



2 CONNAUGHT MEWS LONDON NW3

### Design Statement

#### CHASSAY+LAST ARCHITECTS

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## 1.0 Introduction

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This document describes the site, the design concept and reasoning behind the proposals and relevant additional matters.

The Design Statement forms one of the supporting documents for the detailed Planning Application which is now being made and should be read in conjunction with the following :

- Plans
- Access Statement
- Daylight and Sunlight Report
- Accoustic Measurement Report



## 2.0 Site Location and Character

### Locality

2 Connaught Mews is located in a Mews just off of Pond Street and lies to the south of the Hampstead Heath Railway Station. The area is residential with some retail along the main streets. 2 Connaught shares a boundary wall with the rear garden of Maryon Mews located to the north-east.

2 Connaught Mews also resides within the Hampstead Conservation area.



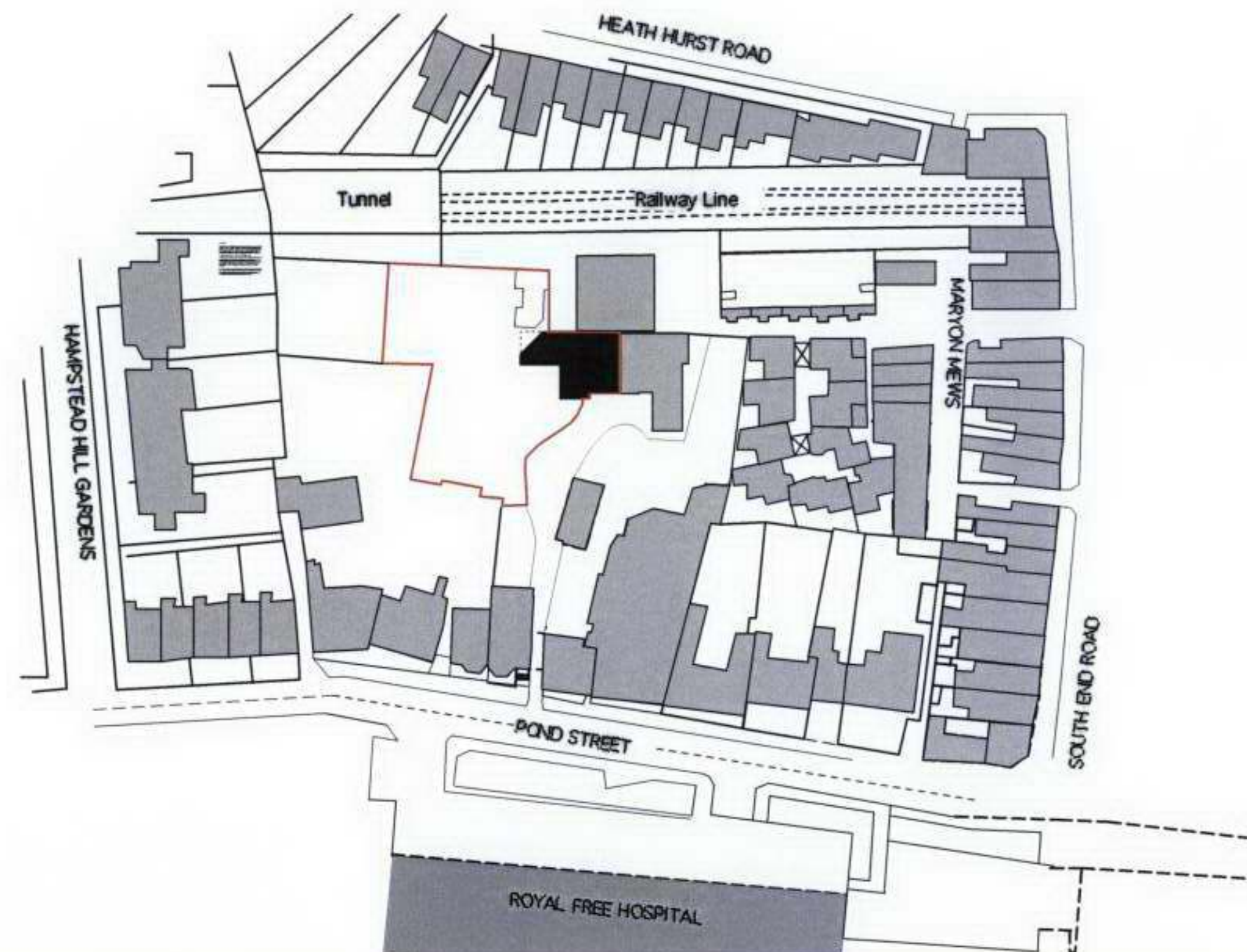
1. View from garden lawn of north elevation



