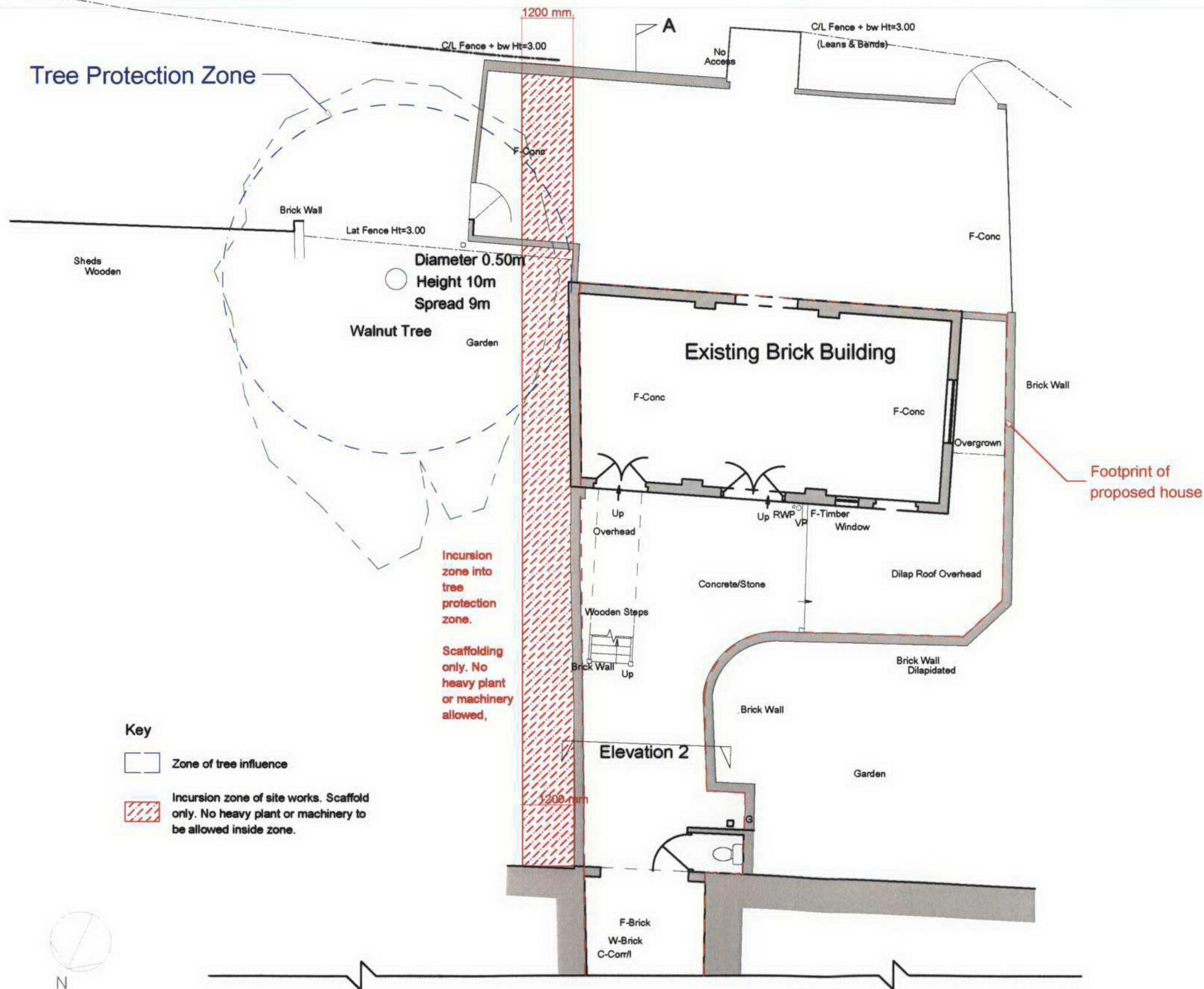
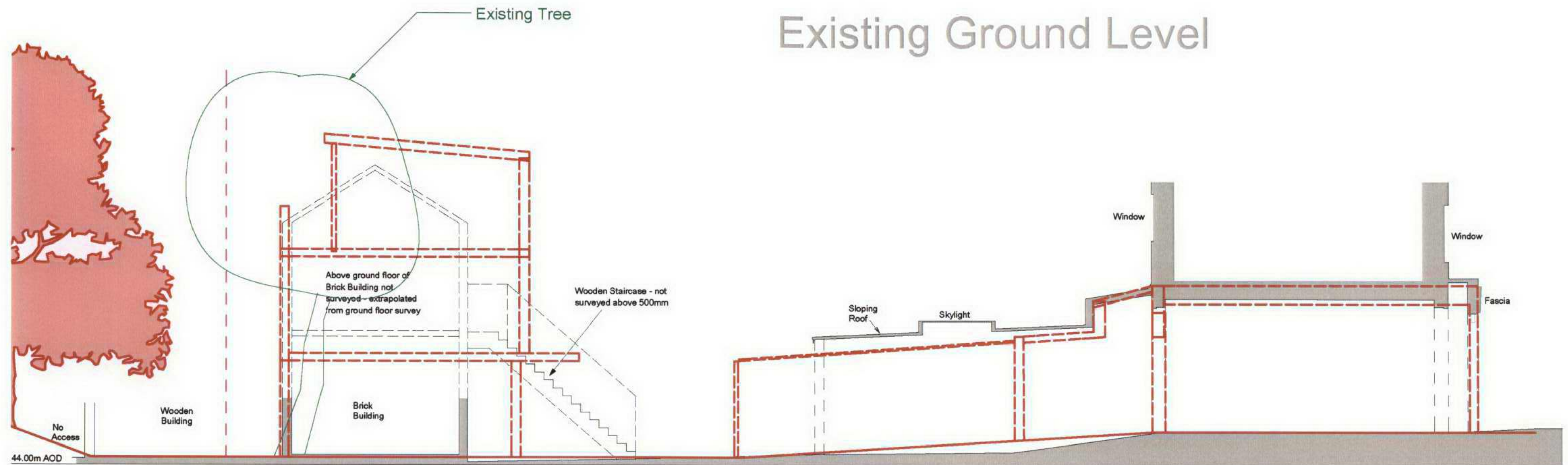




