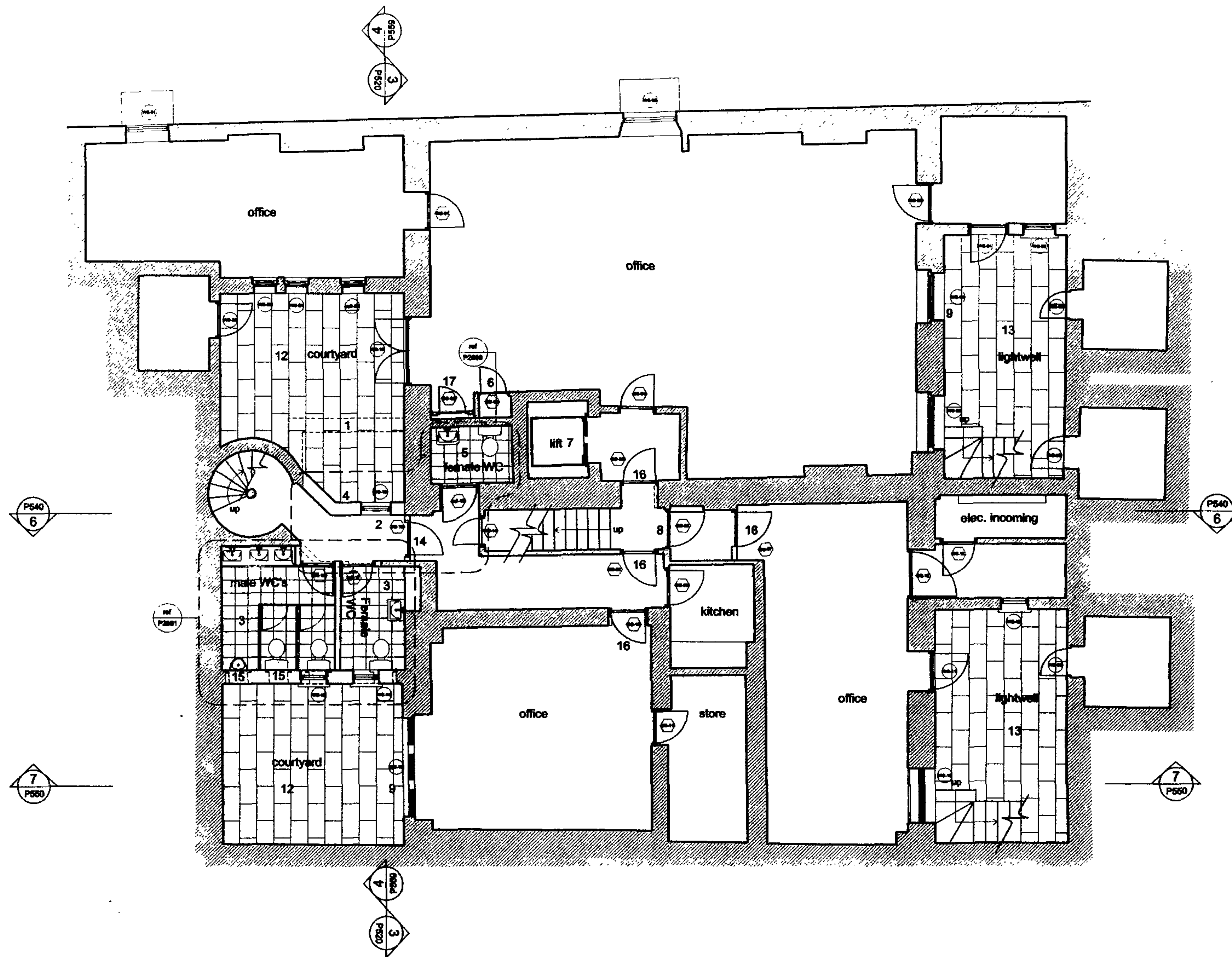




# Key - Lower ground floor

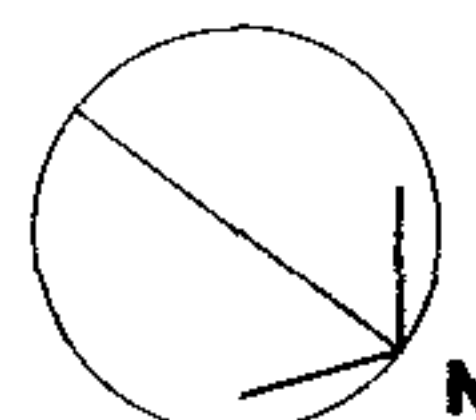
- Existing wc's demolished to increase size of courtyard & improve amenity for surrounding offices accommodation
- Existing door opening partially bricked up to provide window to lobby
- Existing wc's re-planned to provide separate male & female accommodation
- Existing wall re-built as cavity wall with facing brick to match existing
- Opening to lift lobby increased in size to provide wheelchair access
- Existing riser door reduced in overall height
- Existing lift replaced with double sided car to provide wheelchair access to all floors, shaft size maintained as existing
- All existing doors refurbished with new ironmongery
- All existing windows retained & refurbished with new ironmongery
- All cornicing to be retained & made good to match existing where necessary
- All services to be replaced - all services to be concealed, all switch plates & sockets to be flush mounted
- New floor finish to courtyards
- New floor finish to lightwells
- Existing doors retained
