



L A N D M A R K

Union Railways Property
14 Argyle Street, Camden
London WC1H 8EQ

Schedule of Works
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0562 AD0 1002B	Existing Floor Plans
0562 AD0 1003B	Existing Elevations and Photographs
0562 AD0 1004B	Proposed Floor Plans
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1.00 Proposed Works

- 1.01 The proposal involves the conversion of the house into two maisonettes and a studio flat by extending its height by one floor with a mansard roof. It is intended to achieve this through minimum disruption of the existing historic fabric.
- 1.02 The mansard roof addition to provide the additional accommodation has been designed to match those of neighbouring properties and within the confines of the existing party walls. The dormer windows have been designed to match the positions of the windows below.
- 1.03 The closet wing (lower ground floor) at the rear of the house is proposed to be rebuilt as it is in very poor condition to the same shape as the original but with brick to the ground floor side which is presently plywood and a lead roof rather than felt. A new timber box sash window is to be located in the side at ground floor as would have originally been included.

2.00 Basement

- 2.01 Front Room/Corridor: Creation of a new room by expanding corridor (no existing cornices).
- Demolish part of existing internal wall to create an opening with new lintel projecting down below ceiling, and nib to external wall end.
 - Remove external door, side panel and lean to roof (all in poor condition) to enclosed area partly below external steps to entrance.
 - Construct new internal stud walls with new door to bathroom. Door and architraves to match existing other doors.
 - Form new external rendered brick wall to match existing, with new timber panelled external door and timber box sash window in line with edge of entrance landing above.
 - Form new lower ground floor slab to extent of entrance landing above.
 - Upgrade existing doors to both front and rear rooms to half-hour fire resistance, retaining appearance of door and architrave styles.
- 2.02 Front External Area: New access stairs down from street.
- Remove up-stand below railings to width of new gate.
 - Remove railings to width of new gate.
 - Form new gate to match existing railing and add handrail to stairs also to support cut end of railings.
 - Construct new painted metal stairs with intermediate landing up from existing light well lower ground level up to pavement as detailed on drawing no. 0562 AD0 1017.
- 2.03 Rear External Area: Removal of single storey store and rebuilding of closet wing.
- Demolish single storey structure down to raised ground level at back and lower ground level by main house and make good.
 - Demolish two-storey closet wing down to lower ground level by main house.
 - Rebuild two-storey closet wing with brick and lead covered roof to match existing main building, to same size as existing structure, with new timber panelled door to store at basement and window to WC at Ground floor.

3.00 Ground Floor

- 3.01 Front Room: Change of access (Existing Cornices to all but rear hall/stairs)
- Relocate existing door from living room to corridor side of frame and line inside of frame within room to create required fire resistance, retain existing architraves to both sides and make good to match existing.
 - Widen existing opening between rooms and replace lintel.
 - Install new folding timber panelled doors into enlarged opening between rooms, and replace existing architraves (not original and too small) with new to match existing doors.
- 3.02 Corridor/Stairs: Creation of segregated access to ground floor/basement maisonette.
- Form new wall to enclose the entrance lobby as detailed on drawing no. 0562 AD0 1019 to preserve the existing staircase balustrade and newel post. New entrance door and architraves to match existing timber panelled doors. New partition wall is entirely within rear section of hall where there is no cornice to the ceiling. Junction of new wall with existing wall is located so as not to overlap the arch, which separates the front and rear halls.
 - Refit rebuilt closet wing to form new cloakroom with WC and washbasin.
 - Upgrade existing doors to rear room and cloakroom to half-hour, retaining appearance of door and architrave styles.

4.00 First Floor

- 4.01 Front Room: Change of access (Existing cornice to front room only).
- Relocate existing door from room to stair side of frame and line inside of frame within room to create required fire resistance, retain existing architraves to both sides and make good to match existing.
 - Create new opening with lintel as required for new timbered panelled door from lobby. Door and architraves to be to match existing timber panelled doors.
- 4.02 Rear Room: Subdivision of room (coving to rear room not original).
- Construct two new walls with new panelled doors to form bathroom and half-hour fire resisting to kitchen within existing room. Doors and architraves to match existing timber panelled doors.
 - Upgrade existing door to stair/rear room to half-hour, retaining appearance of door and architrave styles.

5.00 Second Floor

- 5.01 Stairs: Creation of segregated access to second/third floor maisonette.
- Form new wall to centre of stair well up to third floor, from top of lower flight, to top of upper flight and around new internal entrance door to Second/Third floor maisonette up to underside of third floor. Door and architraves to match existing other doors.
 - Upgrade existing door to stair/front room to half-hour, retaining appearance of door and architrave styles.

5.02 Rear Room: Change of access (no existing cornice any of second floor).

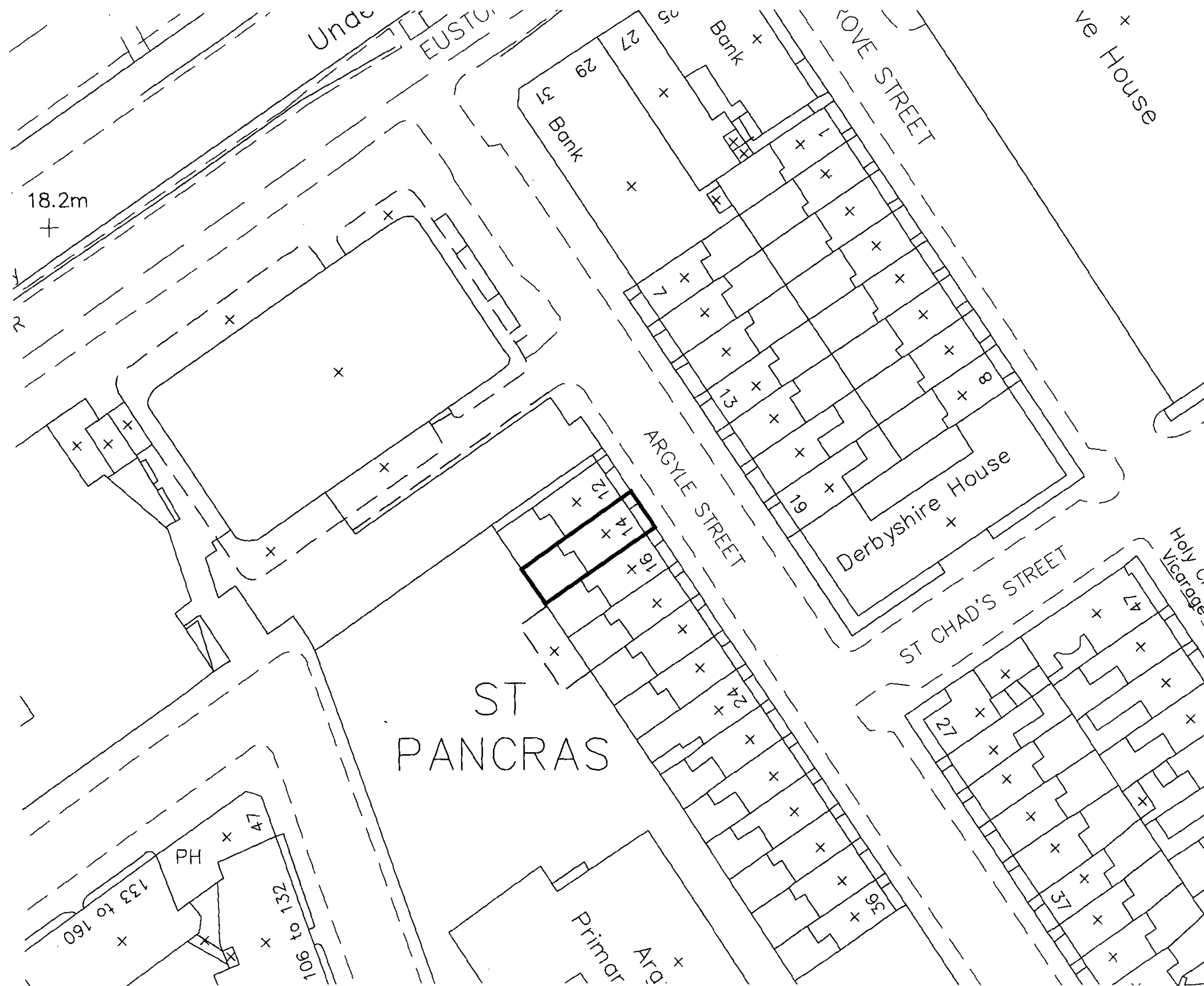
- Relocate new door (as removed) from rear room to stair side of frame and line inside of frame within room to create required fire resistance, retain existing architraves to both sides and make good to match existing.
- Create new opening with lintel as required for new door from front room. Door and architraves to be to match existing other doors.

6.00 Roof/Third Floor:

6.01 Addition of new storey

- Remove existing roof finishes, structure and ceiling joists.
- Construct new floor structure and finishes to proposed third floor.
- Construct new mansard roof structure to follow similar profile of front and rear lower roofs to number 12 and 16. Dormer windows to be as properties either side to front and as no's 16 upwards to rear. Finishes to be Welsh blue slate to steep back and front sections and code 6 lead sheet to top with vertical box sash painted timber windows as adjacent properties as detailed on drawing no. 0562 AD0 1018.
- Form new timber stair and handrail to match existing lower levels.
- Internally subdivide interior with plasterboard stud partitions and half-hour fire resisting timber panelled doors and architraves to match existing.

Do not scale: use given dimensions only. All setting out to be verified on site and any discrepancies notified to the Architect.