REV. A	Updated to reflect removal of Northmost tree, Incursion Zone added.		
REV. B			
REV. C			
REV. D			
DRAWING TITLE: Tree Location Survey and Protection Zone SCALE: 1:100 @ A3			
PROJECT: 134 Iverson Road		CLIENT: MR. P. CUNNINGHAM	
DRAWING NO. 2006-191-011 REV. A		STATUS: PLANNING	
DRAWN: BKEO CHECKED: AC		DATE: September 2006	
Crawford Partnership		14, Murrell Hill, London, N10 3TH Tel: 020 9444 2050 Fax: 020 9444 1150 info@crawfordpartnership.co.uk www.crawfordpartnership.co.uk Company number 3495261	
Architecture		Interior Design	
Development			

Proposed Ground Level

Existing Ground Level



Section A-A

REV: A	
REV: B	
REV: C	
REV: D	
DRAWING TITLE: Tree Protection Zone - Level Changes SCALE: 1:100 @ A3	
PROJECT: 134 Iverson Road	CLIENT: MR. P. CUNNINGHAM
DRAWING NO.: 2006-191-012 REV:	STATUS: PLANNING
DRAWN: BKEO CHECKED: AC DATE: September 2006	
Crawford Partnership Architecture Interior Design Development 1A Maxwell Hill, Lymington, N10 0TH Tel: 020 8444 2000 Fax: 020 8444 1100 info@crawfordpartnership.co.uk www.crawfordpartnership.co.uk Company number: 3493511	

Wooded embankment to railway

Ground floor living area is all on one level

Floor to ceiling windows

Site Boundary

Vertical timber screen made up of 30mm² timber studs at 80mm centres, providing a translucent screen to embankment and site boundary fence

AV wall

Living Space
A: 50.90 m²
F/C: 2.50 m

Kitchen Area

Roof drainage channeled to grey water tank

Concealed grey water tank with sump

Garden of No. 136A

Ground Gallery / Work Area
A: 37.97 m²
F/C: 2.50 m

Cobbles removed, levels altered, cobbles relayed. Gaps filled with cement to form smoother surface to facilitate wheelchair access.

Stair to work area

Utility area with potential for conversion to walk in shower

Sliding door to ground floor bathroom.