- Existing window opening bricked up
- Existing structural opening increased in width to provide 750mm clear opening for wheelchairs
- New riser cupboard

- existing wall
- new wall
- wall to be demolished
- waterproof tanking

date rev revisions

key plan

notes



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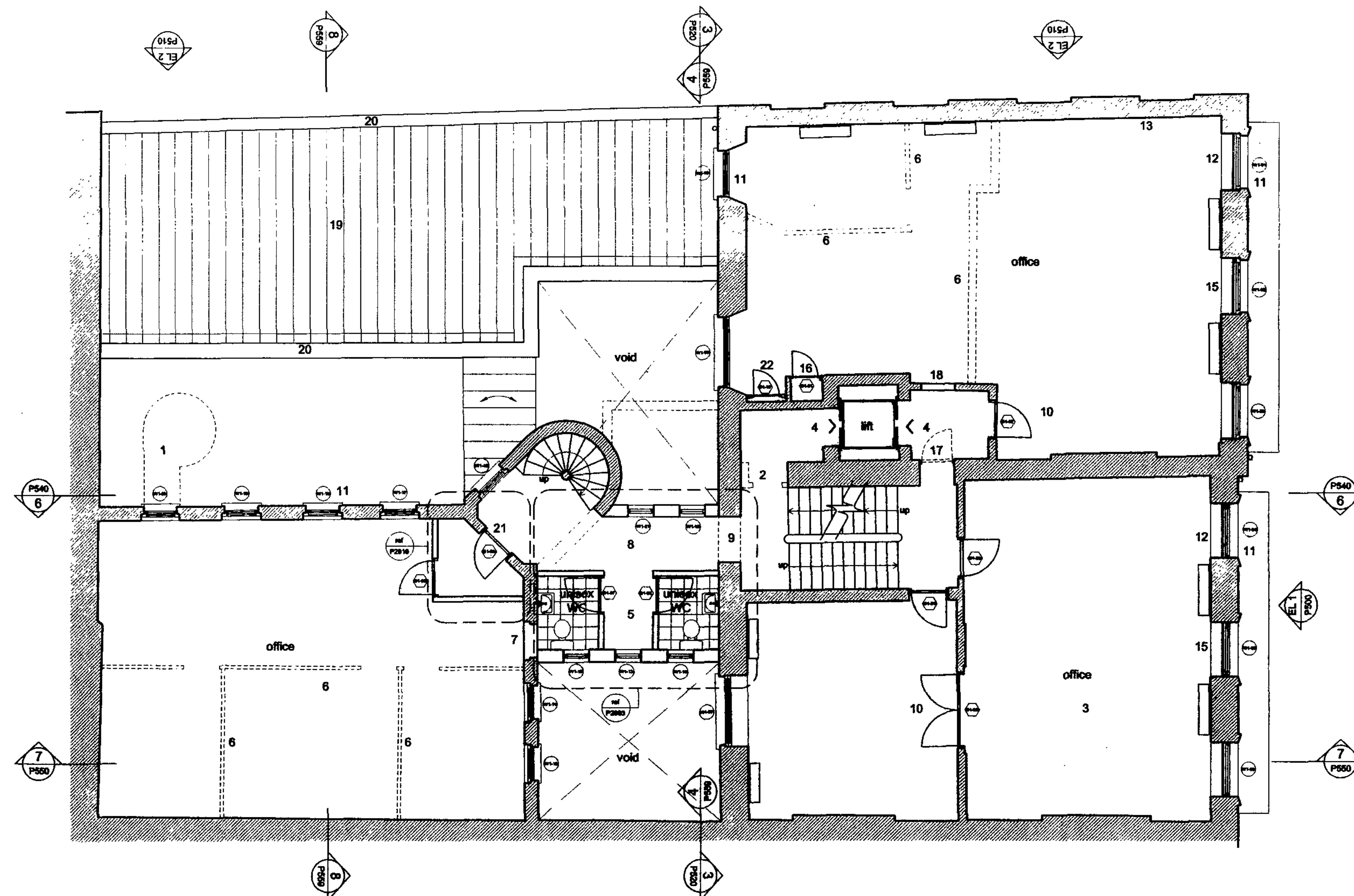
| project                             | drawing title                 |             |       |          |
|-------------------------------------|-------------------------------|-------------|-------|----------|
| 52-53 RUSSELL SQUARE<br>LONDON, WC1 | PROPOSED<br>LOWER GROUND PLAN |             |       |          |
| client                              | scale at A1                   | scale at A3 | drawn | date     |
| Bedford Estates                     | 1:50                          | 1:100       | TD    | 23.11.06 |
| project no.                         | drawing no.                   | revision    |       |          |
| 1470                                | P100                          | A           |       |          |