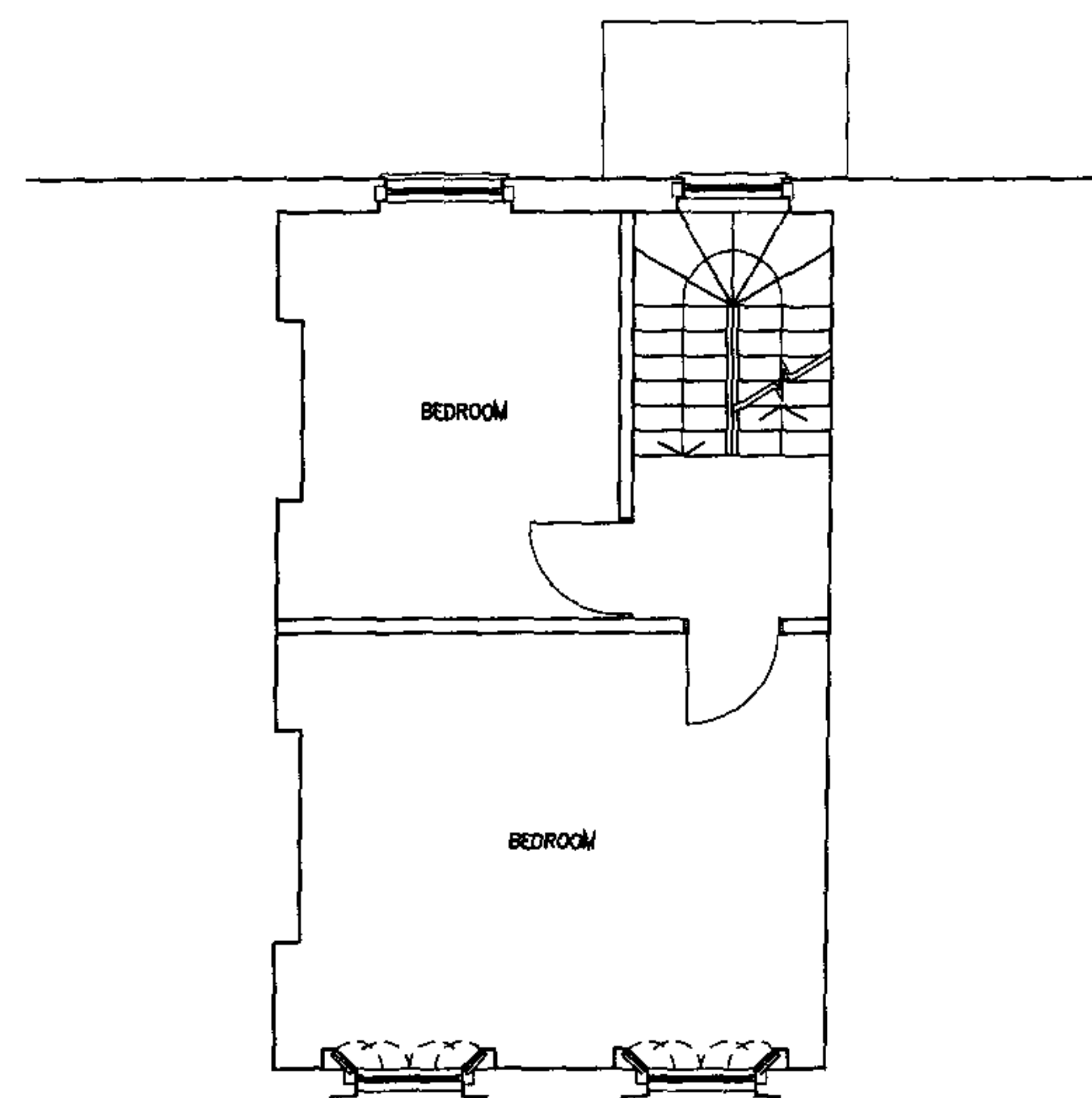


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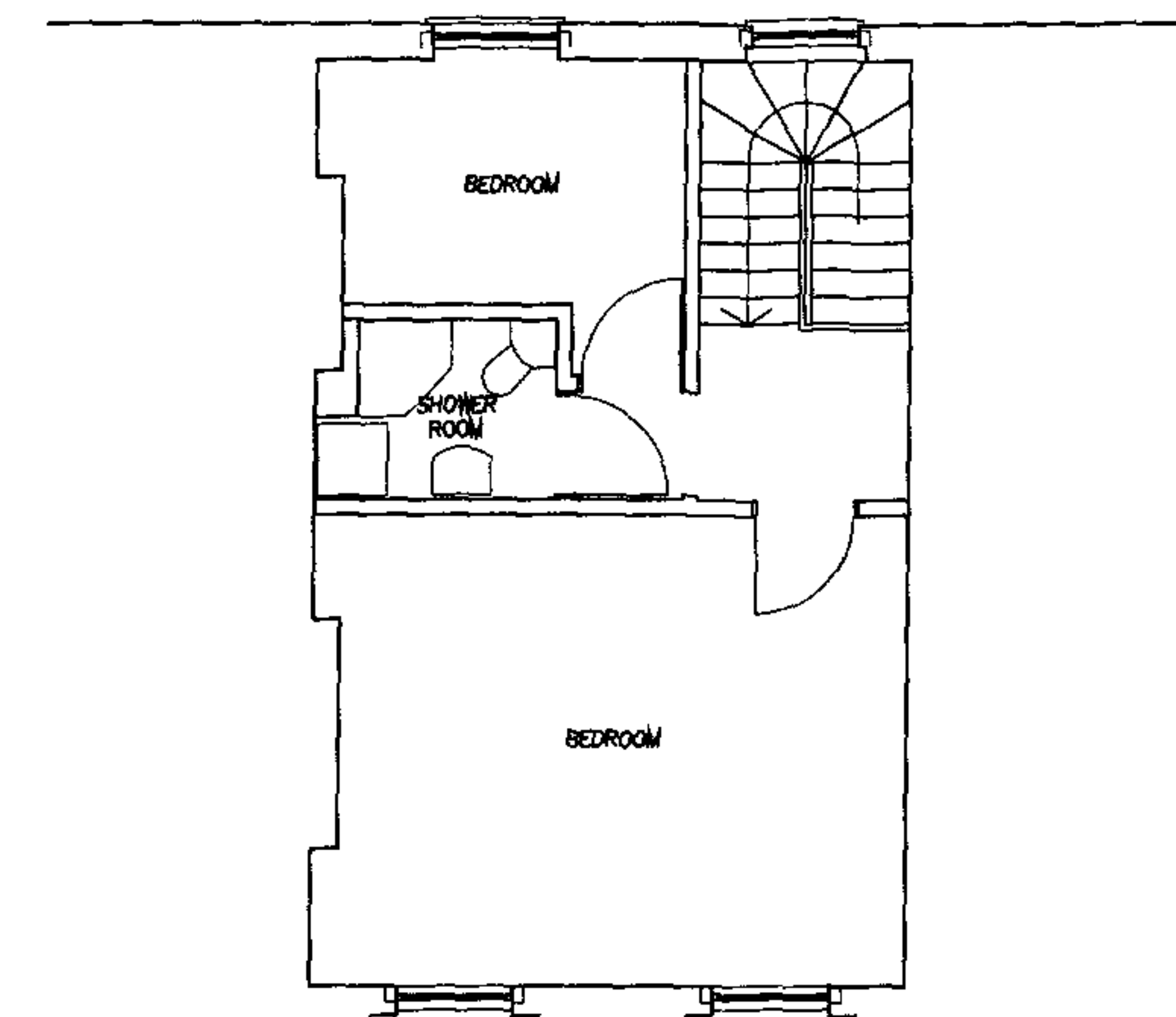
NOTES

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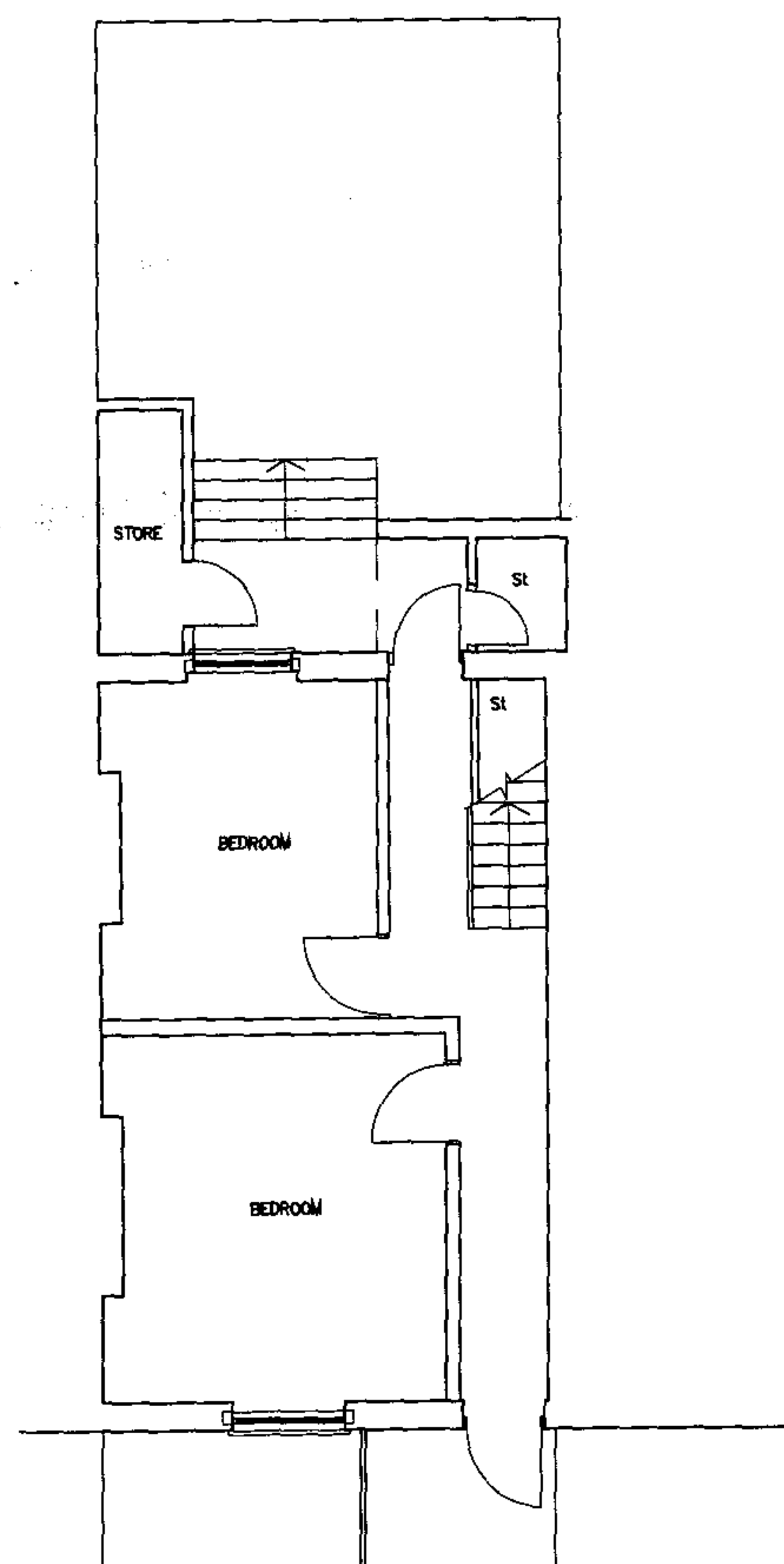
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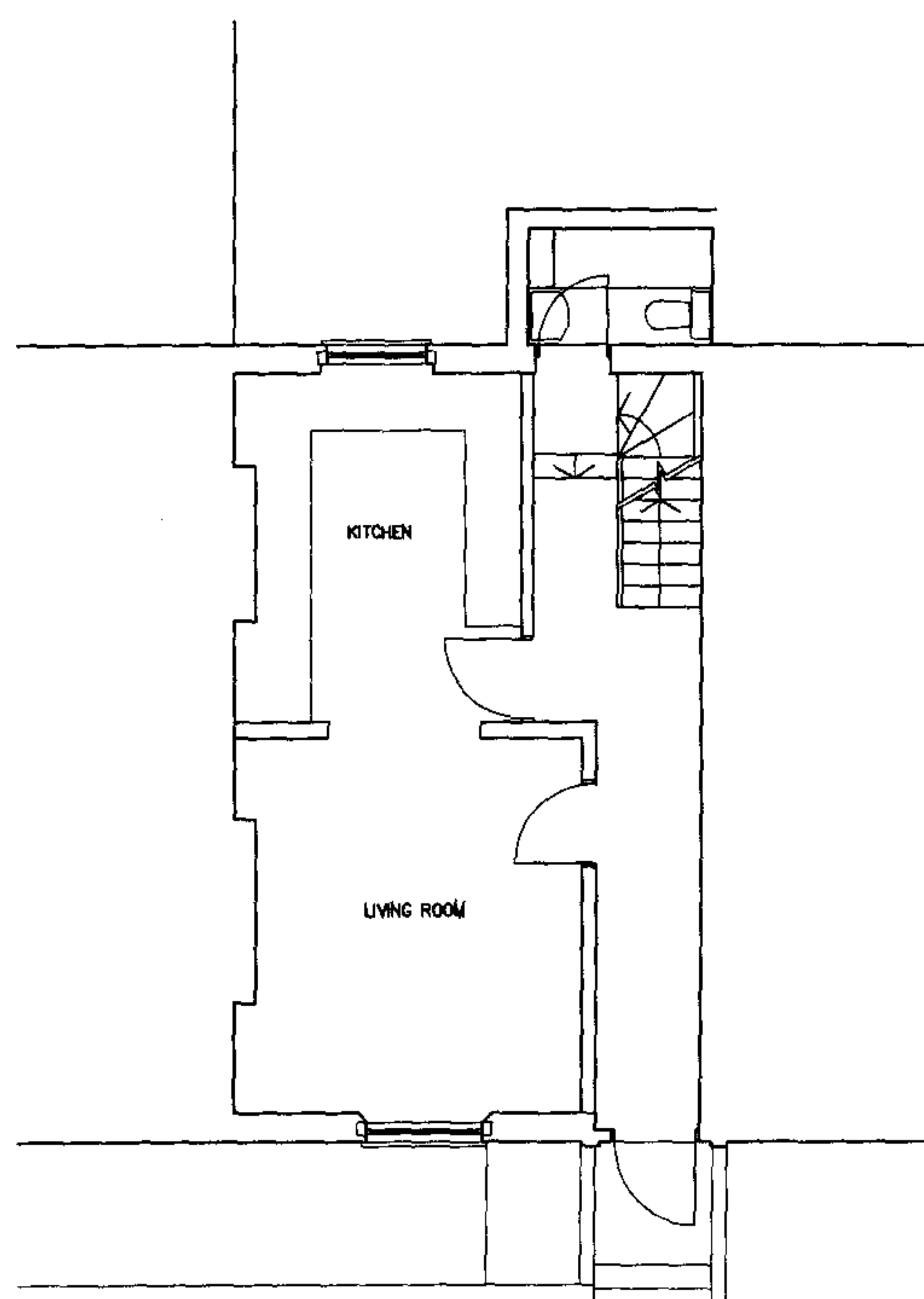
EXISTING FIRST FLOOR PLAN



