

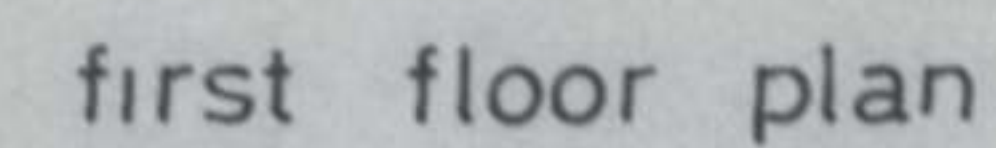
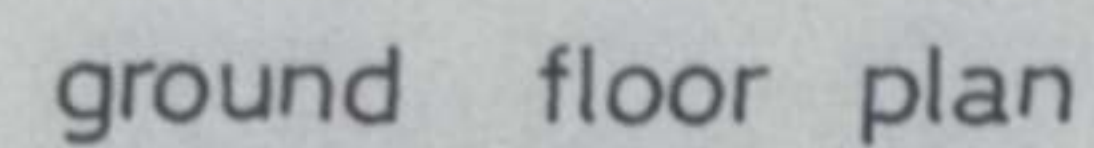
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*All work shall comply with the latest Building Regulations and be to the satisfaction of the Local Authority

^eWorkmanship and methods of construction shall be at least to the standard prescribed by the relevant Codes of Practice

Materials shall be suitable for the purpose for which they are used and the quality shall not be lower than that defined in the relevant British or Continental Standard so designated.

1. All drainage air on this drawing is assumed only and it is the contractors responsibility to check the exact depths and locations prior to the commencement of the works.
2. Any new or proposed drains found under the proposed extension are to be encased in 130mm concrete and reinforced concrete lintels are to be provided in the walls above the drain runs.
3. Existing sub-floor ventilation is to be maintained (if necessary) by providing 100mm dia pvc ducts extending from the existing air bricks to all gables x 150mm air bricks in the new external walls.
4. All gables x 150mm dia sub dividing glazed and to be BS60206 and any glazing below 1.1m from ground level is to be toughened or laminated.
5. All new habitable rooms are to be provided with permanent ventilation of 8000mm³, and this is to be achieved by providing either brickie vents in the downwind design or by air bricks within the room.
6. Provide vertical and horizontal sops at all reveals, and all lintels are to have a minimum end bearing of 150mm.
7. All steel beams are to be encased in 2 layers of 12.5mm plaster board and skim coat and sops to achieve a fire rating of 1/2 hr.
8. All lintels used in the construction of this project are to be S03 grade.



Project
Proposed alterations
9 Platts Lane.
Hampstead NW3.

17 Sequoia Park,
Hatch End, Pinner
Middlesex HA5 4DG
Telephone: 020 8428 6868



Scale 1:50.
Date June 2006.
Drawn By AJBlyth.
DRAWING No PMB/06/137/1

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29 AUG 2006

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Figured dimensions shall be used in preference to scaled dimensions. All dimensions shall be checked on site before commencing works.

