





Delegated Report (Members Briefing)		Analysis sheet	Expiry Date:	29/04/2014
		N/A / attached	Consultation Expiry Date:	17/04/2014
Officer			Application Number(s)	
Fergus Freaney			2014/1627/P	
Application Address			Drawing Numbers	
Sienna Buildings 47/48 Hatton Gardens London EC1N 8EX			See decision notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
Erection of projecting balconies on the 1st, 2nd, 3rd, 4th and 5th floor rear elevation of flats.				
Recommendation(s):	Grant Planning Permission			
Application Type:	Full Planning Permission			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	45	No. of responses	09	No. of objections	04
Summary of consultation responses:	<p>Site notice: 25/03/2014 – 15/04/2014 Press notice: 27/03/2014 – 17/04/2014</p> <p>5 letters of support received</p> <p>4 letters of objection received, summarised as follows:</p> <ul style="list-style-type: none"> - The balconies would add to noise within the tightly confined area. <i><u>Officer comment:</u> Given the residential nature of the site and modest size of the balconies it is unlikely that noise issues will be excessive. Nonetheless if noise becomes a nuisance, it will need to be reported to the Council's Environmental Health Team for investigation</i> - The balconies would overlook adjoining windows and terraces. <i><u>Officer comment:</u> Please see section 7-10 of the report below.</i> 					
CAAC/Local groups comments:	Bloomsbury CAAC – No comments received.					

Site Description

The site is located on the east side of Hatton Garden. It comprises a 7 storey residential building. The site is not listed, but is within the Bloomsbury Conservation Area.

Relevant History

No relevant history

Relevant policies

LDF Core Strategy and Development Policies

CS1 - Distribution of Growth

CS5 – Managing the impact of growth and development

CS14 – Promoting high quality places and conserving our heritage

DP24 – Securing high quality design

DP25 – Conserving Camden's heritage

DP26 – Managing the impact of development on occupiers and neighbours

Camden Planning Guidance 2011 (CPG1: Design; CPG6: Amenity)

Bloomsbury Conservation Area Statement

London Plan 2010

NPPF 2012

Assessment

1. Proposal:

2. Permission is sought for the installation of projecting balconies at the rear of the building from 1st to 5th floor, to replace the existing Juliet balconies.
3. During the determination period the balconies were reduced in size to lessen their impact (from 5m in width to 2.6m in width).

4. Assessment:

5. The proposed balconies would measure approx. 2.6m in width x 1.4m in depth, they would be constructed from metal and glazing and would replace the existing glazed Juliet balconies.
6. In terms of design they would be modest additions to the building, constructed from complementary materials. They would not appear obtrusive on the rear façade and are considered to be acceptable and broadly comply with Camden Planning Guidance.
7. A number of objections have been received with regard to noise levels and overlooking. As a response to this the initial proposal for balconies measuring approx. 5m in width was reduced in size to the current proposal for balconies measuring 2.6m wide.
8. It is considered that this provides a good balance between the provisions of some modest outdoor amenity space to residents of the Sienna Building, but also preserves the amenity of surrounding neighbours. Given the balconies modest measurements it would be hard to demonstrate that the types of uses which could be carried out on them would be detrimental to amenity as to warrant refusal – considering that there are already Juliet balconies and full height windows on the rear of the building.
9. The reduction in width will minimise impact on the residents on St Cross Street by setting it further away from their windows. Views onto surrounding terraces and balconies are already possible with

the existing Juliet balconies and full height windows and it is not considered that the residential use would be so intensive as to seriously harm amenity.

10. Similarly, the potential for direct views into rooms of adjoining properties would not be increased above what is currently possible with the existing situation, and any views into the adjoining building to the north would be at very oblique angles and would not be direct.

11. Recommendation: Grant Planning Permission

Ronald Fender
Ronald Fender Designs
West House
Thornhill
Westerham Road
Limpsfield
surrey

Application Ref: **2014/1627/P**
Please ask for: **Fergus Freaney**
Telephone: 020 7974 **3366**

27 June 2014

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:
Sienna Buildings
47/48 Hatton Gardens
London
EC1N 8EX

DECISION

Proposal:
Erection of projecting balconies on the 1st, 2nd, 3rd, 4th and 5th floor rear elevation of flats.
Drawing Nos: Site location plan; 9119/12A; 9119/13A

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as



possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: Site location plan; 9119/12A; 9119/13A

Reason: For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Rachel Stopard
Director of Culture & Environment

DRAFT

DECISION