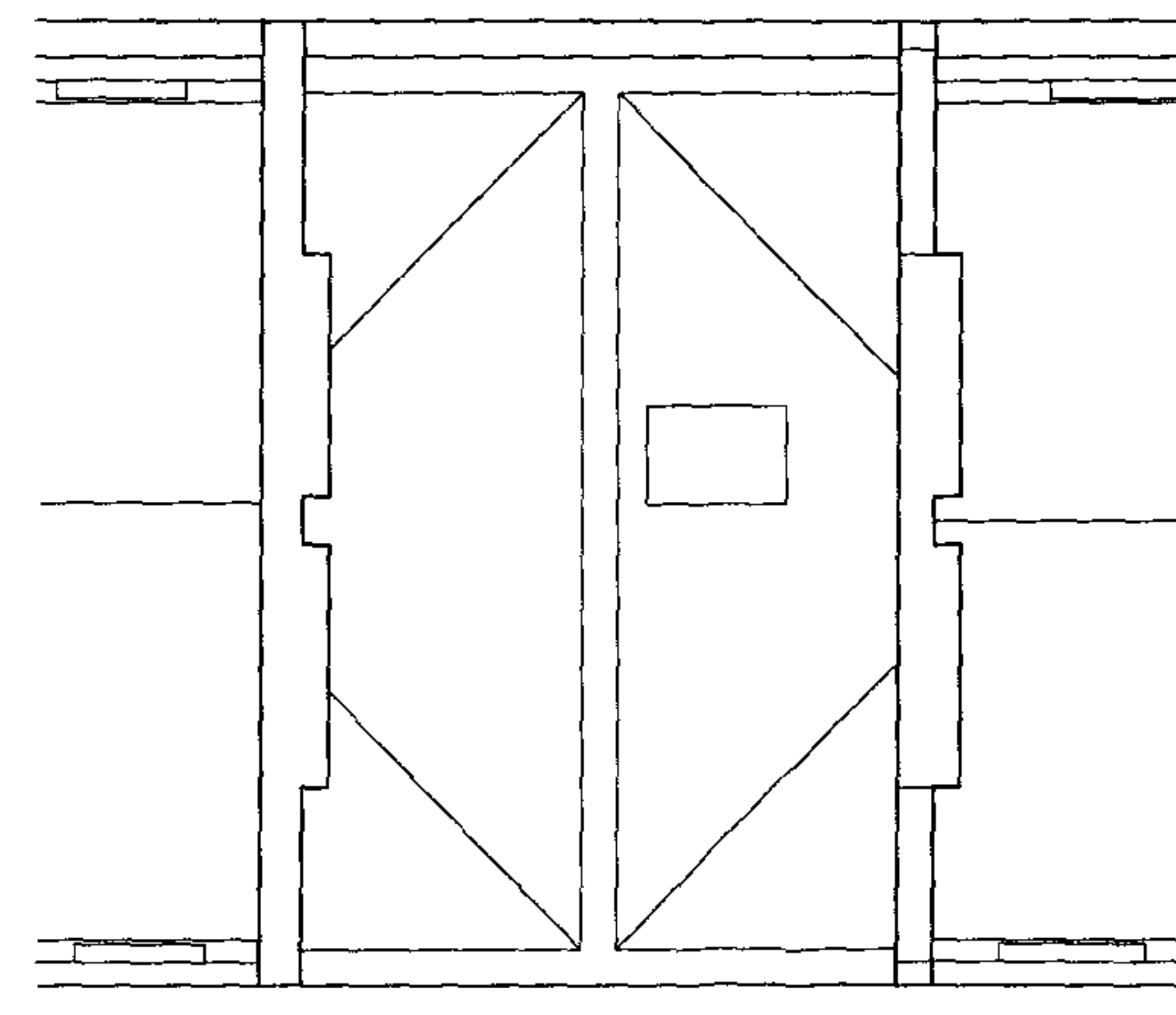
EXISTING SECOND FLOOR PLAN



EXISTING BASEMENT PLAN



EXISTING GROUND FLOOR PLAN



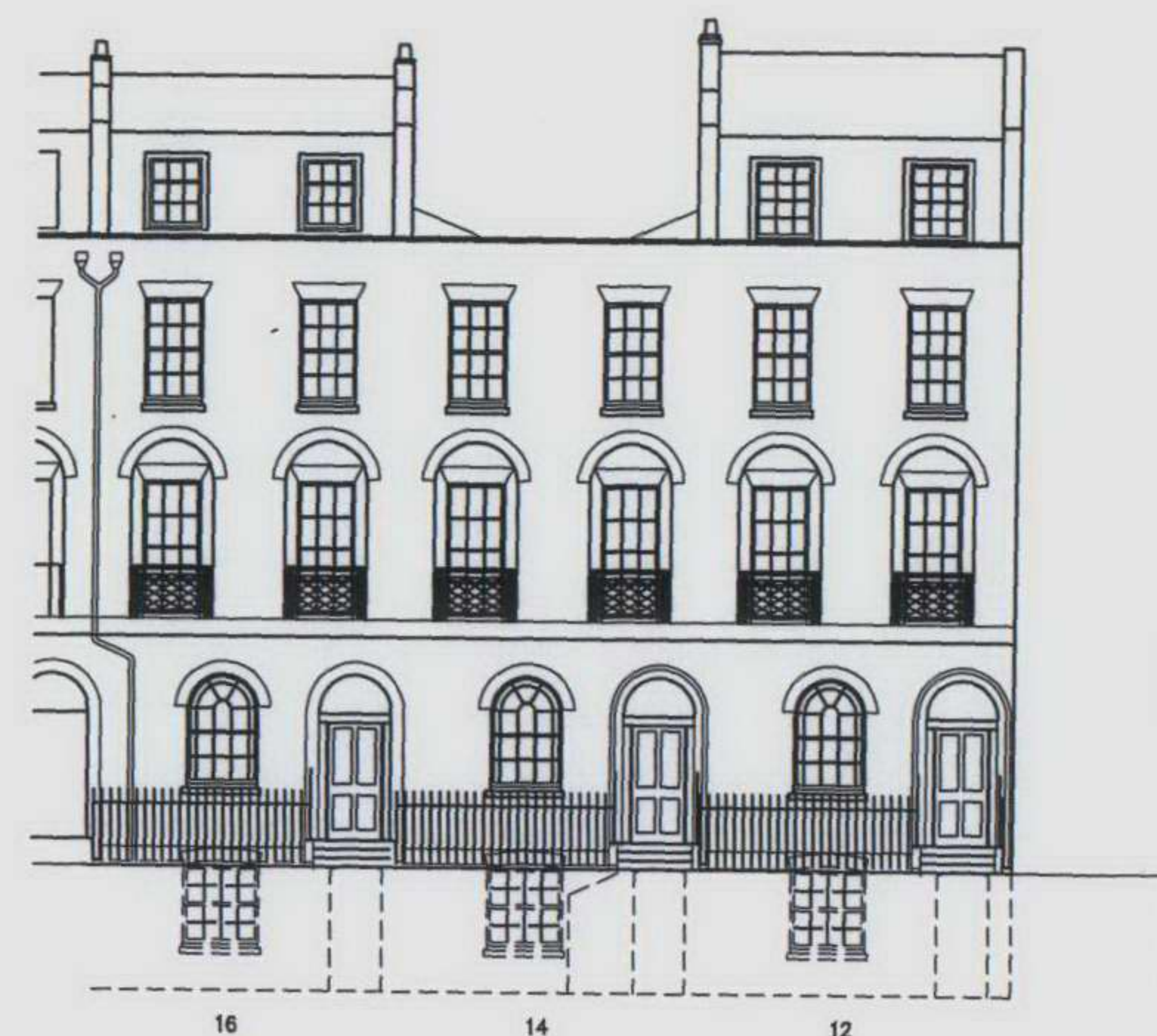
EXISTING ROOF PLAN

S	REVISION	NO	Test date/ address change	Dist
Rev.	Date	By	Description	Dist
Drawing status: PLANNING				
LANDMARK ARCHITECTURE LIMITED 1 Quality Court, Chiswick Lane, London, W26 1NR Tel: 0181 7541 0400 Fax: 0181 7541 0455				
ARCHITECTS • TOWN PLANNERS • SURVEYORS				
project: 14 ARGYLE STREET LONDON WC1				
client: UNION RAILWAYS PROPERTY				
drawing: EXISTING FLOOR PLANS				
drawn	scale	date		
RS	1:50 @A1	27/10/04		
checked	Rev no	0552	ADO	1002
-				8

Do not scale; use given dimensions only. All setting out to be verified on site and any discrepancies notified to the Architect.



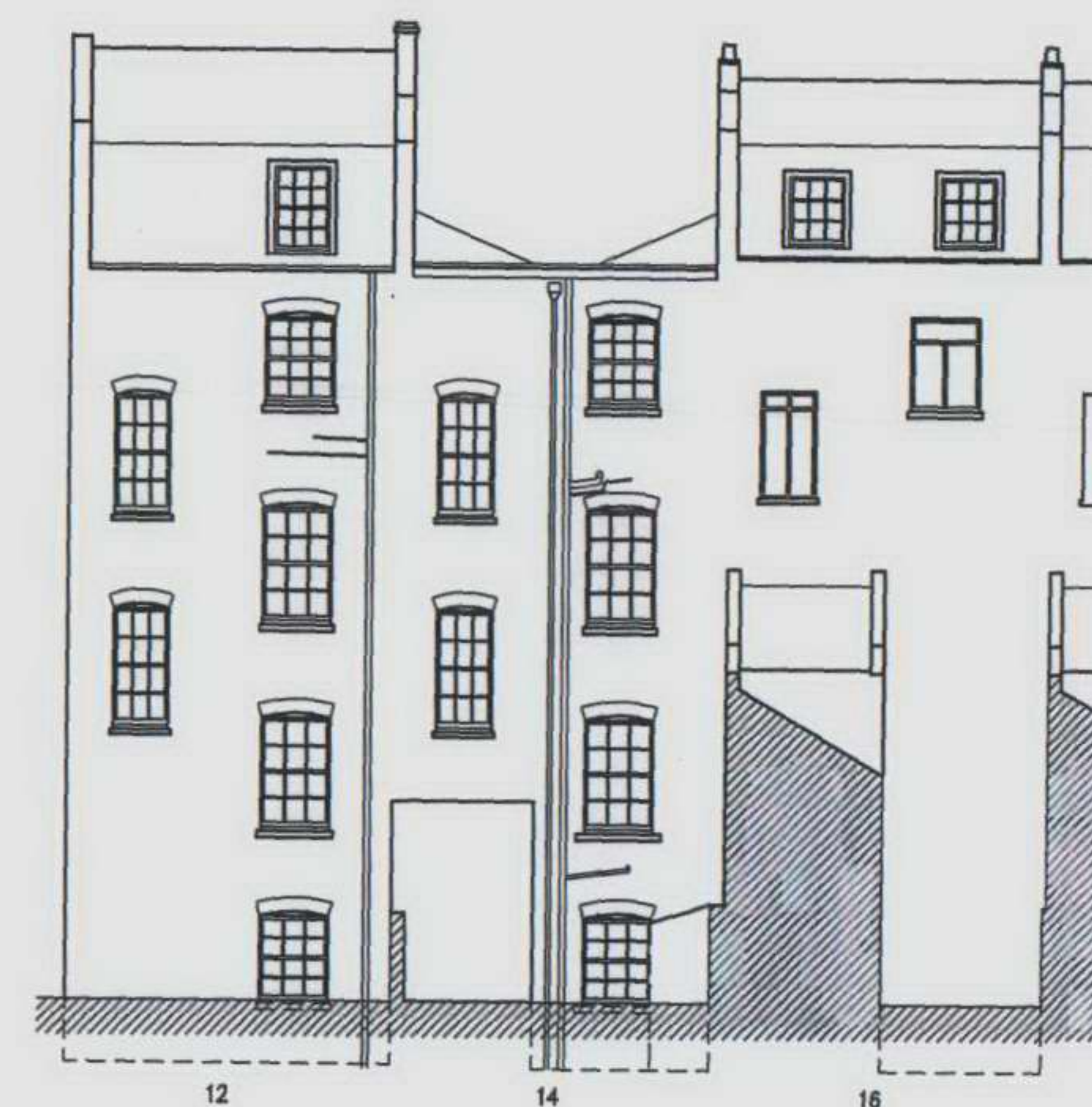
PHOTOGRAPH OF ARGYLE STREET Nos 12 to 24