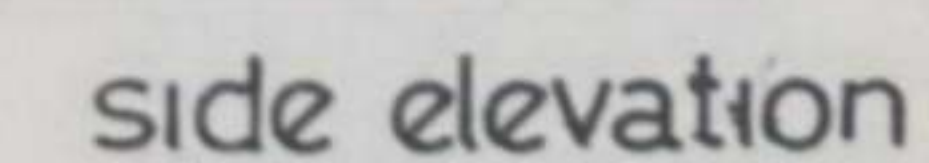
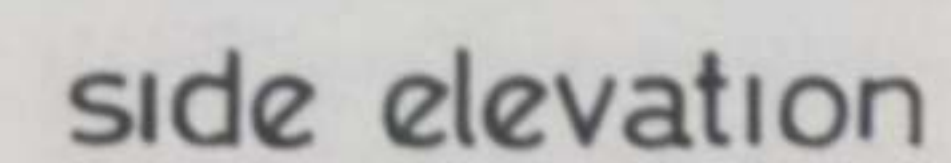
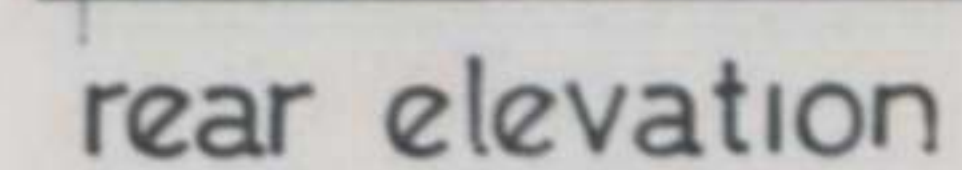
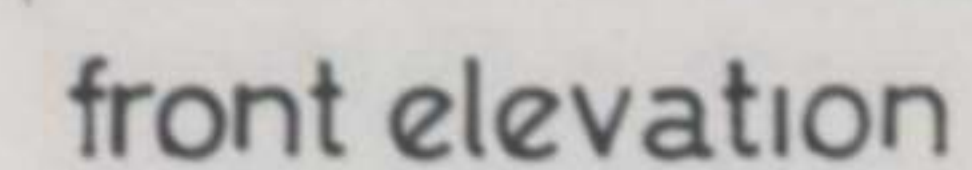
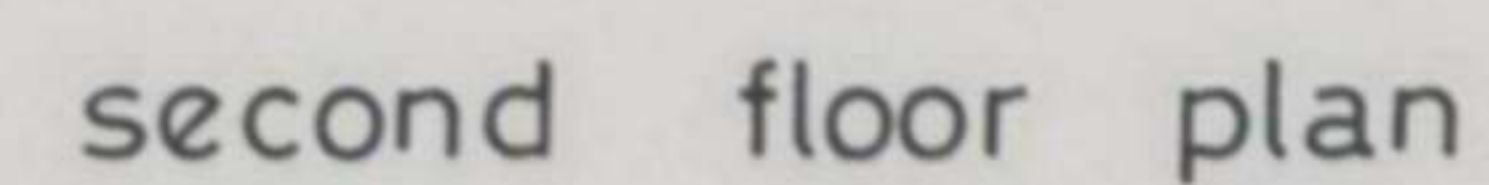
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General Specifications

2. All drawings shown on this drawing are assumed only and it is the contractors responsibility to check the exact depths and locations prior to the commencement of the works.
3. Any new or proposed drains found under the proposed extension are to be encased in 150mm concrete and reinforced concrete lintols are to be provided in the walls.
4. Existing sub-floor ventilation is to be maintained (if necessary) by providing 100mm dia pvc ducts extending from the existing air bricks to new 225 x 150mm air bricks in the new external walls.
5. All glazing is to be double glazed and to be to BS6206 and any glazing less than 1.1m from ground level is to be toughened or laminated.
6. All new habitable rooms are to be provided with permanent ventilation of 8000mm³ and this is to be achieved by providing either trickle vents in the door/window design or by air bricks within the room.
7. Provide vertical and horizontal spigot at all reveals, and all lintols are to have a minimum end bearing of 150mm.
7. All steel beams are to be encased in 2 layers of 12.5mm plaster board and skim coat of plaster to achieve a fire rating of 1/2 hour.
8. All timbers used in the construction of this project are to be to BS3 grade.



as existing

[illegible]