# Key - 1st floor

- Existing stair to courtyard removed
- Existing wc removed, new opening to lift to provide wheelchair access to rear building
- Existing office arrangement maintained
- Existing lift replaced with double sided lift car to allow wheelchair access to 1st floor of rear building
- New WC's to replace displaced existing WC adjacent to lift
- Existing non-original partition walls removed
- Existing window opening bricked up
- Existing linking building extended upwards to connect front & rear buildings at 1st floor level to allow wheelchair access to rear building, all in materials to match existing
- Existing window removed & cill dropped to form level access from landing to rear building
- All existing doors refurbished with new ironmongery
- All existing windows retained & refurbished with new ironmongery
- Existing secondary glazing to all windows facing Russell Sq replaced with opening lights to align with existing external windows, (existing mis-align)
- All cornicing to be retained & made good to match existing where necessary
- All services to be replaced - all services to be concealed, all switch plates & sockets to be flush mounted
- New casings below all windows to conceal services - as M&E dwgs
- Existing riser door reduced in height
- Existing door removed
- Existing doorway covered over
- Existing metal roof finish
- Existing parapets
- Existing structural opening increased in width to provide 750mm clear opening for wheelchairs
- New riser cupboard

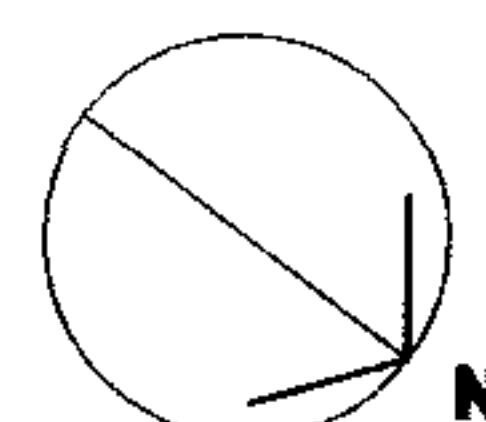
- existing wall
- new wall
- wall to be demolished
- waterproof tanking



date rev revision

key plan

notes



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project drawing title

52-53 RUSSELL SQUARE  
LONDON, WC1

PROPOSED  
FIRST FLOOR PLAN

client scale at A1 scale at A3 drawn date

Bedford Estates 1.50 1,100 TD 23.11.06

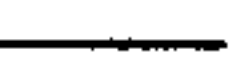
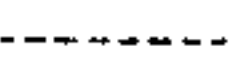
project no. drawing no. revision