EXISTING FRONT ELEVATION



PHOTOGRAPH OF REAR OF ARGYLE STREET Nos 12 to 22



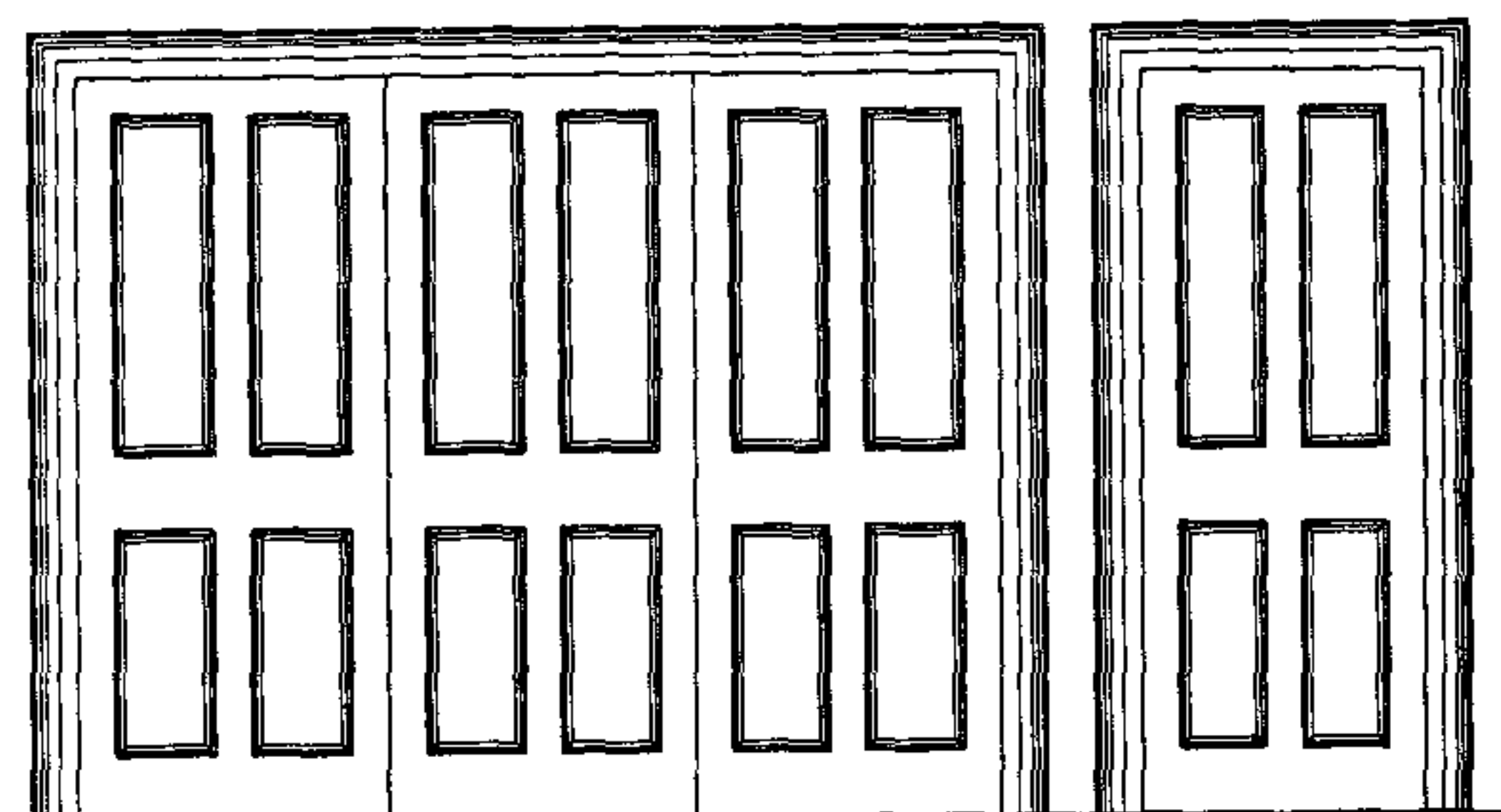
EXISTING REAR ELEVATION

#	29.04.05	SB	ADDRESS / NOTATION SIZE AMENDED	TS
Rev.	Date	By	Description	Chd
Drawing status PLANNING				
LANDMARK ARCHITECTURE LIMITED 1 Quality Court, Chancery Lane, London WC2A 1BS Tel: 020 7061 6480 Fax: 020 7061 6455				
ARCHITECTS • TOWN PLANNERS • SURVEYORS				
project 14 ARGYLE STREET LONDON WC1				
client UNION RAILWAYS PROPERTY				
drawing EXISTING ELEVATIONS AND PHOTOGRAPHS				
drawn	scale	date		
RB	1:100 @A1	13/10/04		
checked	day no.	day no.	day no.	rev.
-	0562	AD0	1003	B

NOTES

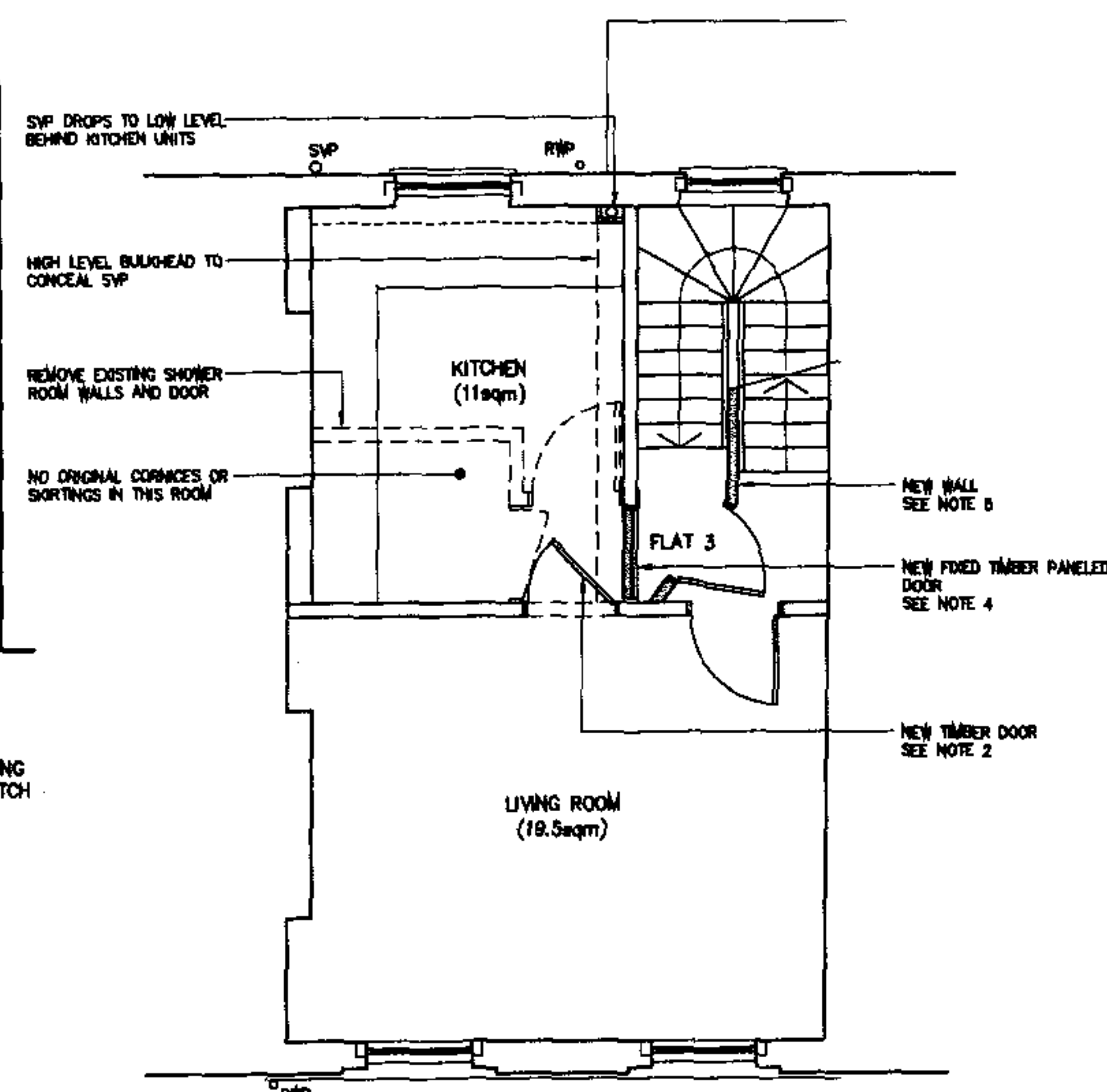
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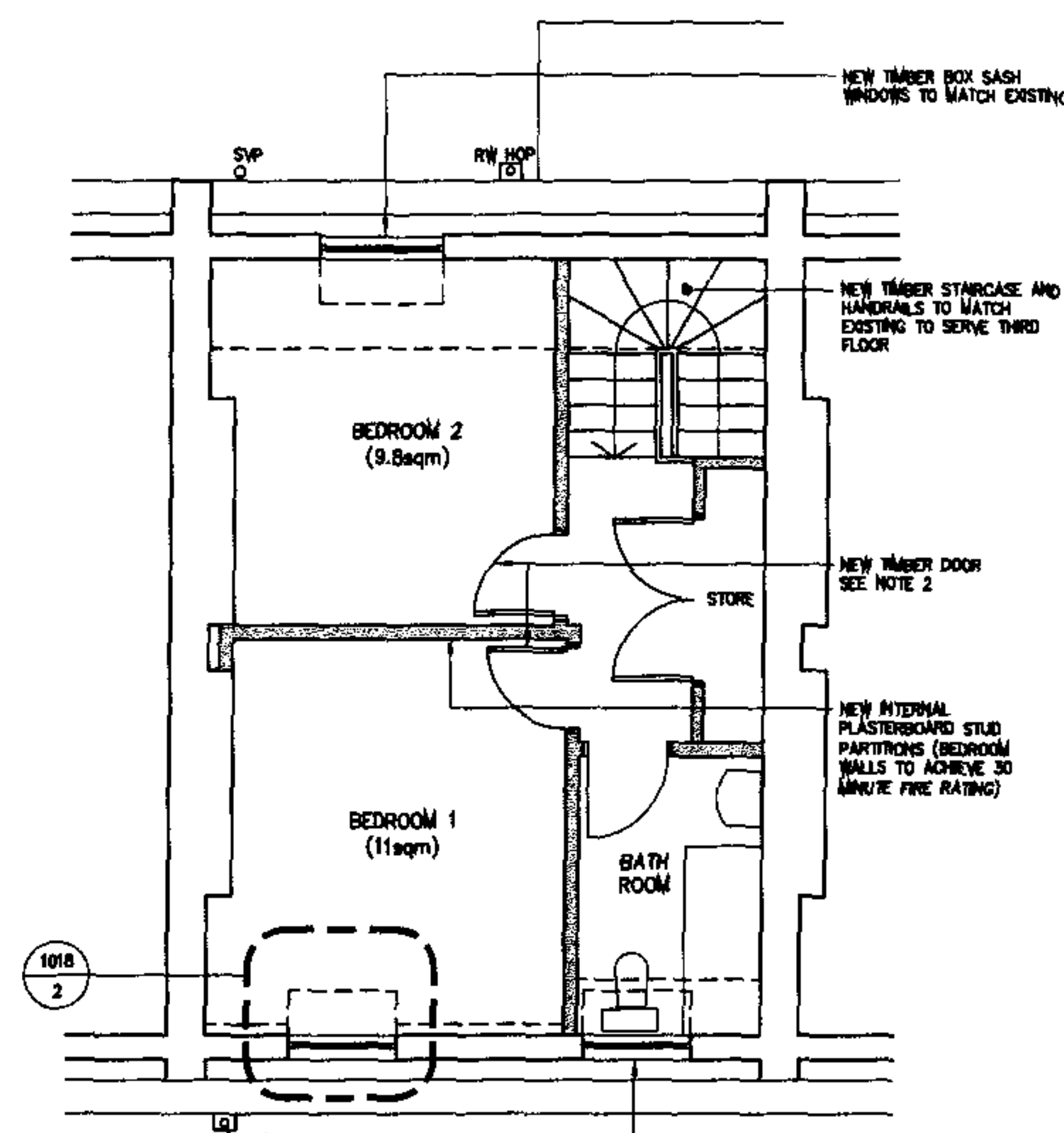


NEW DOOR BETWEEN LIVING AND KITCHEN/DINING ROOM
3 No. 830X1981 FOUR FLAT PANEL TIMBER DOORS WITH APPLIED MOULDINGS TO MATCH EXISTING TIMBER ARCHITRAVES TO MATCH EXISTING