Revisions

Project

Proposed alterations

9 Platts Lane.
Hampstead.NW3.

Anthony J Blyth & Co

17 Sequoia Park,
Hatch End, Pinner
Middlesex HA5 4DG
Telephone: 020 8421



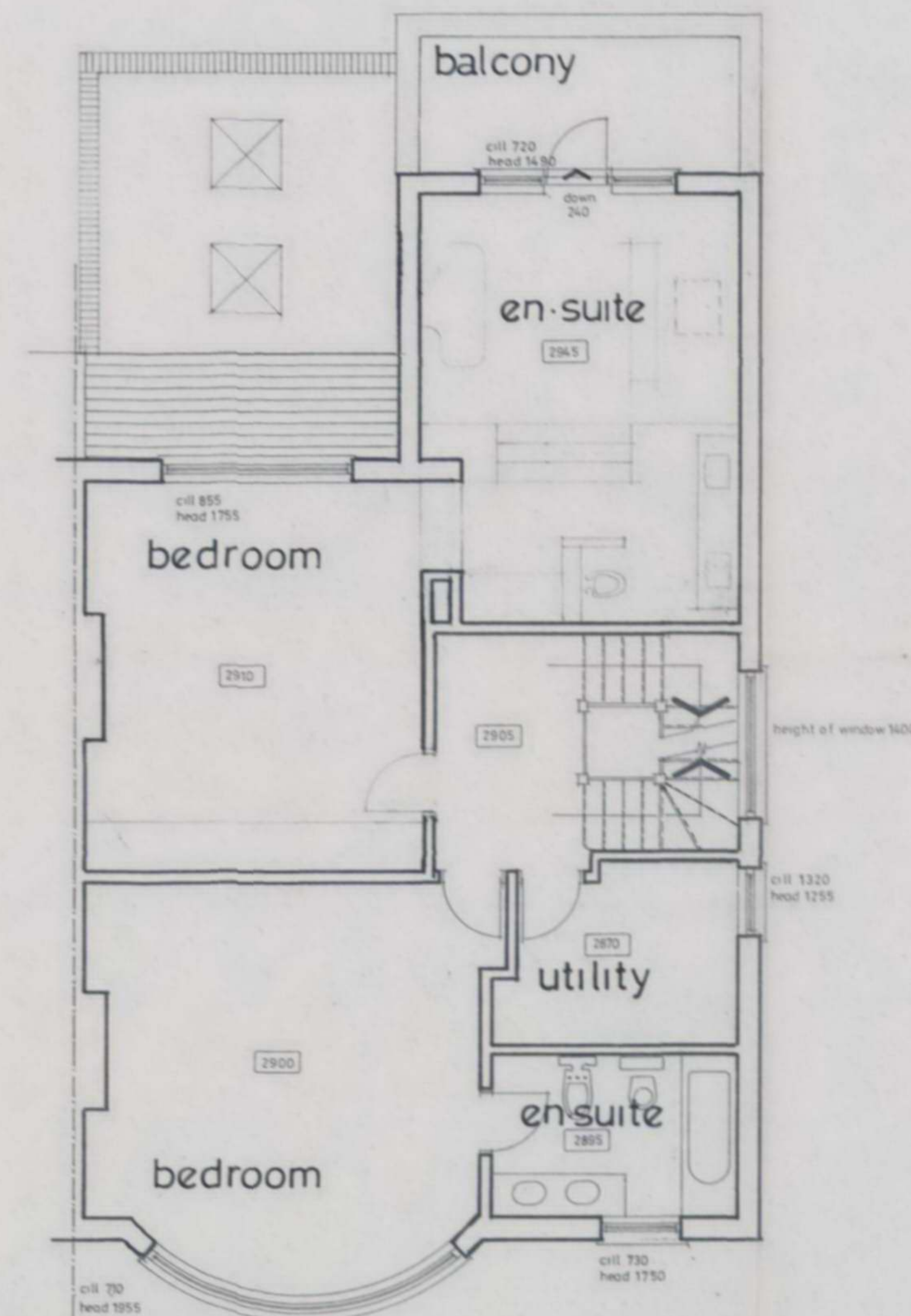
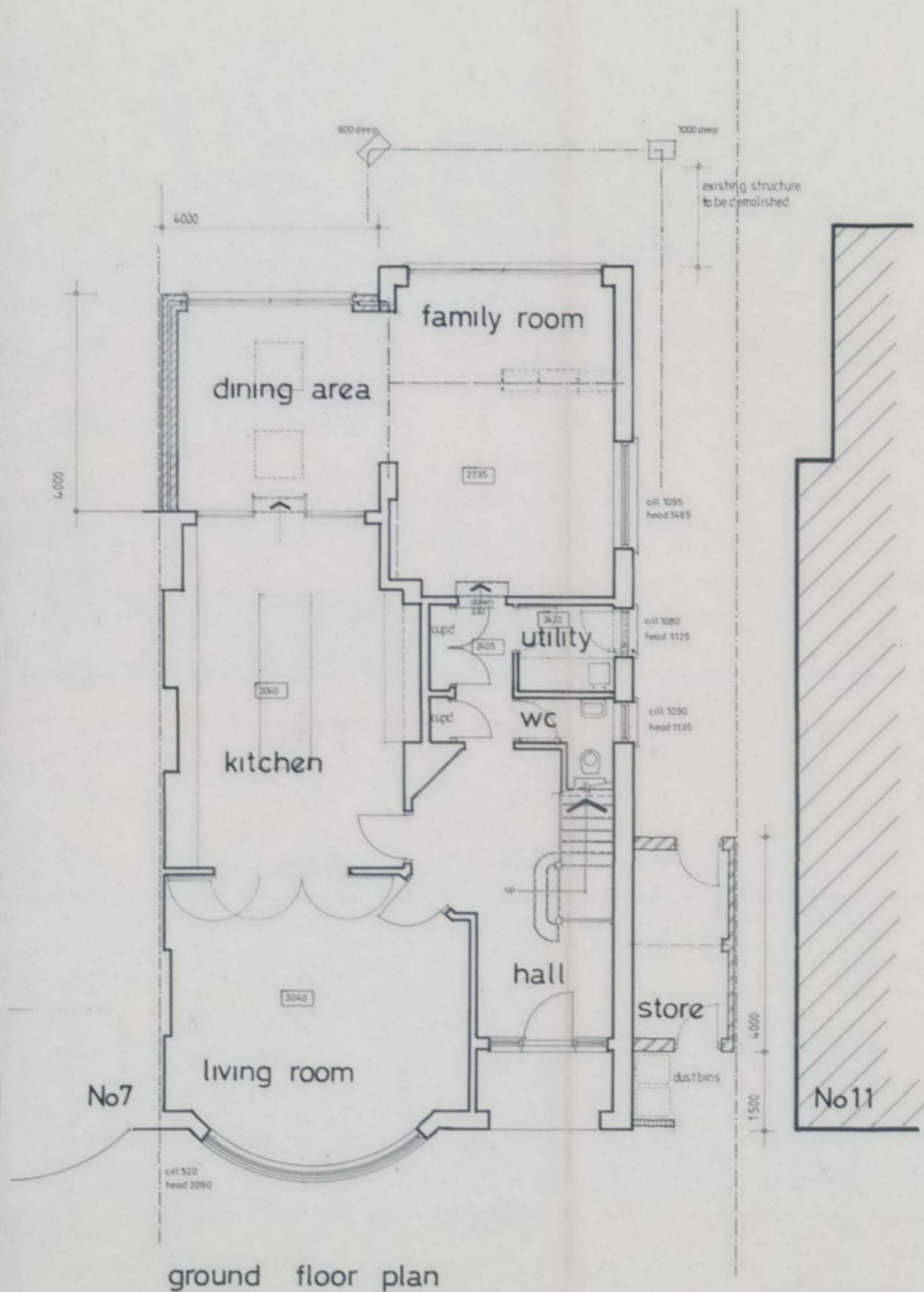
Scale 1:50.