1470 P120 A



# Key - 2nd floor

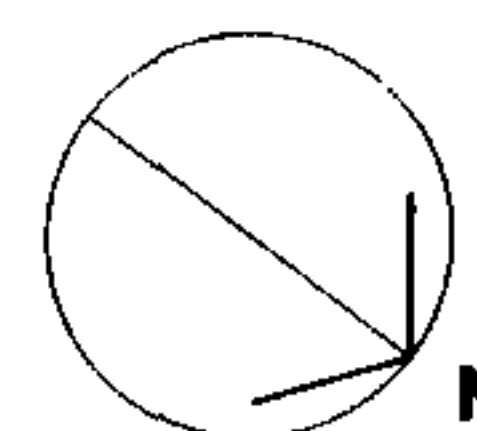
- 1 Existing door removed
- 2 Existing WC's refurbished
- 3 Existing office arrangement maintained
- 4 Existing metal roof
- 5 New metal roof to match existing rear building roof
- 6 New brick parapet
- 7 Opening made within existing partition to connect front & rear office accommodation coming retained
- 8 All existing doors refurbished with new ironmongery
- 9 All existing windows retained & refurbished with new ironmongery
- 10 Existing secondary glazing to all windows facing Russell Sq replaced with opening lights to align with existing external windows, (existing mis-align)
- 11 All coming to be retained & made good to match existing where necessary
- 12 All services to be replaced - all services to be concealed, all switch plates & sockets to be flush mounted
- 13 New casings below all windows to conceal services - as M&E dwg
- 14 Existing lift replaced with double sided car to provide wheelchair access to all floors, shaft size maintained as existing
- 15 Existing riser door reduced in overall height
- 16 Existing door and partition removed to improve circulation between lift and stairwell
- 17 New riser cupboard