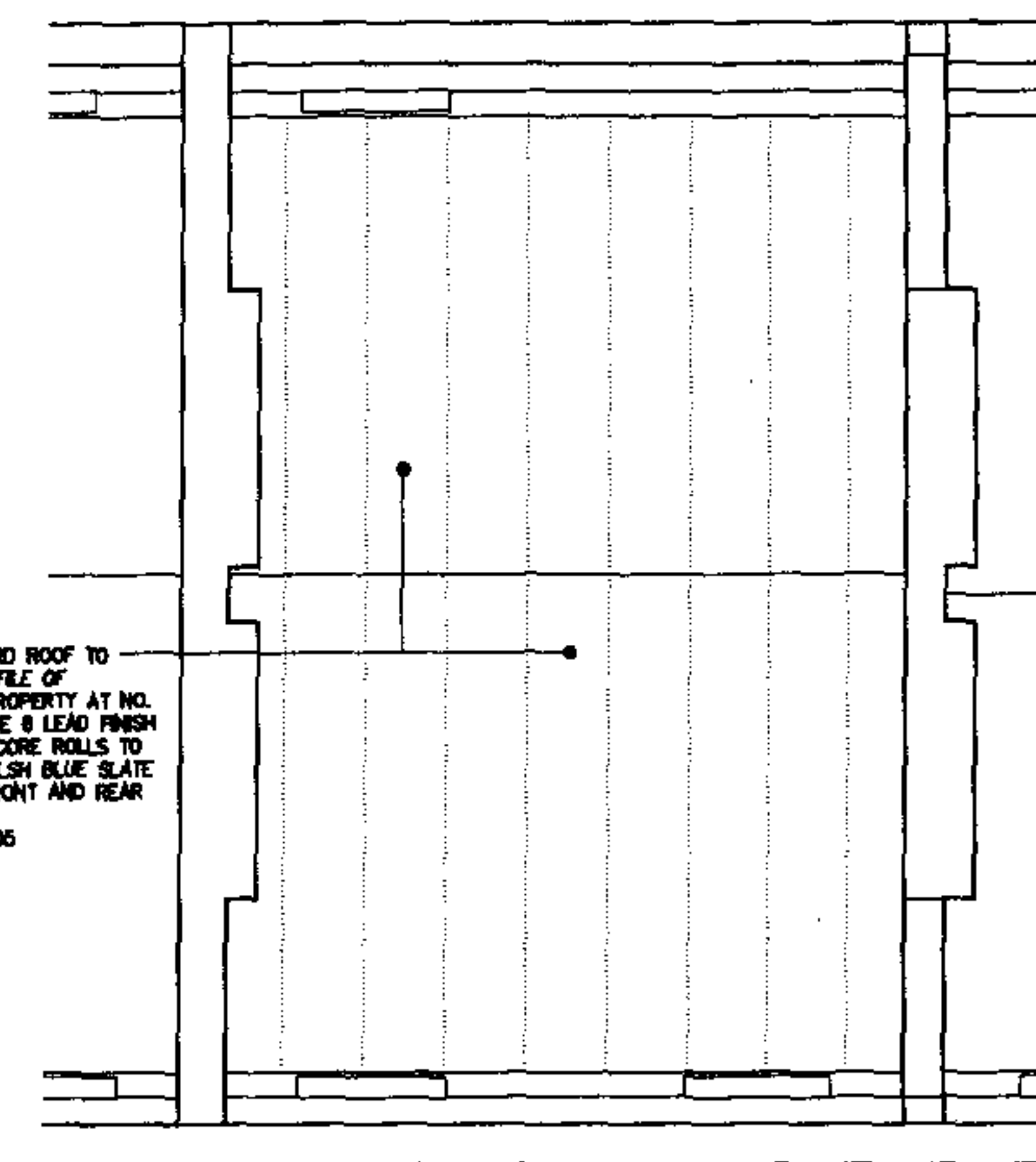
NEW DOOR
762X1981 FOUR FLAT PANEL TIMBER DOOR WITH APPLIED MOULDINGS TO MATCH EXISTING TIMBER ARCHITRAVES TO MATCH EXISTING



PROPOSED SECOND FLOOR PLAN



PROPOSED THIRD FLOOR PLAN



PROPOSED ROOF PLAN

NO. NO SHORING OR CORNICES WILL BE AFFECTED DUE TO THE PROPOSED WORKS

THE PROPOSED WORKS WILL BE REVERSIBLE AND WILL HAVE A MINIMAL TO MODERATE IMPACT ON THE EXISTING BUILDING FABRIC

FOR A DESCRIPTION OF PROPOSED WORKS AND THEIR IMPACT/ASTORICATION TO THE EXISTING BUILDING REFER TO THE CONSERVATION STATEMENT PREPARED BY HERITAGE ARCHITECTURE LTD, DEC. 2004

NOTES

1 DOOR REPOSITIONED WITHIN EXISTING FRAME EXISTING TIMBER PANELLED DOOR RELOCATED AND FIXED TO OPPOSITE SIDE OF FRAME. ARCHITRAVES TO REMAIN. NEW PLASTERBOARD LINING WITHIN DOOR FRAME ON INTERNAL SIDE OF ROOM TO ACHIEVE 30 MINUTE FIRE RATING

2 NEW TIMBER DOOR TO HABITABLE ROOM NEW TIMBER PANELLED FOLDING DOOR WITH ARCHITRAVES TO MATCH EXISTING TO ACHIEVE 30 MINUTE FIRE RATING

3 NEW WALL NEW WALL TO PROVIDE FIRE PROTECTED LOBBY TO ACHIEVE 30 MINUTE FIRE RATING SEE DETAIL SHEET ADD 1018 FOR DETAILS

4 NEW TIMBER DOOR FIXED TIMBER PANELLED FOLDING DOOR TO EXISTING OPENING WITH ARCHITRAVES TO MATCH EXISTING PLASTERBOARD LINING WITHIN DOOR FRAME ON INTERNAL SIDE OF ROOM TO ACHIEVE 30 MINUTE FIRE RATING

5 NEW WALL NEW WALL TO PROVIDE FIRE PROTECTED LOBBY TO ACHIEVE 30 MINUTE FIRE RATING TO CENTRE OF STAIRCASE UP TO THIRD FLOOR, FROM TOP OF LOWER FLIGHT, TO TOP OF UPPER FLIGHT AND AROUND NEW INTERNAL ENTRANCE DOOR TO FLAT 3 UP TO UNDERSIDE OF THIRD FLOOR DOOR AND ARCHITRAVES TO MATCH EXISTING DOORS

6 DOORS IN GENERAL ALL EXISTING DOORS TO HABITABLE ROOMS TO BE UPGRADED TO FOLDING WHIST RETAINING EXISTING APPEARANCE AND ARCHITRAVES

ALL NEW DOORS TO BATHROOMS AND STORES TO BE TIMBER PANELLED DOORS WITH ARCHITRAVES TO MATCH EXISTING

NET ADDITIONAL AREAS

FLAT 1 72.3sqm
FLAT 2 31sqm
FLAT 3 66.6sqm

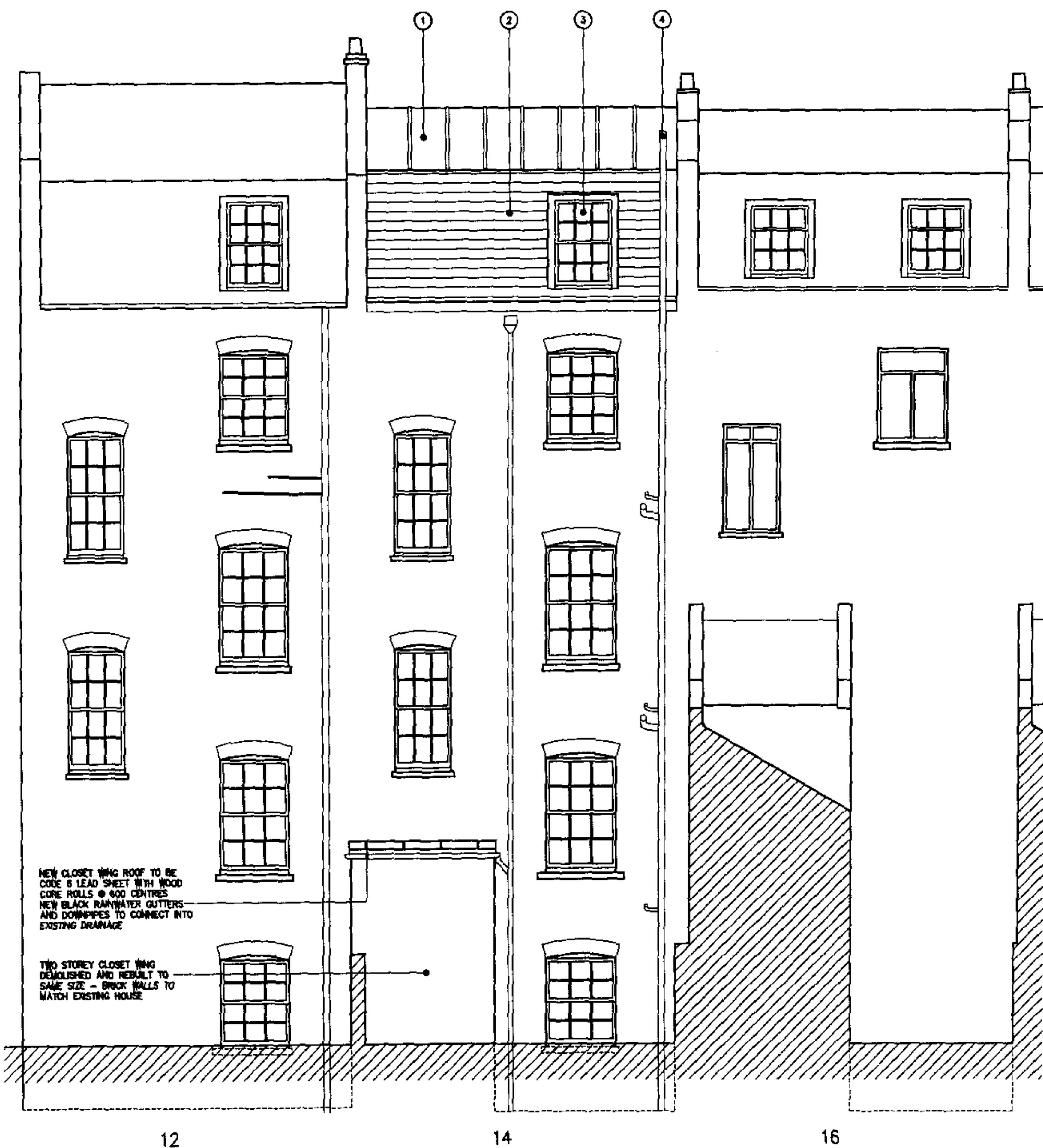
NEW CONSTRUCTION
REMOVED ELEMENTS

2	29 JUL 85	38	STAR TO LOWER GROUND ARMED METAL REFS ADDED CONSERVATION INFORMATION ADDED	RM
Rev.	Date	By	Description	Chg

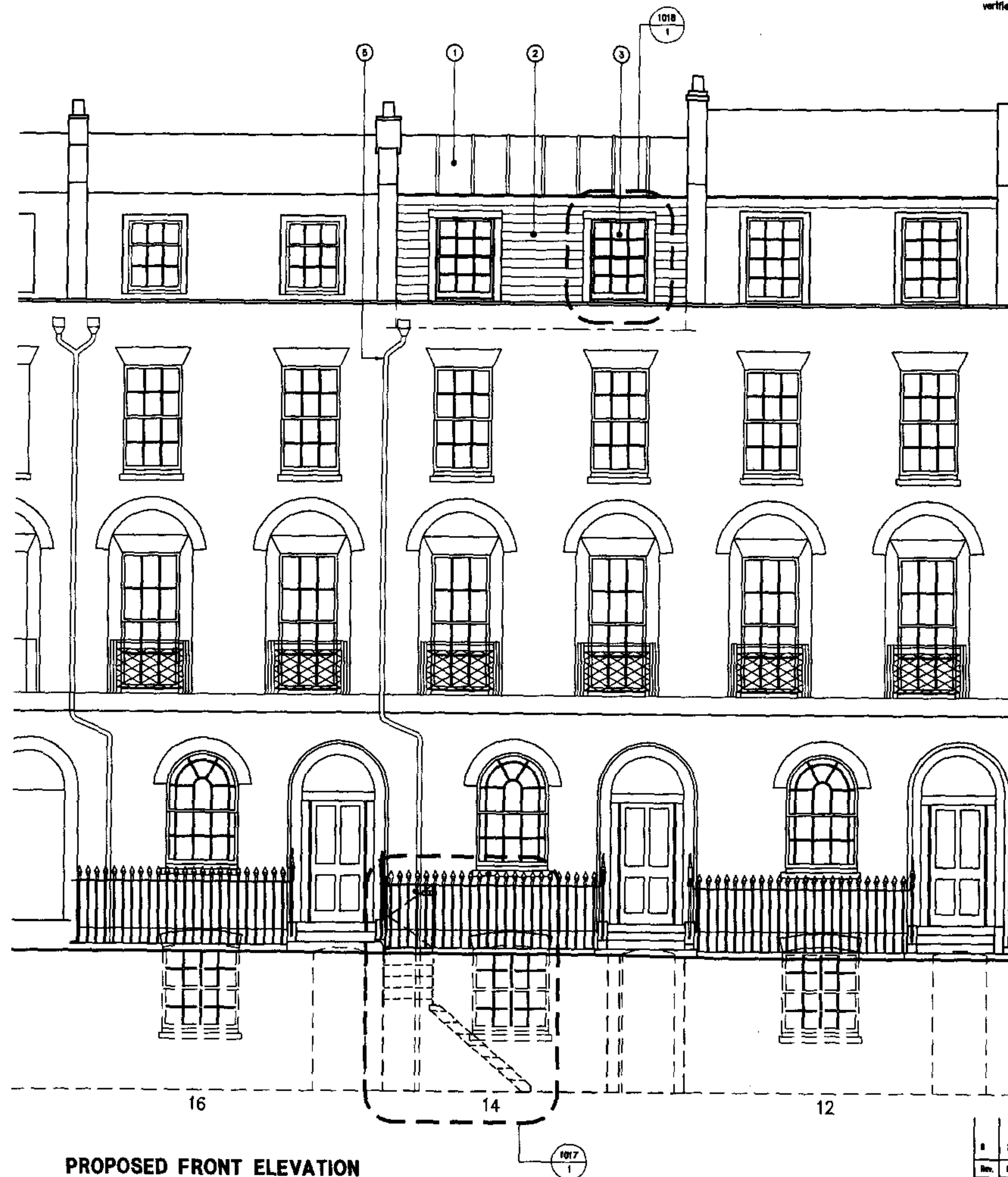
NOTES

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PROPOSED REAR ELEVATION



PROPOSED FRONT ELEVATION

NEW CLOSET WING ROOF TO BE
CODE 8 LEAD SHEET WITH WOOD
CORE ROLLS @ 900 CENTRES
NEW BLACK RAINWATER GUTTERS
AND DOWNPIPES TO CONNECT INTO
EXISTING DRAINAGE

