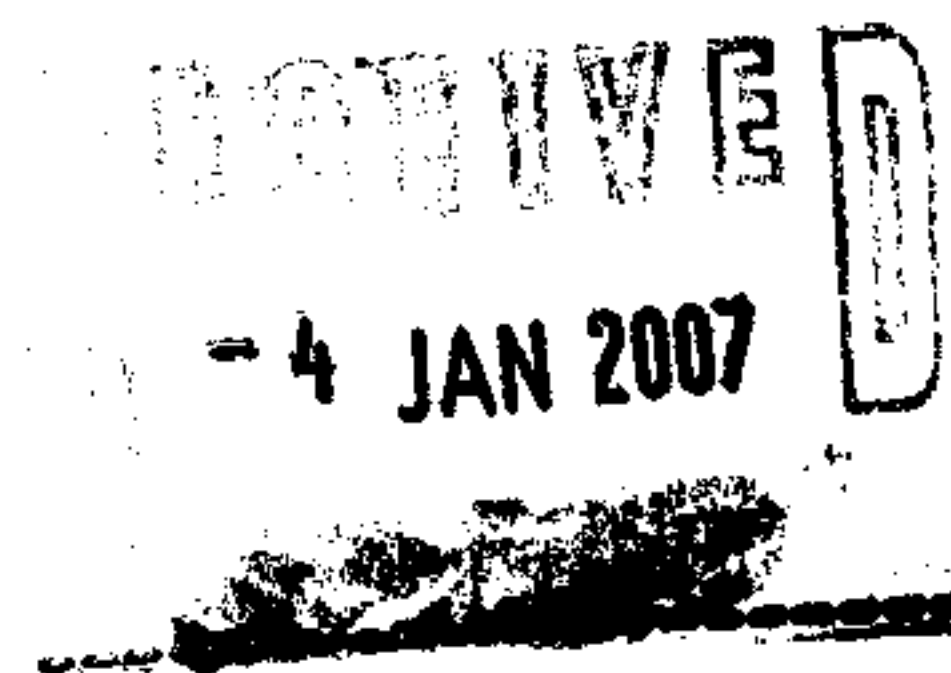


Planning 'Design and Access' Statement

for

Extension to
5 Shepherds Walk
NW3 5UE

Revision 01 (20.12.06)



WEBB ARCHITECTS LIMITED

Proposed Building Use

The proposal is for the alteration, extension and refurbishment of a single private dwelling.

Extent of Proposed Building

It is proposed that the external space to the North of the site between 5 and 5B Shepherds Walk that is at present accessed from the pavement only and an under-used part of the site is developed to provide much needed additional living accommodation in the form of one additional bedroom and the enlargement of an existing bedroom to the upper floors and an enclosed garage space at ground floor. The garage space provides off street parking and a refuse/ recycling space.

Layout of Proposed Building

The functions of the rooms will remain as the existing configuration but with additional living accommodation in the form of one additional bedroom and the enlargement of an existing bedroom to the upper floors and an enclosed garage space at ground floor.

Scale of Proposed Building

The additional accommodation has been designed to ensure that the developed building will be similar in scale to the other mews style properties in the street.

Landscaping

The very generous garden will remain as existing. No additional landscaping is planned.

Appearance

The proposed additional accommodation to the house is counter balanced by the generous size of the site and existing garden. The massing of the new proposal and infilling of the space between 5 and 5B is a continuation of the massing along the street and reflects the higher ridge- lines to 4 and 5B Shepherds Walk and to the buildings on the opposite side.

Access

See attached Lifetime Homes access statement.