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**Development Control  
Planning Services**  
London Borough of Camden  
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Steven Adams Architects  
28b Englands Lane  
London  
NW3 4UE

Application No: PWX0202182/  
Case File:H7/4/A

29th July 2002

Dear Sir(s)/Madam

**DECISION**

Town and Country Planning Act 1990  
Town and Country Planning (General Development Procedure)  
Order 1995  
Town and Country Planning (Applications) Regulations 1988

PERMISSION FOR DEVELOPMENT - Subject to Conditions

Address :  
Swiss Cottage Hotel 2-6 Adamson Road London NW3

Date of Application : 28/02/2002

Proposal :

Renewal of planning permission dated 07/03/97  
(Ref.PW9702033) for erection of part 1 and part 2 storey  
building and associated access bridges to rear of hotel, to  
provide 4 guest bedrooms.  
As shown on drawing numbers 055/GA01, 2B, 3A, 4A, & 5B

The Council has considered your application and decided to grant  
permission subject to the following conditions:

Standard condition:

The development hereby permitted must be begun not later than the  
expiration of five years from the date of this permission.

Standard Reason:

In order to comply with the provisions of Section 91 of the Town  
and Country Planning Act 1990.



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## Additional conditions:

- 1 Details of proposed windows and surrounds shall be submitted to and approved by the Council before any work on site is commenced, and thereafter the development shall be implemented in accordance with the approved details.
- 2 Details of the design of building foundations and the layout, with dimensions and levels, of service trenches and other excavations on site insofar as these items may affect trees on or adjoining the site, shall be submitted to and approved by the Council as the local Planning Authority before any works on site are commenced.
- 3 All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage to the satisfaction of the Council for a period of at least 12 months following the completion of the development hereby approved, or such longer period as may be required under Sections 198 and 211 of the Town and Country Planning Act 1990.

## Reasons for additional conditions:

- 1 To ensure that the Council may be satisfied with the external appearance of the building in accordance with the requirements of policies EN1, EN13 and EN31 of the London Borough of Camden Unitary Development Plan 2000.
- 2&3 To ensure that the Council may be satisfied that the development will not have an adverse effect on existing trees and in order to maintain the character and amenities of the area in accordance with the requirements of policy EN61 of the London Borough of Camden Unitary Development Plan 2000.

Standard Informative: You are advised that any references in this decision to specific policies in the adopted Unitary Development Plan are references to the policy numbers in the final published version of the Plan, dating from April 2nd 2001. The reference number is likely to be different from the reference number to the same policy in the published version of the Plan before that date.



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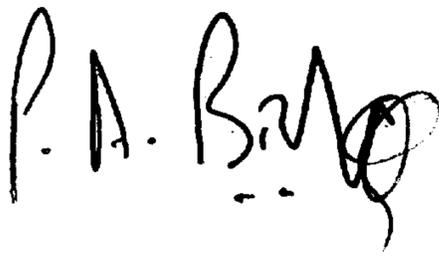
## Additional informative:

- 1 Works of construction and ancillary activity should not take place other than between the hours of 08.00am to 18.00 pm on Monday to Friday and 08.00am to 13.00pm on Saturday, with no working on Sunday or Bank Holidays, in order to comply with locally enforced standards.

This application was dealt with by Charles Thuairé on 020 7974 5867.

Your attention is drawn to the notes attached to this notice which tell you about your Rights of Appeal and other information.

Yours faithfully



Environment Department  
(Duly authorised by the Council to sign this document)

DecfplanWC/TPFU



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