Date June 2006.

Drawn By A.J.Blyth

DRAWING No. **PMB/06/137/2**

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Figured dimensions shall be used in preference to scaled dimensions. All dimensions shall be checked on site before commencing works.

*All work shall comply with the latest Building Regulations and be to the satisfaction of the Local Authority

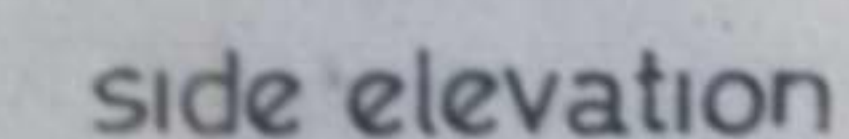
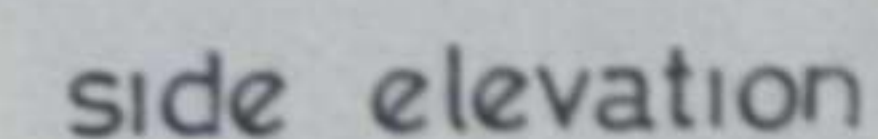
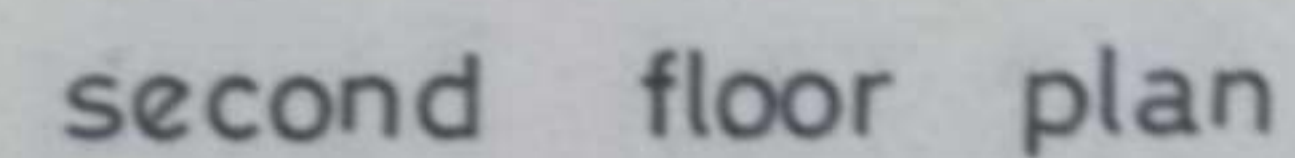
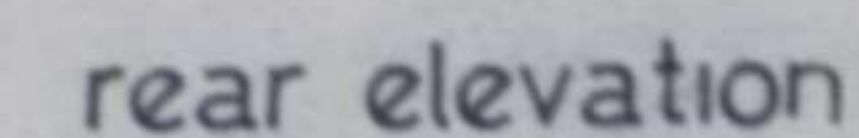
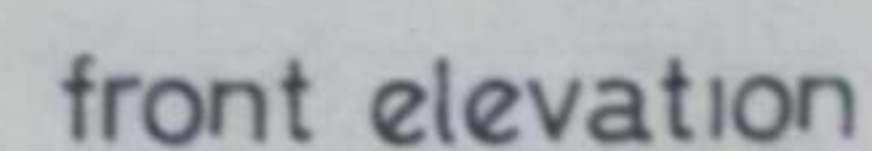
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Materials shall be suitable for the purpose for which they are used and the quality shall not be lower than that defined in the relevant British or Continental Standard so designated.

4. All drainage shown on this drawing is assumed only and it is the contractor's responsibility to check the exact details and locations prior to the commencement of the works.
5. Any new or proposed drains found under the proposed extension are to be enclosed in 150mm concrete and reinforced concrete brickwork are to be enclosed in 150mm concrete and reinforced concrete brickwork.
6. Existing sub-soil vent pipes are to be maintained (if necessary) to provide 150mm dia pvc ducts extending from the existing air bricks to new 225 x 150mm air bricks in the new external walls.
7. All glazing is to be double glazed and to be to BS6202 and any glazing below 1.7m from ground floor level is to be burglarized or laminated.
8. All new habitable rooms are to be provided with permanent ventilation of 8000m³/hr, and this is to be achieved by providing either trickle vents in the door/window design or by air bricks within the room.
9. Provide vertical and horizontal gables at all new walls, and all lintels are to have a minimum end bearing of 150mm.
10. All steel beams are to be enclosed in 2 layers of 12.5mm plaster board and sown coat of plaster to achieve a fire rating of 1/2 hour.
11. All timbers used in the construction of this project are to be to BS3 grade.

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9. Provide vertical and horizontal gables at all new walls, and all lintels are to have a minimum end bearing of 150mm.
10. All steel beams are to be enclosed in 2 layers of 12.5mm plaster board and sown coat of plaster to achieve a fire rating of 1/2 hour.
11. All timbers used in the construction of this project are to be to BS3 grade.

[illegible]

Proposed alterations

Proposed alterations

17 Sequoia Park,
Hatch End, Pinner
Middlesex HA5 4DG
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17 Sequoia Park,
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Date June 2006.

Drawn By A.J.Blyth

DRAWING No. **PMB/06/137/4**