Garden of No. 132

Garden of No. 130

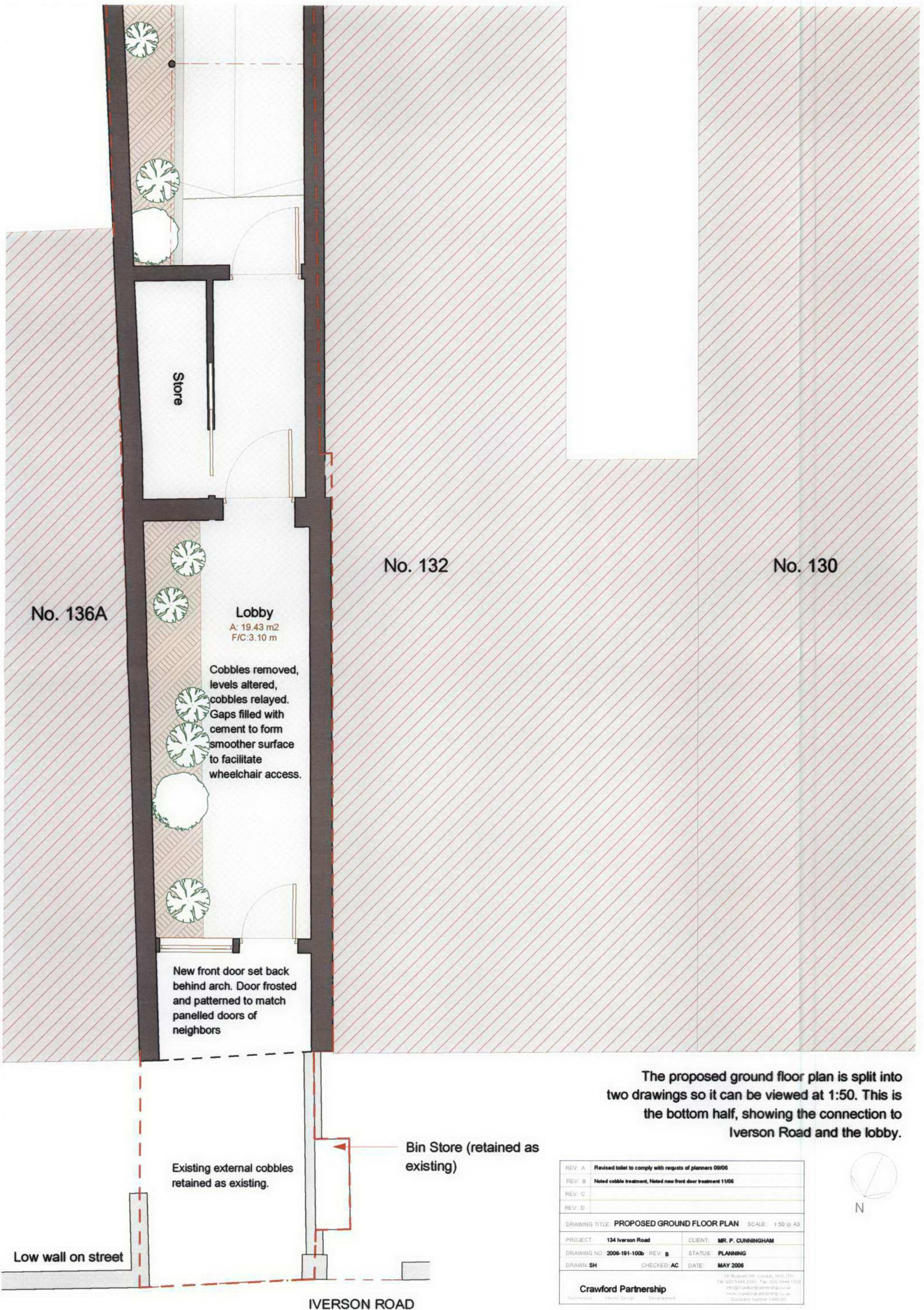
The proposed ground floor plan is split into two drawings so it can be viewed at 1:50. This is the top half, showing the dwelling and gallery/garden space



Cobbles removed, levels altered, cobbles relayed. Gaps filled with cement to form smoother surface to facilitate wheelchair access.