-  existing wall  
 new wall  
 wall to be demolished  
 waterproof tanking

date rev revisions

key plan

notes



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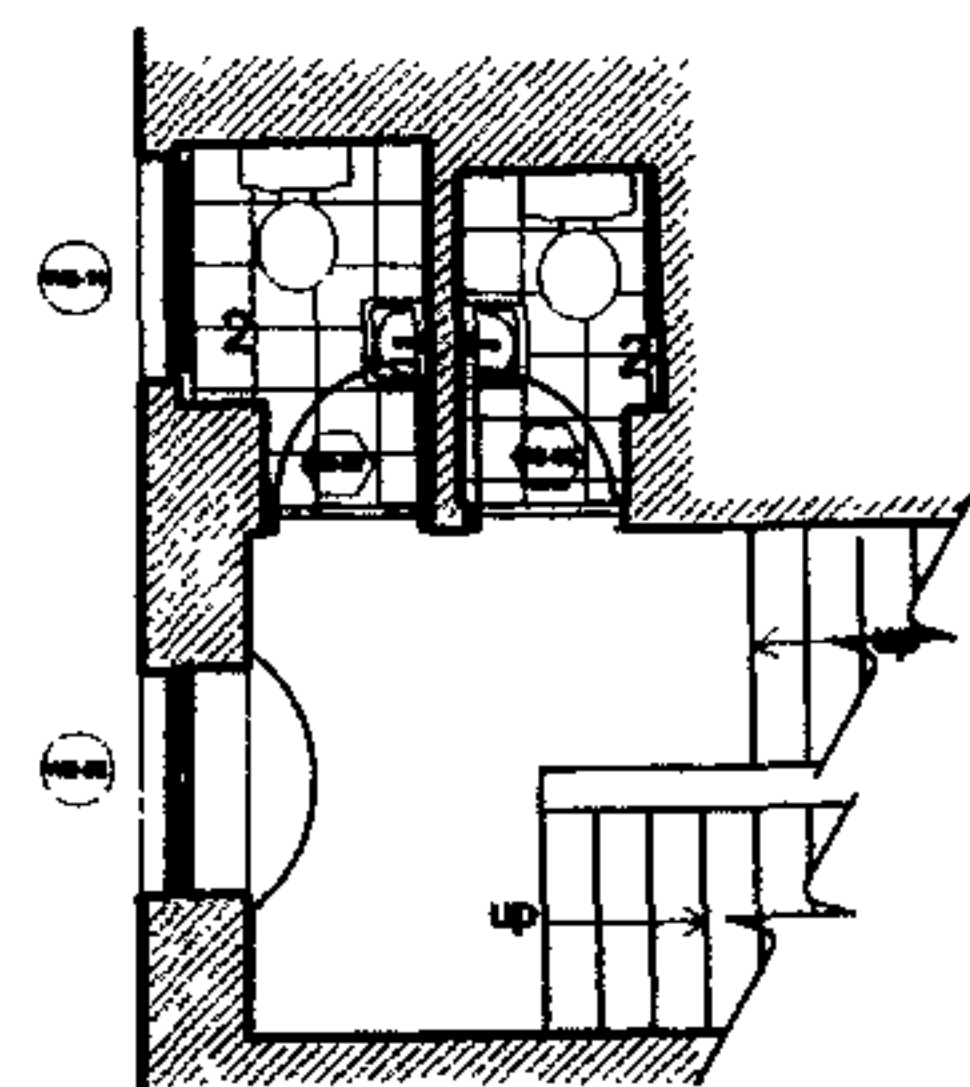
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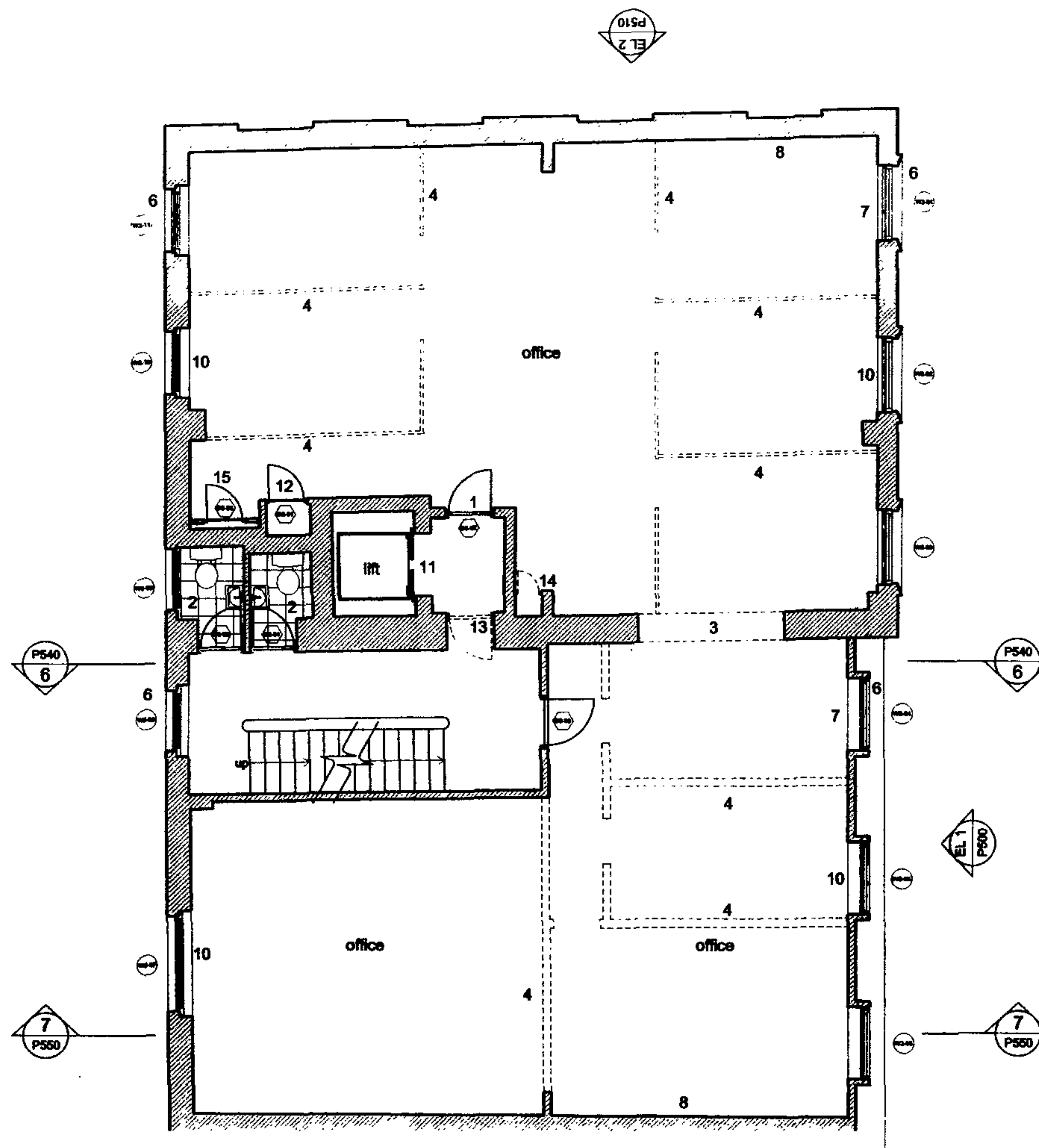
address unit 4 250 Finchley road london n3 3ba t 020 7436 1144 f 020 7436 0804 mail info@dmfk.co.uk

