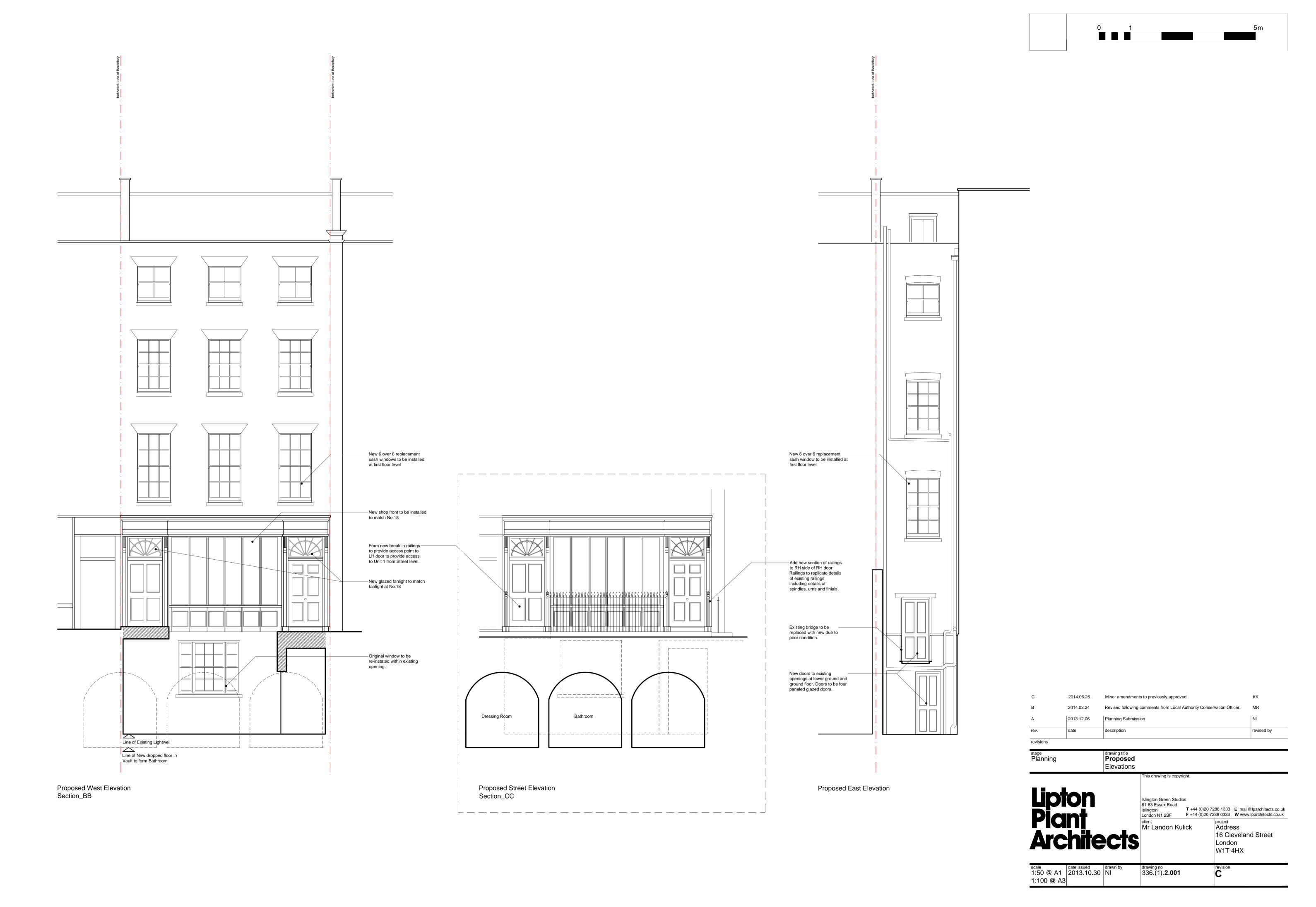
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client project
Mr Landon Kulick Address Address
16 Cleveland Street

London W1T 4HX

scale 1:50 @ A1 1:100 @ A3 date issued 2013.10.30 NI drawing no 336.(1).**1.005** 







## **General Demolition Notes**

1. Where walls / ceilings / floors demolished and doors / windows stripped out the contractor is to ensure all adjoining areas of structure are made good in preparation for new finishes / linings / structural elements etc.

2. Where Skirting / Architrave / Picture Rails / Doors / Windows are to be removed, Contractor is

to retain samples of all types and mark original

location in preparation for supply of new.

3. All existing doors and windows to be removed and replaced. Retain existing doors and windows on site to ensure new match existing exactly.

4. Remove all existing carpets / wallpaper / cornices throughout.