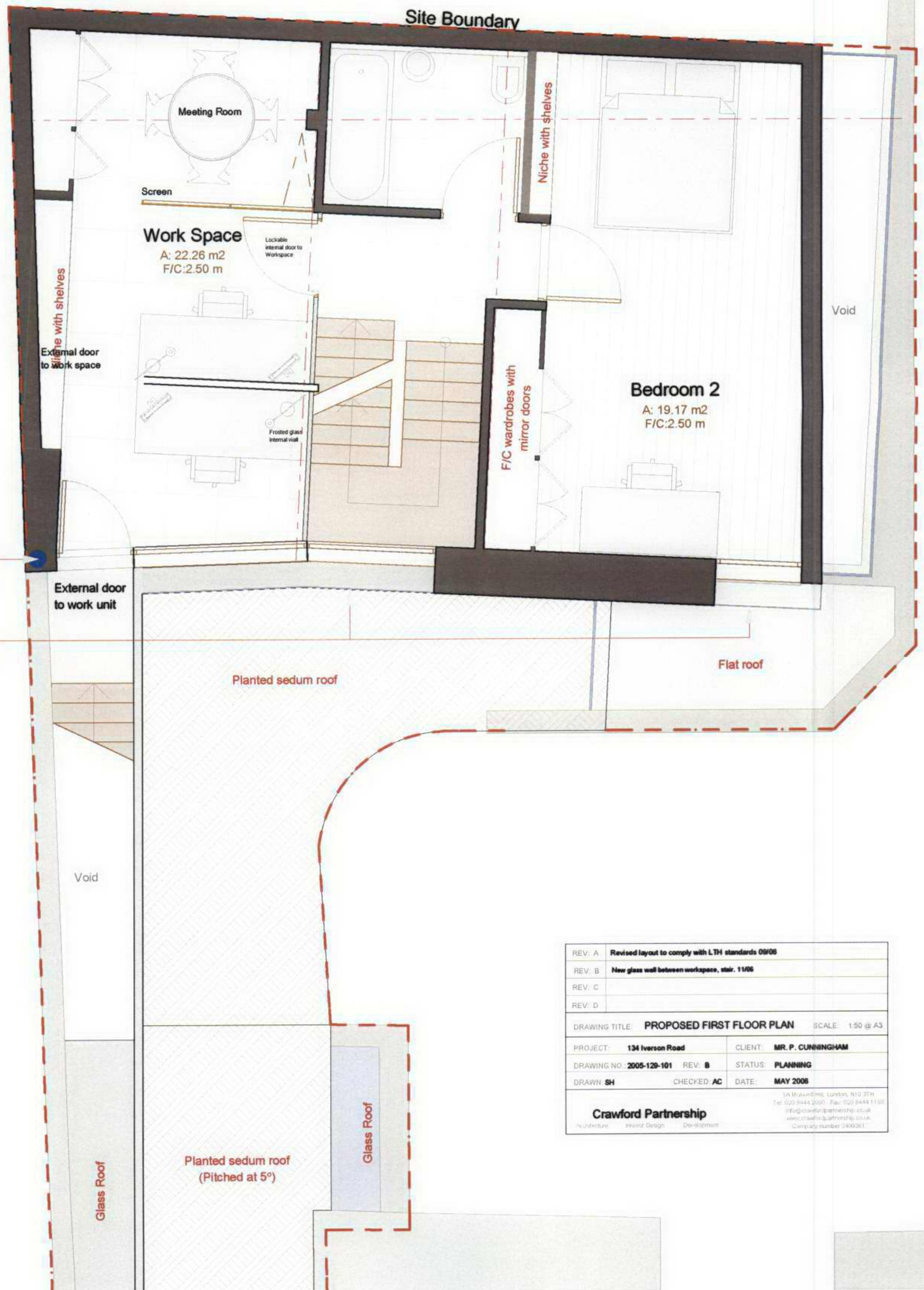
Seat/Water Feature

REV: A	Revised layout to comply with LTH standards 06/06
REV: B	Noted cobble treatment, labelled covered courtyard work area 11/06
REV: C	
REV: D	
DRAWING TITLE: PROPOSED GROUND FLOOR PLAN SCALE: 1:50 @ A3	
PROJECT: 134 Iverson Road	CLIENT: MR. P. CUNNINGHAM
DRAWING NO: 2006-191-100a REV: B	STATUS: PLANNING
DRAWN: SH	CHECKED: AC DATE: MAY 2006
Crawford Partnership Architecture Interior Design Urban Design	
1A Mowbray Hill, London, N10 1TH Tel: 020 8444 2050 Fax: 020 8444 1163 info@crawfordpartnership.co.uk www.crawfordpartnership.co.uk Company Number: 3406361	



The proposed ground floor plan is split into two drawings so it can be viewed at 1:50. This is the bottom half, showing the connection to Iverson Road and the lobby.