TWO STOREY CLOSET WING
DEMOLISHED AND REBUILT TO
SAME SIZE - BRICK WALLS TO
MATCH EXISTING HOUSE

MATERIALS KEY

- 1 TOP OF MANSARD ROOF TO FOLLOW PROFILE OF
ADJACENT PROPERTY AT NO. 16 WITH CODE 8 LEAD
FINISH WITH WOOD CORE ROLLS
- 2 WELSH BLUE SLATE TILE TO STEEP FRONT AND REAR
SECTIONS OF MANSARD ROOF
- 3 LEAD COVERED DORMER WITH TIMBER FRAMED SLIDING
SASH WINDOWS TO MATCH ADJACENT PROPERTIES
- 4 SVP REPOSITIONED
- 5 NEW RIV HOPPER AND DOWNPIPE TO DRAIN MANSARD ROOF

Rev.	Date	By	Description	Chd.
1	23/01/05	SB	START TO LOWER GROUND ANCHORED DETAIL REFS ADDED	15

Drawing status	PLANNING
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LANDMARK ARCHITECTURE LIMITED
1 Quality Court, Chancery Lane, London, WC2A 1BS
Tel: 020 7556 6000 Fax: 020 7556 6055

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Project	14 ARGYLE STREET LONDON WC1
---------	--------------------------------

Client	UNION RAILWAYS PROPERTY
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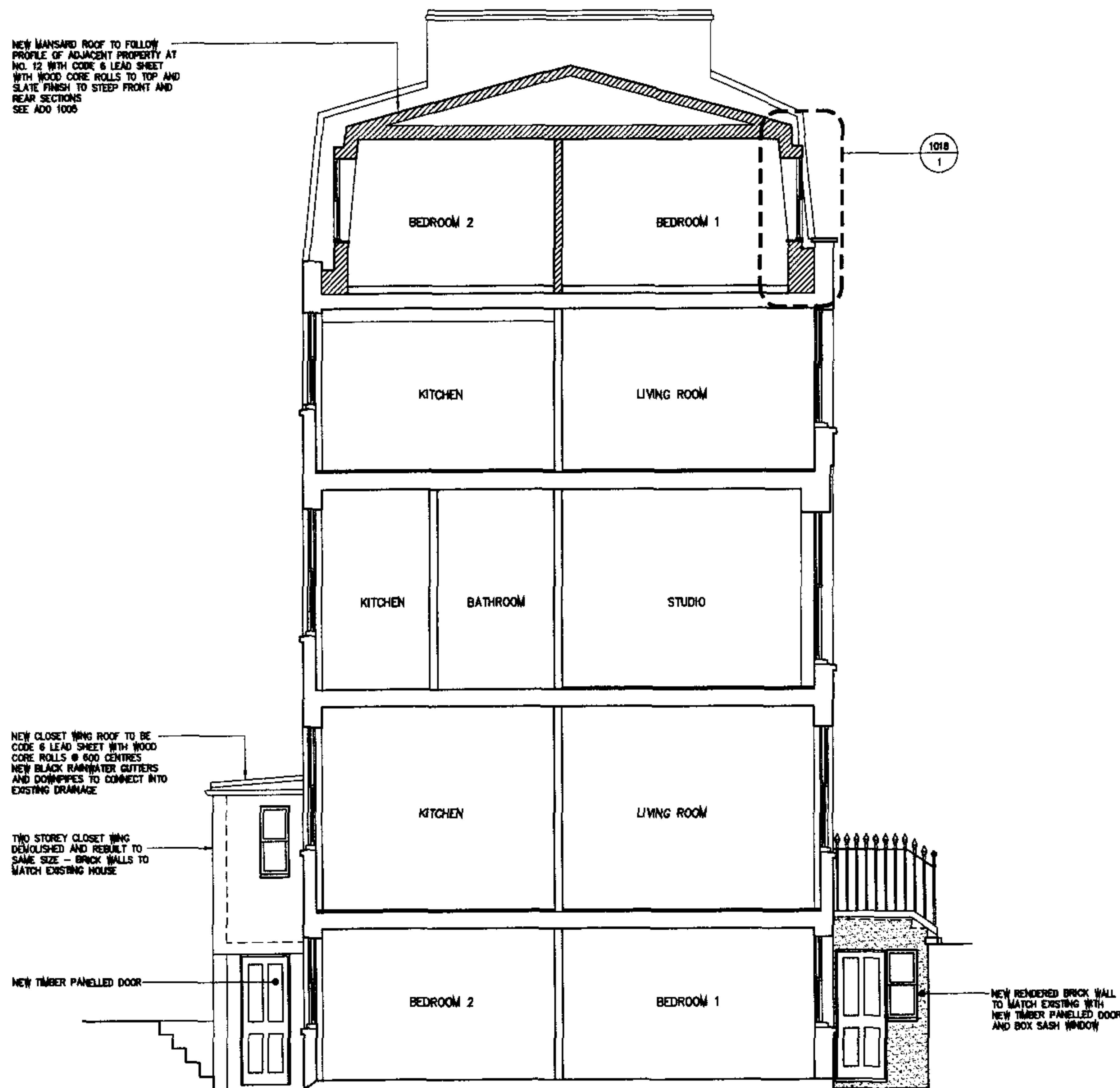
Drawing	PROPOSED ELEVATIONS
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Drawn	scale	date
RB	1:50 @A1	13/10/04
checked	App. no.	rev.
-	0582	ADO 1006 8

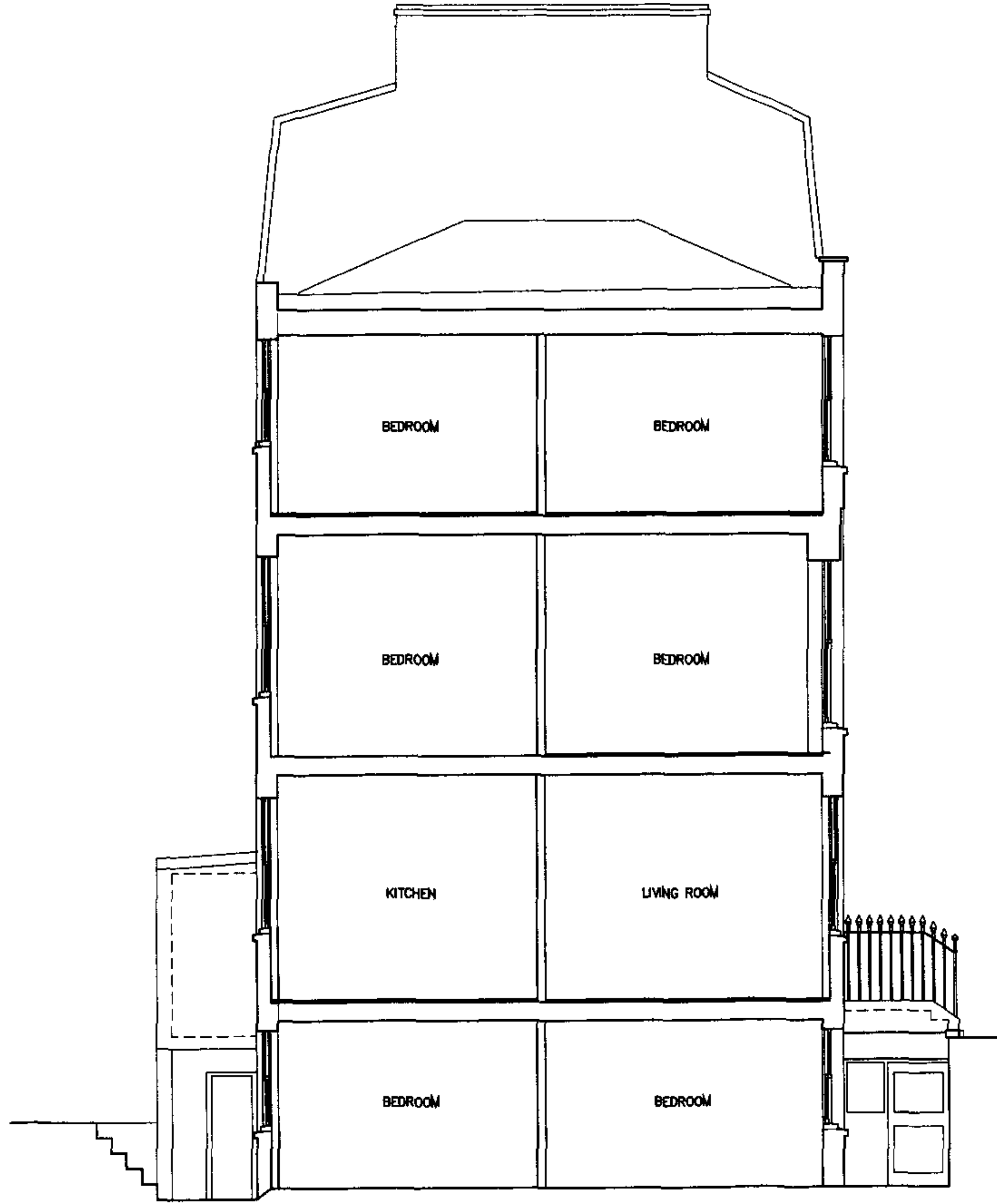
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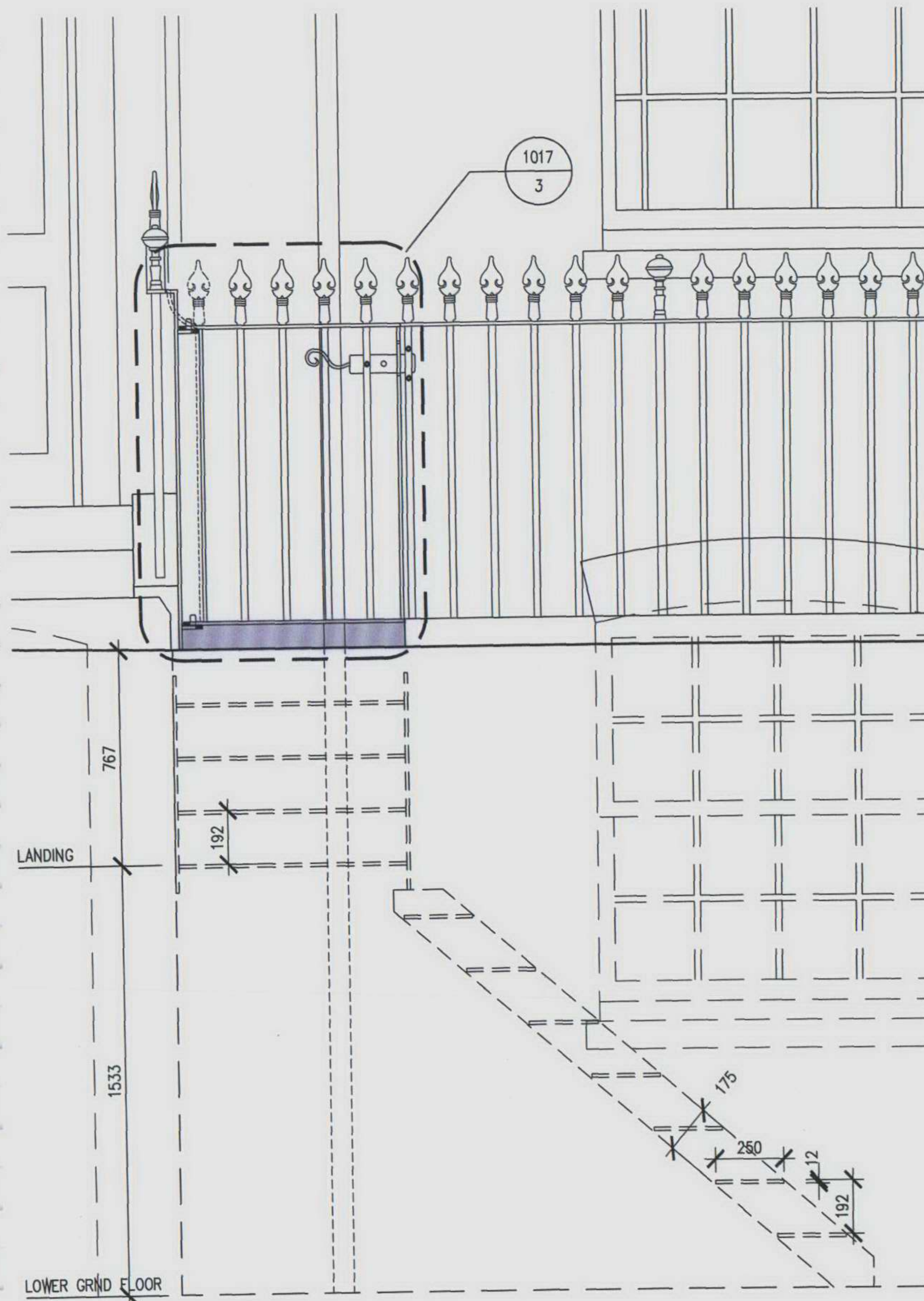