2. north-west elevation



3. View from driveway of north elevation





### 3.0 Existing



1. North bounday wall to the left of outhouse building



2. Maryon Mews shown behind outhouse building

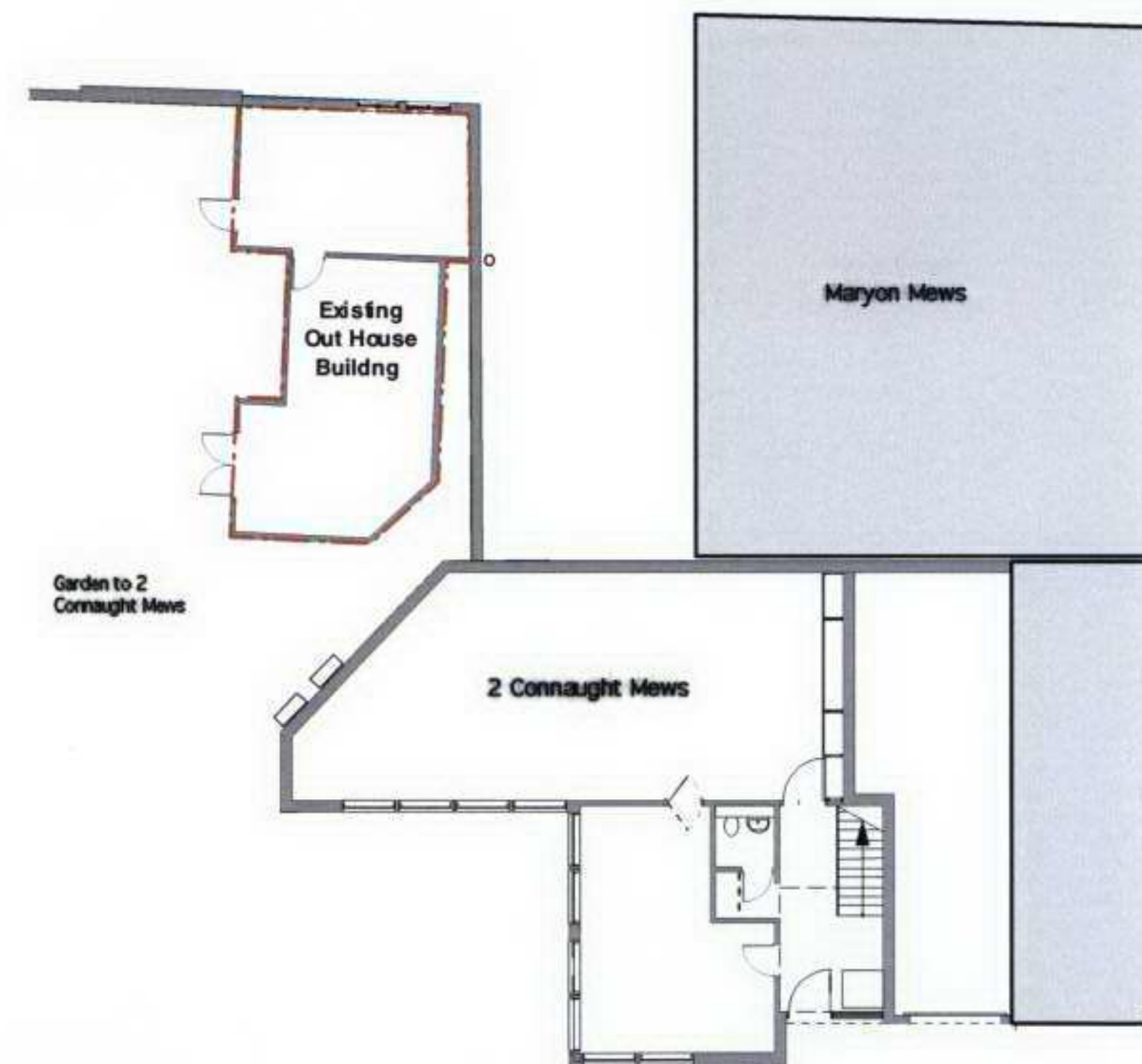


3. West splayed wall of 2 Connaught Mews to the right of outhouse building

2 Connaught Mews is an elegant and modern single family house with a chamfered corner to the west wing. 2 Connaught Mews has two air conditioning units located in the garden against the angled wall of the aforementioned chamfered corner.

The post 1948 one-storey outhouse building is also located in the garden along the boundary wall between Connaught and Maryon Mews. The boundary/flank wall also forms part of the north and east wall to the outhouse building. It has long since been in disuse.

For access arrangements please refer to the access statement.