REV: A	Revised toilet to comply with requests of planners 09/06		
REV: B	Noted cobble treatment, Noted new front door treatment 11/06		
REV: C			
REV: D			
DRAWING TITLE: PROPOSED GROUND FLOOR PLAN SCALE: 1:50 @ A3			
PROJECT: 134 Iverson Road		CLIENT: MR. P. CUNNINGHAM	
DRAWING NO: 2006-191-100b REV: B		STATUS: PLANNING	
DRAWN: SH		CHECKED: AC DATE: MAY 2006	
Crawford Partnership		1A Mispell Hill, London, SE10 3TH Tel: 020 5444 2090 Fax: 020 5444 1100 info@crawfordpartnership.co.uk www.crawfordpartnership.co.uk Company number 3499381	
Architecture		Interior Design	

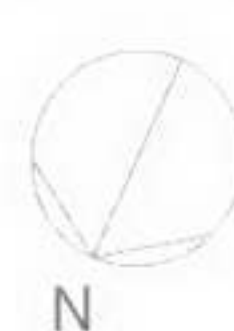


REV: A	Revised layout to comply with LTH standards 09/08		
REV: B	New glass wall between workspace, stair. 11/08		
REV: C			
REV: D			
DRAWING TITLE: PROPOSED FIRST FLOOR PLAN			SCALE: 1:50 @ A3
PROJECT: 134 Iverson Road		CLIENT: MR. P. CUNNINGHAM	
DRAWING NO.: 2005-129-101		REV: B	STATUS: PLANNING
DRAWN: SH		CHECKED: AC	DATE: MAY 2008
Crawford Partnership		1A Blenheim, London, N10 3TH Tel: 020 8444 2050 - Fax: 020 8444 1130 info@crawfordpartnership.co.uk www.crawfordpartnership.co.uk Company number 349361	
Architecture		Interior Design	
		Development	





REV: A	Removed rendering at request of planners, added PV panels 09/08
REV: B	Added full height glass wall separating workspace and living area, 11/08
REV: C	
REV: D	
DRAWING TITLE: Proposed Section BB SCALE: 1:50 @ A3	
PROJECT: 134 Iverson Road	CLIENT: MR. P. CUNNINGHAM
DRAWING NO: 2008-191-301 REV: B	STATUS: PLANNING
DRAWN: SH	CHECKED: AC DATE: MAY 2008
Crawford Partnership Architecture Interior Design Development 1A Maxwell Rd, London, W10 3TH Tel: 020 8444 2000 Fax: 020 8444 1100 info@crawfordpartnership.co.uk www.crawfordpartnership.co.uk Company number: 04406611	



REV: A	Noted cable treatment, labelled covered courtyard work area 11/06		
REV: B			
REV: C			
REV: D			