PROPOSED SECTION

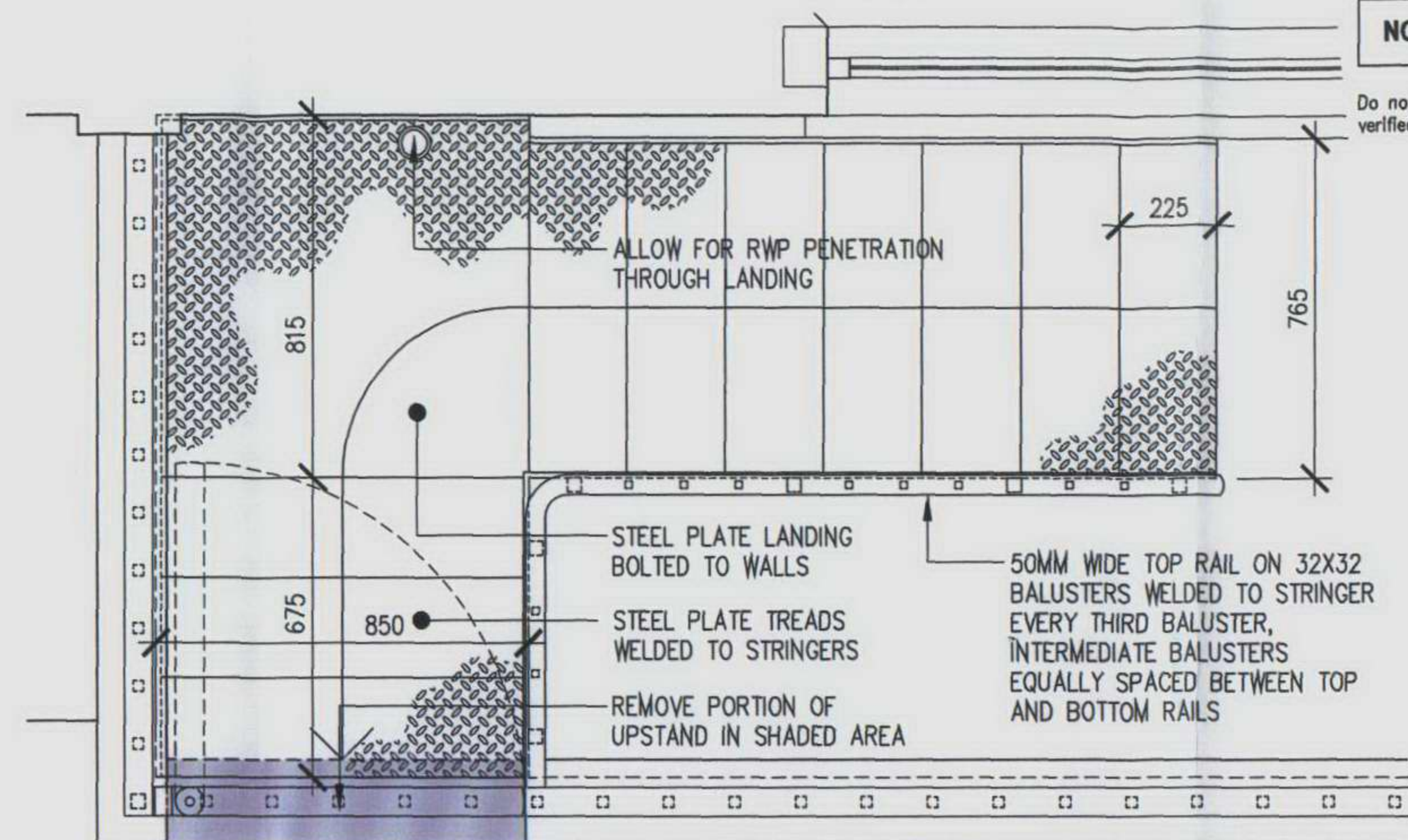


EXISTING SECTION

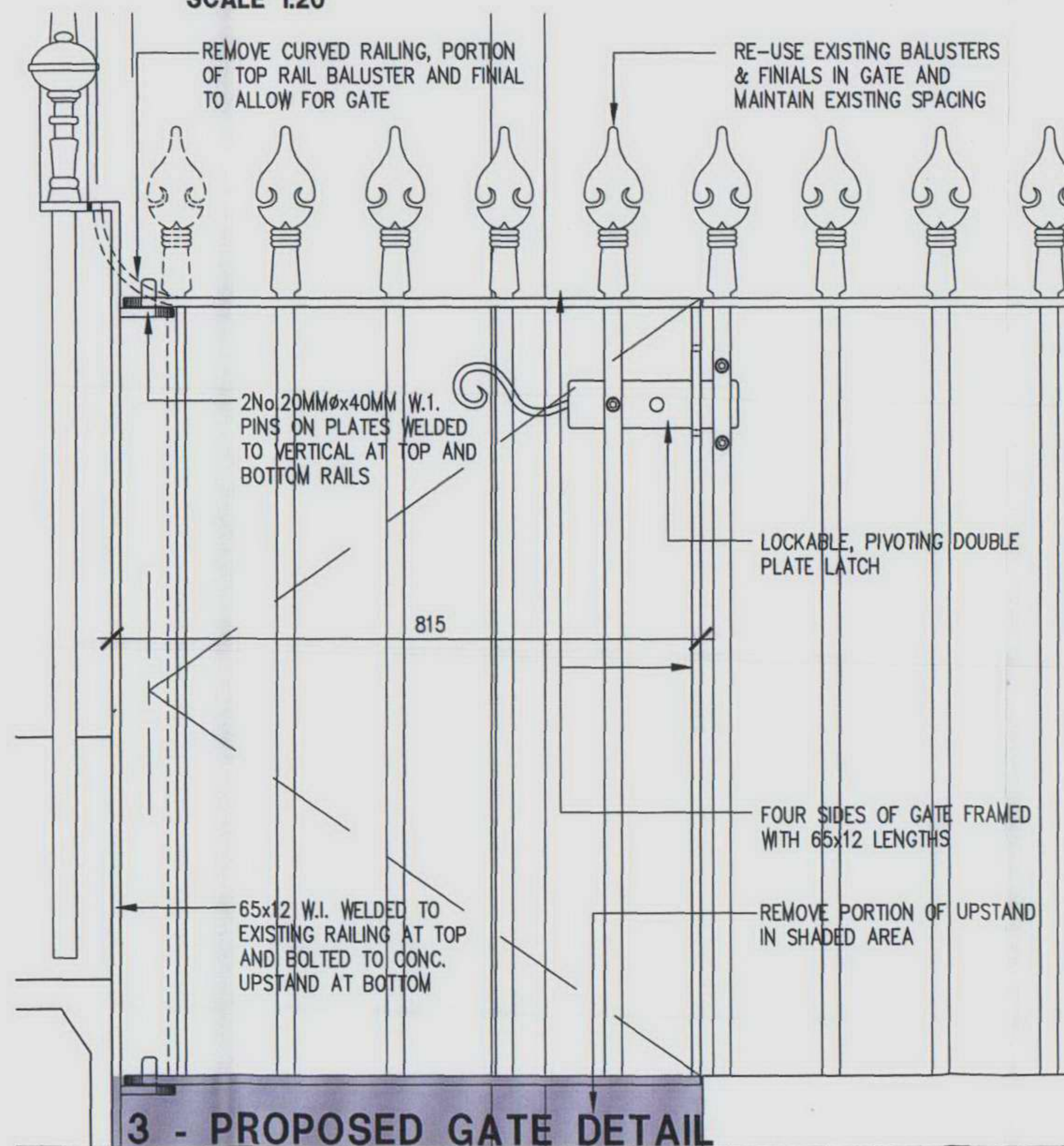
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Rev.	Date	By	Description	Drawn
drawing status				
PLANNING				
LANDMARK ARCHITECTURE LIMITED				
1 Quality Court, Chancery Lane, London EC2M 1ER				
Tel: 020 7461 6400 Fax: 020 7461 6465				
ARCHITECTS • TOWN PLANNERS • SURVEYORS				
project				
14 ARGYLE STREET LONDON WC1				
client				
UNION RAILWAYS PROPERTY				
drawing				
PROPOSED AND EXISTING SECTIONS				
drawn	scale	date		
RB	1:50 @A1	13/10/04		
checked	App no.	ADO	1006	11
-	0582	ADO	1006	11



