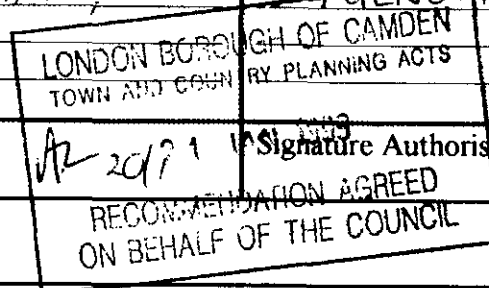


LONDON BOROUGH OF CAMDEN

REPORT FOR DECISION UNDER DELEGATED POWERS

Officer:- <u>Rob Brew</u>	Application Number(s):- <u>PE9800758</u>
Application Address <u>Mecca waiting Bingo Hall,</u> <u>14 Parkway, NW1,</u>	Drawing Numbers <u>30/GEN0075/ASO/OIA-03A.</u>
Signature - Area Team:- <u>JBK</u>	Signature Authorising Officer:- <u>[Signature]</u>



SITE DESCRIPTION:- Substantial Cinema and Bingo Hall building located on south side of Inverness Street within Camden Town CA. Application relates to roof at 5th floor level at rear of building.

PROPOSAL:- Installation of telecommunications equipment at roof level comprising an equipment cabin, 6 ^{pole} antennae, 3 ~~minimise~~ ^{antennae} dishes, and associated cabling and safety railing.

RELEVANT HISTORY:- Notification made under CDO of intention to install telecommunications equipment - confirmation given on 2.6.98 that AP was required as it includes installation of antennae on article 1(5) land, and it includes an equipment cabin on article 1(5) land.

RELEVANT POLICIES:-

Borough Plan -

UDP - EN1, 51, 33, PU8.

Others -

CONSULTATIONS:- Adjoining Occupiers _____ Number Notified _____ No. of Responses _____ No. of Objections _____

CAAC/Local Groups Comments:-

No objection

Summary of Consultation Response -

site notice - no replies

ASSESSMENT:-

The applicants have submitted a supporting statement that demonstrates that this area has a weak signal strength and further equipment is required to increase capacity to adequate levels. The applicants investigated 5 possible sites in the locality - Camden Town LUL station (considered to be in too prominent a location), Todd AOUK building on Hawley Crescent & The Interchange Building (both considered to already be overdeveloped with communications equipment), and Gibbey House on Tarnertown Rd (considered to have insufficient roof space for equipment). The applicants conclude that the proposed site is suitable as it ~~there~~ is not already overdeveloped with communications equipment, the proposed equipment will be at least partially hidden by a parapet wall, and the equipment will not be visually prominent in a sensitive location.

- In accordance with UDP policy P18 the proposals are considered ~~that~~ acceptable because:
- (a) ^{they do} not have a harmful impact on visual character and appearance on what is a large, utilitarian red brick building, and the surrounding area;
 - (b) they are not attached to a listed building;
 - (c) there is no scope for the sharing of existing communications equipment locations in the locality as these are already fully developed;
 - (d) associated landscaping works are not required; and,
 - (e) operational requirements dictate that the proposal is the minimum amount of equipment needed to provide an adequate service.

The proposals are considered to preserve the character and appearance of this part of the Camden Town CA, and they are considered to be acceptable.

RECOMMENDATION:- FPC

Conditions/Reasons for Refusal:-

1. CNO1
- ~~2. CNO3~~

Reasons for Conditions:-

1. DNO1
- ~~2. DNO3~~

Informatives:-

~~Refuse for the following reasons:-~~

Approve subject to the following conditions:-

CODING SHEET

Area Team: S / NE / NW

Reg.No. : P E9800350

Address: Odessa Cinema Building, 14 Parkway NW1

PRE REG: Y / N Date of App: 11/5 Date Rec: 12/5

Copy Application Type: TSAT

INCOMPLETE Y/N Reason(s):

COMPLETE (Formal Registration):

Date Reg: 12/5 Level of Decision: (D) / P

Case Officer: BRER Site Notice: (Y) / N Press Advt: (Y) / N

Departure: Y / (N) Weekly List Date: (as date inputted)

FEE SCREEN: Payment Type: (CHEQ) / CASH Payer: AGNT / APPL / OTHR

Total Amount Req. 35 Date Received: 12/5

Total Amount Rec.: 35 Receipt No. P0033311

AGENT: See application form for details

APPLICANT: Type: ONP See application form for details

LOCATION: See application form for details

Case File 511 10 B CA Area: CAT Ward: CHA

PROPOSED DEVELOPMENT: See application form for details

Proposal (if not as on application form see below or over)

Application for determination under Part 24 of the G.D.O for installation of 6 pole mounted antennae and upto 4 dish antennae and equipment cabinets on roof.

Alter/extend: Y / N New Building involved: Y / N

Public Right of Way Y / N Demo.ind: Y / N

Site Area = Sq.m

Newspaper: DOE Code: ~~OTIS~~ OTTE

ADVERT DETAILS: Newspaper Date: (as date inputted)

Related Appl No. Cert Type: Cert Present Y / N

App.Signed (Y) / N No of Plans Req: 4 No.of Plans Rec: 4

LISTED BUILDING CODES: I II II*

NEIGHBOURS LETTERS: Y / (N) STANDARD CONSULTTEES: Y / N

COMMENTS:

NEIGHBOURHOOD CONSULTATIONS

ADDRESSES

Not necessary

~~Camden Town Centre Management Group DSO1 DSO~~

E/R

K

Total sent:

Date sent: / /

Replies due by: / /

STANDARD CONSULTATIONS

EXTERNAL:

Tick

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Date sent

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INTERNAL:

Tick

[] Env.Health

[] Traffic (ITRA)

[] Forward Plan (IFPP)

☒ IC+D

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Date sent

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15 / 5 / 98

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Date ALL consultations complete by: / /

ASAP