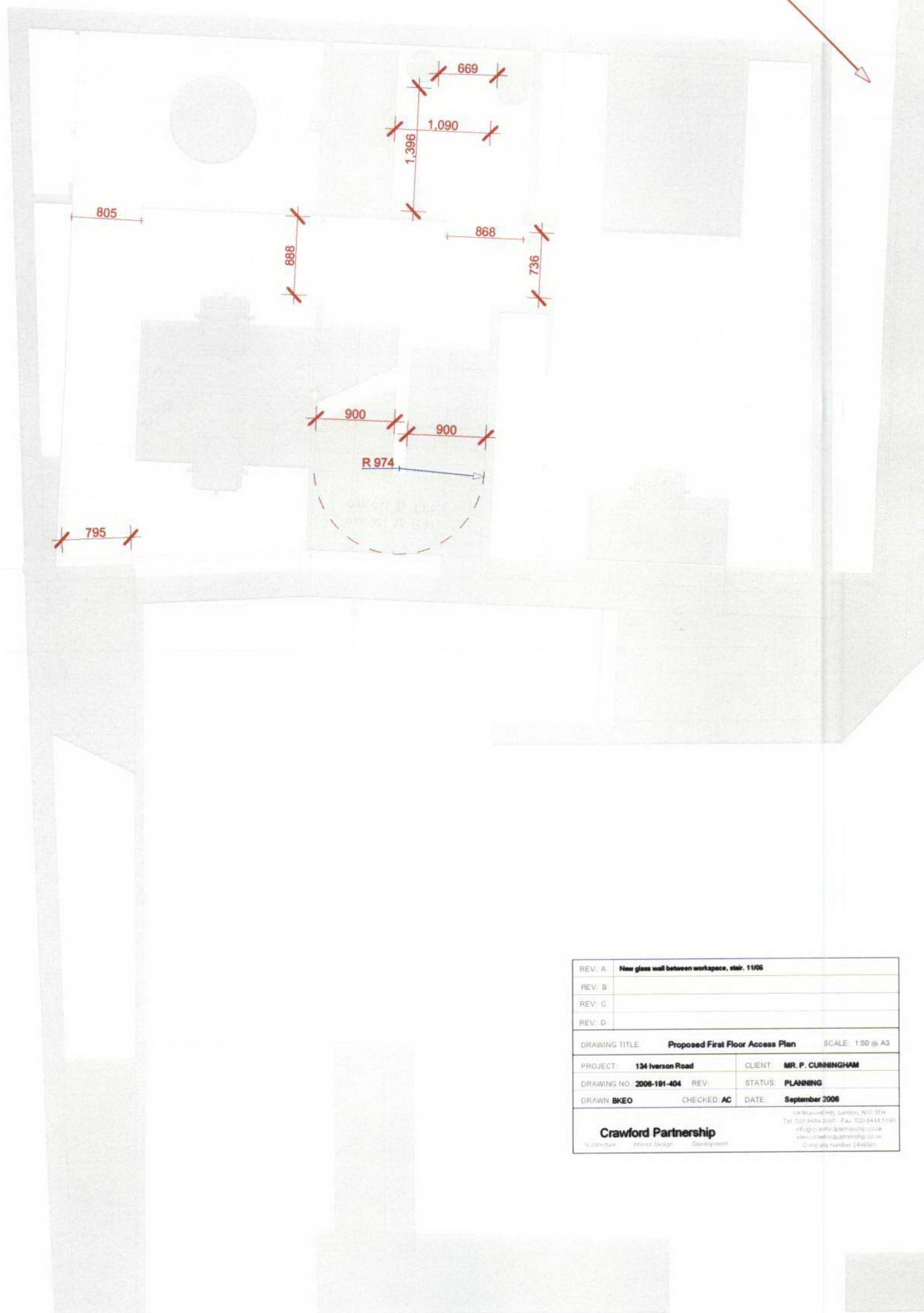
DRAWING TITLE		Proposed Ground Floor Access Plan	SCALE: 1:50 @ A3
PROJECT:	134 Iverson Road	CLIENT:	MR. P. CUNNINGHAM
DRAWING NO:	2006-191-403 REV: A	STATUS:	PLANNING
DRAWN:	BKEO	CHECKED:	AC
		DATE:	September 2006

Crawford Partnership

architects interior design landscape

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Glass wall to
toplight kitchen



This drawing shows
dimensions and radii in
support of the LTH
standards



REV: A	New glass wall between workspace, stair. 11/06		
REV: B			
REV: C			
REV: D			
DRAWING TITLE: Proposed First Floor Access Plan		SCALE: 1:50 @ A3	
PROJECT: 134 Iverson Road	CLIENT: MR. P. CUNNINGHAM		
DRAWING NO: 2006-191-404	REV:	STATUS: PLANNING	
DRAWN: BKEO	CHECKED: AC	DATE: September 2006	
Crawford Partnership		10A Mountfield, London, N10 3TH Tel: 020 8444 3000 Fax: 020 8444 1130 info@crawfordpartnership.co.uk www.crawfordpartnership.co.uk Company number 340960	
Architecture Interior Design Services			