

# CHRIS DYSON ARCHITECTS

Joe Purcell  
Camden Planning + Urban  
Team leader  
South area Design team,  
Town Hall,  
Argyle Street,  
LONDON WC1H 8EQ

13 March 2007

**CDA02- Camden  
Conservation + Urban  
Design @ Camden Ref  
2003 /2529/P**

Dear Joe Purcell:

**RE: Variation to planning permission granted 24<sup>th</sup> November 2003  
Your ref: 2003/2529/P new roof terrace/ amenity space at first floor  
Re-instate cast iron railings and open up light well to basement in front of shop front  
LOCATION: 1 Betterton street, Covent Garden, London WC2H 9B**

Following your e-mail correspondence dated 19<sup>th</sup> February 2007 [copy enclosed] we enclose our planning application for the above property. CDA payment of fee to LBC £135 Barclays bank check number 100488

My clients who live in the house would like to create a larger amenity space to the roof area than has been granted as they feel is not worthwhile in its current consented form. Having drawn up and corresponded with you on two versions for consideration one in harmony with the house [mansard] and the other in contrast to the house a more contemporary approach [pavilion], we have opted with your advice to go for the mansard fronted option.

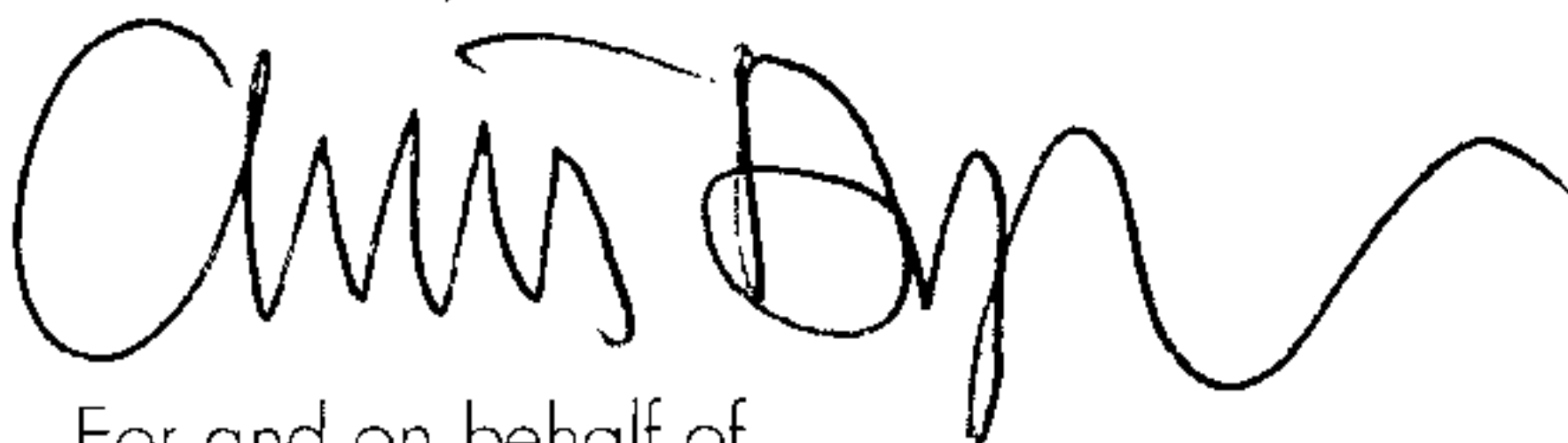
Our idea is to create a winter garden room from the front and a terrace at 9sqm facing the rear as in the original submission but larger and more useful and as a consequence more likely to be enjoyed all year round. We have also included a modification of the ground floor rear glazing to include a glazed floor balcony enclosed by an opaque glass screen supported off the party walls. Party wall notices have already been served on all the adjoining owners.

The provision of a winter garden glazed to the rear to the terrace will make for a worthwhile and more readily used amenity space and really add something positive to the house.

We would also like to improve the shop front and reinstate the railings at ground floor level in front of the house incorporating glass rather than plastic to the elevation with timber glazing bar details in sympathy with the period of the house.

I do hope you share our enthusiasm for these enhancements of this attractive house.  
I look forward to receiving your comments,

Yours sincerely,



For and on behalf of  
Chris Dyson, Principal Director  
CHRIS DYSON ARCHITECTS

Chris Dyson  
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