1 - PROPOSED ELEVATION AT EXT. STAIR
SCALE 1:20



2 - PROPOSED GROUND FLOOR PLAN AT EXT. STAIR
SCALE 1:20



3 - PROPOSED GATE DETAIL
SCALE 1:10

NOTES

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N.B. ALL RAILING AND GATE COMPONENTS TO BE WROUGHT IRON

Rev.	Date	By	Description	Old

drawing status

PLANNING

LANDMARK ARCHITECTURE LIMITED

1 Quality Court, Chancery Lane, London WC2A 1HR
Tel: 020 7061 6460 Fax: 020 7061 6455

ARCHITECTS • TOWN PLANNERS • SURVEYORS

project **14 ARGYLE STREET
LONDON WC1**

client **UNION RAILWAYS
PROPERTY**

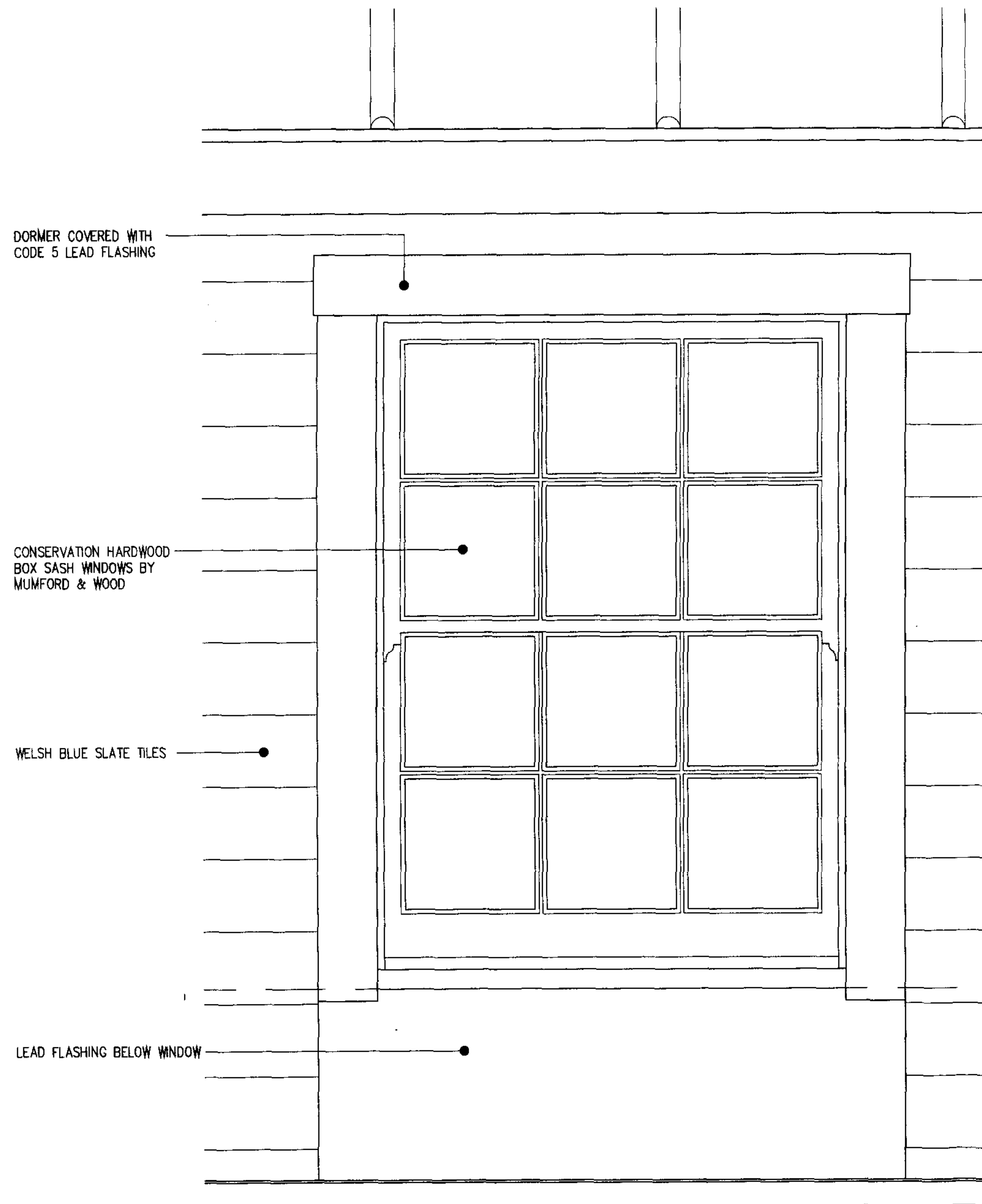
drawing **STAIR & GATE DETAILS**

scale **AS NOTED**

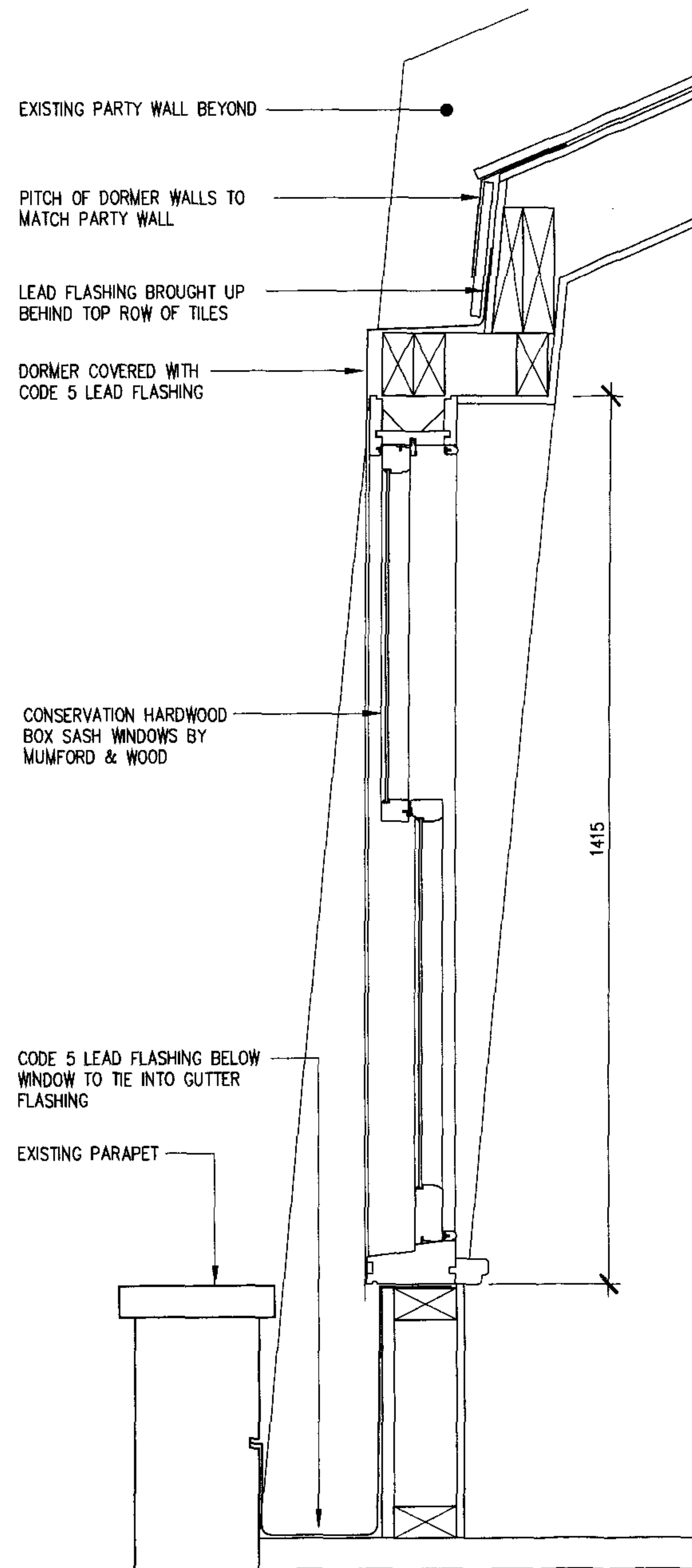
date **8/04/05**

dwg no. **0562 / ADO / 1017**

rev.



1 - ELEVATION OF PROPOSED DORMER
SCALE 1:10



2 - SECTION THROUGH DORMER
SCALE 1:10

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Rev.	Date	By	Description	Old

drawing status	PLANNING
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LANDMARK ARCHITECTURE LIMITED
1 Quality Court Chancery Lane London WC2A 1HR
Tel: 020 7061 6460 Fax: 020 7061 6465
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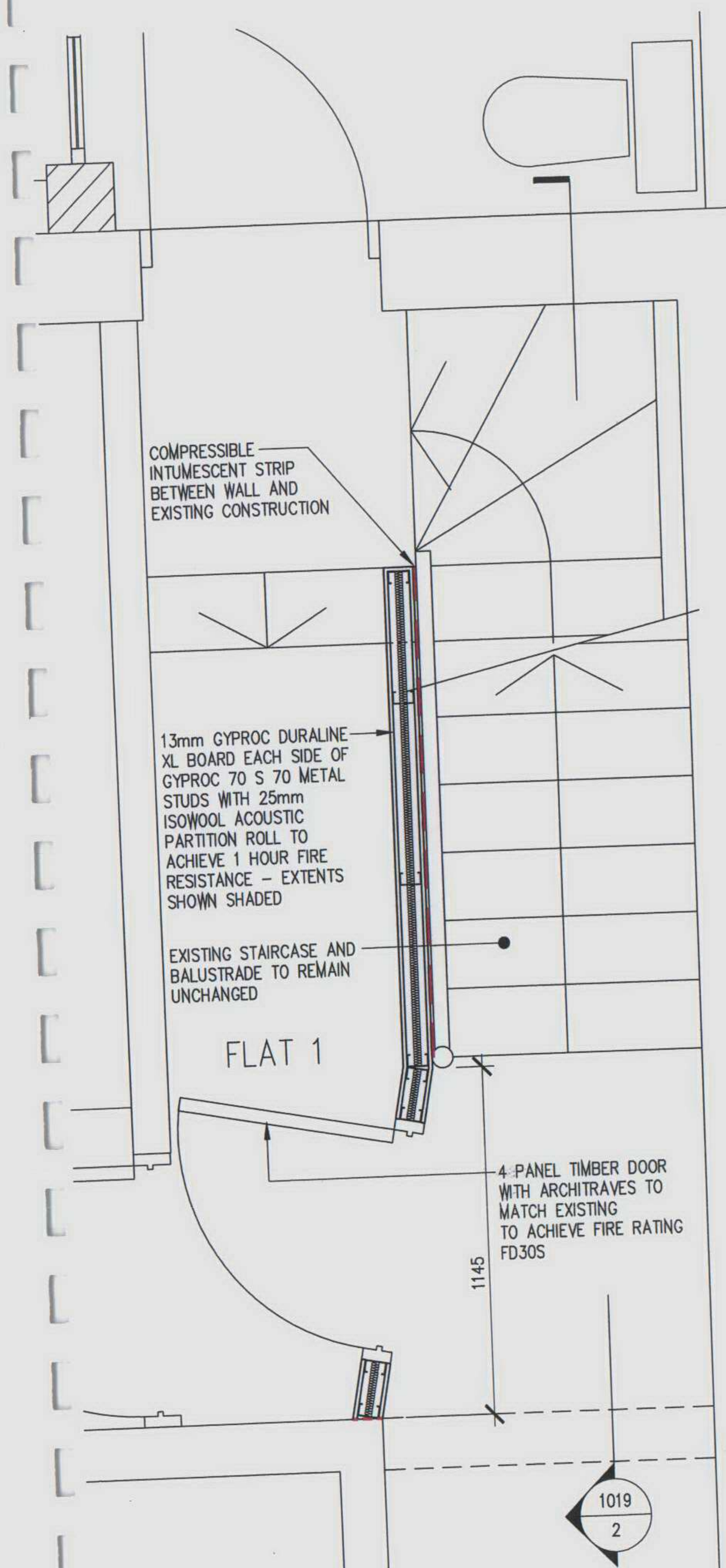
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client	UNION RAILWAYS PROPERTY
drawing	DORMER DETAILS

scale	1:10 @ A3	date	12/04/05
doc no.	0562 / AD0 / 1018	rev.	

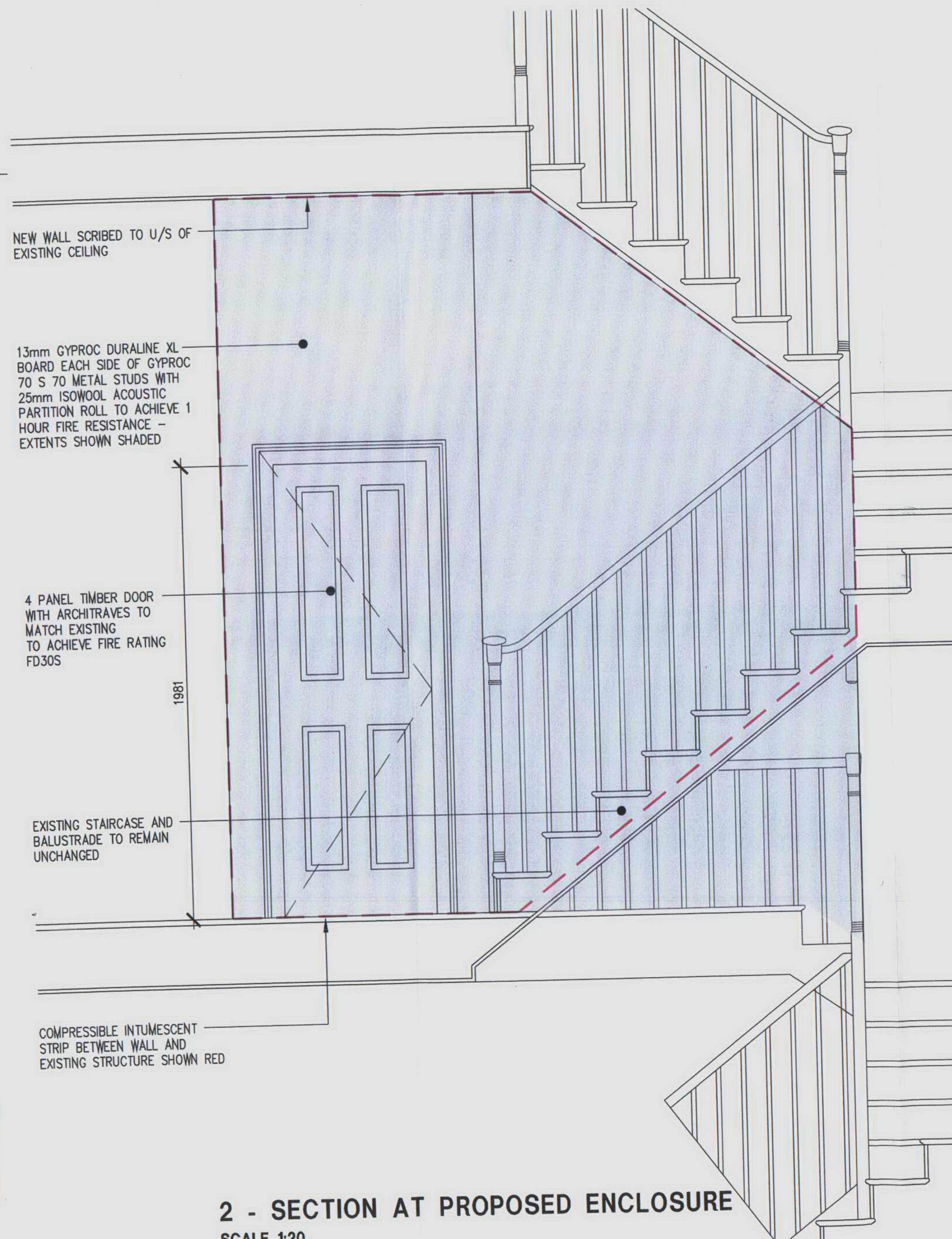
NOTES

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Do not scale: use given dimensions only. All setting out to be verified on site and any discrepancies notified to the Architect.



1 - PROPOSED PARTIAL PLAN
SCALE 1:20



2 - SECTION AT PROPOSED ENCLOSURE
SCALE 1:20

N.B. EXISTING STAIRCASE, BALUSTRADE AND WALLS TO REMAIN UNALTERED

Rev.	Date	By	Description	Chd

drawing status

PLANNING

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project **14 ARGYLE STREET
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client **UNION RAILWAYS
PROPERTY**
drawing **LOBBY ENCLOSURE DETAILS**

scale **1:20** date **8/04/05**

dwg no. **0562 / AD0 / 1019** rev.