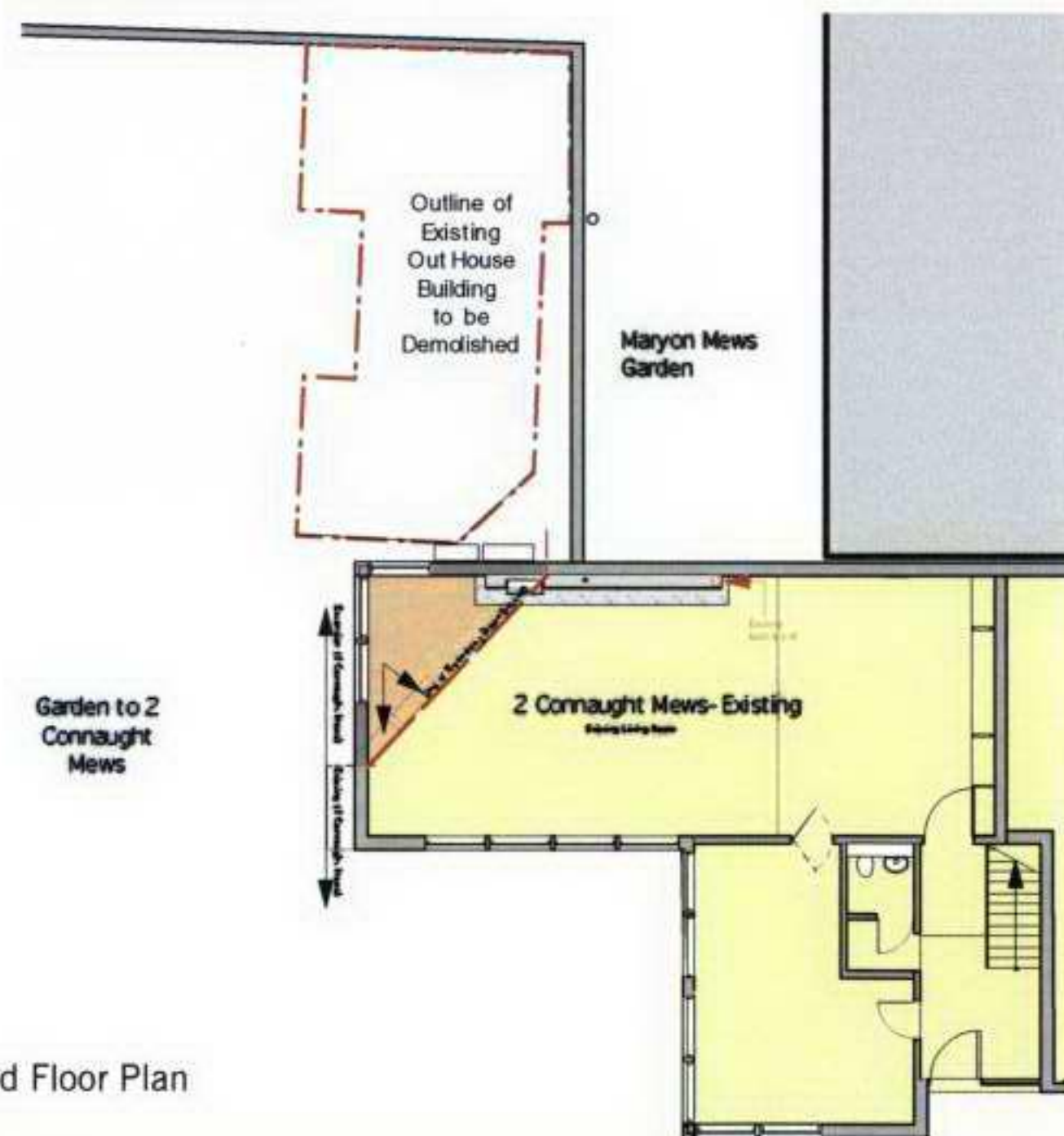
## 4.0 Proposed



This project involves the addition of a rear extension to square-off the west facing splayed wall of the existing dwellinghouse and the relocation of two air-conditioning units to the boundary wall (see acoustic measurement report). In order to successfully complete this alteration, demolition of an existing post-1948 derelict outhouse is required.

The impact of the extension to the existing building would significantly improve the overall appearance and function as the "squaring-off" would create direct access to the private garden, as well as allowing additional light to penetrate the living/dining area on ground level, while allowing the master bedroom on the first level to re-orient toward a more private view of the garden. In addition to improving the function, the squaring-off would also 'complete' the building north-east elevation. As it is the intention of the proposal to create a modest and seamless addition to the existing building, all proposed finishes shall match existing materials. Windows frames shall be in an aluminium/timber composite with timber panelling between the ground and first level (by Velfac). While the white render surface of the existing cladding shall continue across the proposed extension.

Proposed removal of the outhouse building would involve repair to the north wall using second-hand brickwork and brick-on-edge coping to match the existing boundary wall (see drawing PSC-008 for wall treatment details). The existing garden lawn is to extend over the area of the removed outhouse. Also, it was concluded from the assessment using BRE tests that the effects of the extension on daylight and sunlight to the inhabitants of Maryon Mews was indeed negligible, (see Daylight and Sunlight Report).



Ground Floor Plan

