

H/16/15/A

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Slaughter and May  
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EC2V 5DB

Application Ref: **PSX0105374**  
Please ask for: **Hannah Baker**  
Telephone: 020 7974 2078

Date: 9 March 2004

Dear Sir/Madam

### DECISION

Town and Country Planning Acts 1990 (as amended)  
Town and Country Planning (General Development Procedure) Order 1995  
Town and Country Planning (Applications) Regulations 1988

**Full Planning Permission Granted Subject to a Section 106 Legal Agreement**

Address:  
**New Garden House,  
71-78 Hatton Garden  
5-7 St Cross Street &  
28-38 Leather Lane  
London  
EC1N 8LD**

Proposal:  
Part demolition of New Garden House and extension into existing car park for B1 use, external refurbishment involving alterations to elevations and new entrance, change of use of 28-38 Leather Lane from B1 to ground floor A1 retail with residential above, installation of new plant equipment.

Drawing Nos: Environmental Guide,  
BRE Daylighting and Sunlighting study, Transport Impact Statement, Archaeological Assessment,  
097.01, 098.02, 099.03, 120, 121, 122, Schedule of current occupiers, Acoustic Report 11th June 2001  
058/C, 060/C, 062/B, 063/A, 064/A, 065/A, 066/A, 067/B, 068/C, 069, 070/A, 071, 080, 081, 089, 090,  
030, 031, 032, 033, 034, 035, 036, 037, 038, 050/C, 051/C, 052/C, 053/B, 054/B, 055/B



accordance with the requirements of policies EN15, EN31 and EN35 of the London Borough of Camden Unitary Development Plan 2000.

- 5 Before the use commences, the air-condition plant shall be provided with acoustic isolation and sound attenuation in accordance with a scheme to be first approved by the Council. The acoustic isolation shall thereafter be maintained in effective order to the reasonable satisfaction of the Council.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies RE2, EN5, EN6 and DS6 of the London Borough of Camden Unitary Development Plan 2000.

- 6 No process shall be carried on or machinery installed which is not as such as could be carried on or installed in any residential area without detriment to the amenity of that area by reason of noise, vibration, smell, fumes, smoke, soot, ash, dust or grit.

To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of RE2 of the London Borough of Camden Unitary Development Plan, March 2000.

- 7 Noise levels at a point 1 metre external to sensitive facades shall be at least 5dB(A) less than the existing background measurement (LA90) expressed in dB(A) when all plant/equipment are in operation. Where it is anticipated that any plant/equipment will have a noise that has a distinguishable, discrete continuous note (whine, hiss, screech, hum) and/or if there are any distinct impulses (bangs, clicks, clatters, thumps) special attention should be given to reducing the noise levels from that piece of plant/equipment at any sensitive façade at least 10dB(A) below the LA90, expressed in dB(A).

To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of RE2 of the London Borough of Camden Unitary Development Plan, March 2000.

- 8 The development shall be constructed in strict accordance with the drawings hereby approved or drawings, which are subsequently approved pursuant to conditions, which are attached to this planning permission.

To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies EN1, EN13 and EN31 of the London Borough of Camden Unitary Development Plan, March 2000.

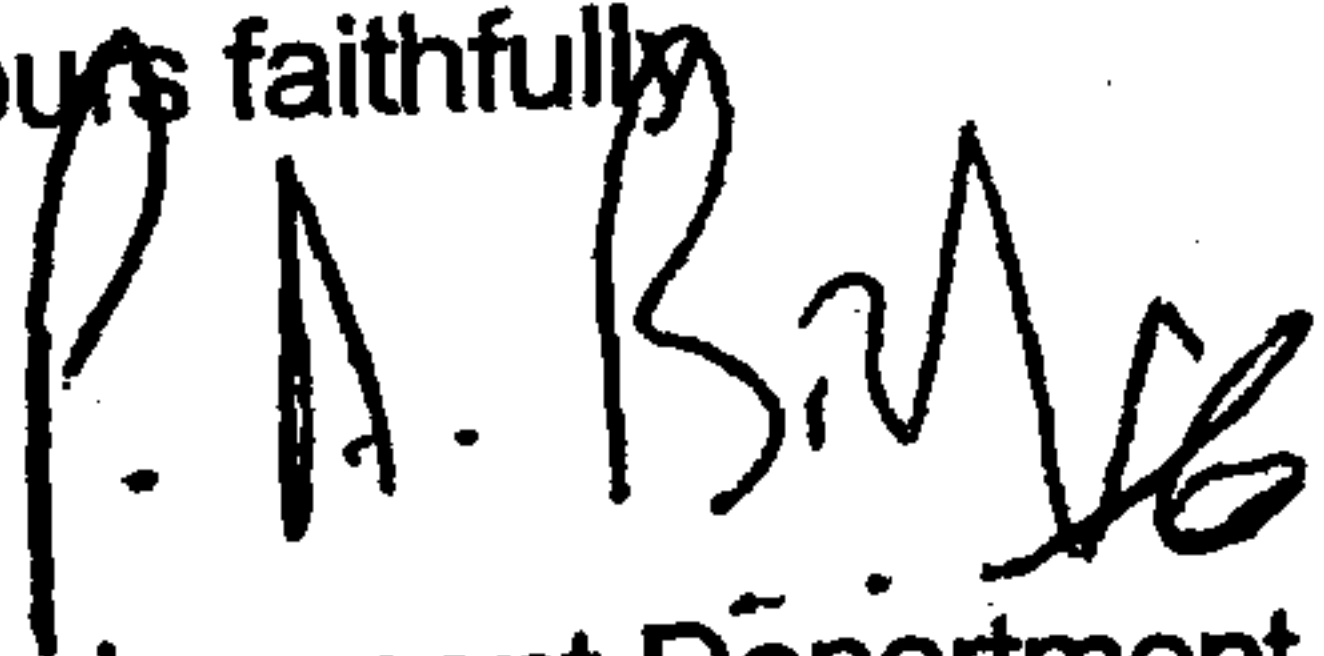
- 9 The details of the elevations and facing materials to be used on the building (including a full sample panel) shall not be otherwise than have been submitted to and approved by the Council before any work on site is commenced.

To ensure that the council maybe satisfied with the external appearance of the building in accordance with policies EN1, EN13 and EN31 of the London Borough of Camden Unitary Development Plan, March 2000.

- 10 The retail floorspace hereby approved shall not be used for any purpose falling within Class A3 of the Schedule of the Town and Country Planning (Use Classes) Order, 1987, or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order.

Your attention is drawn to the notes attached to this notice which tell you about your Rights of Appeal and other information.

Yours faithfully



Environment Department  
(Duly authorised by the Council to sign this document)