| project                             | drawing title                 |             |       |          |
|-------------------------------------|-------------------------------|-------------|-------|----------|
| 52-53 RUSSELL SQUARE<br>LONDON, WC1 | PROPOSED<br>SECOND FLOOR PLAN |             |       |          |
| client                              | scale at A1                   | scale at A3 | drawn | date     |
| Bedford Estates                     | 1:50                          | 1:100       | TD    | 23.11.08 |
| project no.                         | drawing no.                   | revision    |       |          |
| 1470                                | P130                          | A           |       |          |





Mezzanine level  
(between 2nd and 3rd floors)



#### Key - 3rd floor

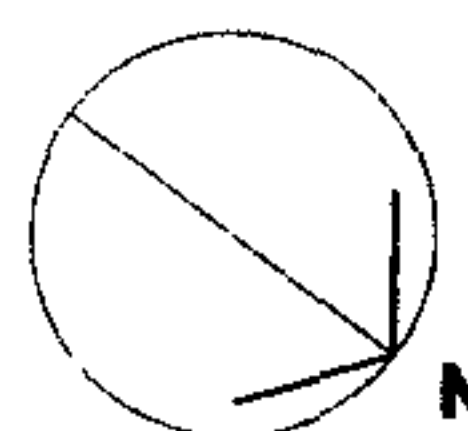
- 1 Door opening to lift lobby increased in width to provide wheelchair access
- 2 Existing WC's refurbished
- 3 New opening between buildings
- 4 Existing non-original partition walls removed
- 5 All existing doors refurbished with new ironmongery
- 6 All existing windows retained & refurbished with new ironmongery
- 7 Existing secondary glazing to all windows facing Russell Sq replaced with opening lights to align with existing external windows, (existing mis-align)
- 8 All cornicing to be retained & made good to match existing where necessary
- 9 All services to be replaced - all services to be concealed, all switch plates & sockets to be flush mounted
- 10 New casings below all windows to conceal services - as M&E dw
- 11 Existing lift replaced with double sided car to provide wheelchair access to all floors, shaft size maintained as existing
- 12 Existing riser door reduced in overall height
- 13 Existing door removed
- 14 Existing cupboard door removed
- 15 New riser cupboard

- existing wall
- new wall
- wall to be demolished
- waterproof tanking

date rev revisions

key plan

notes



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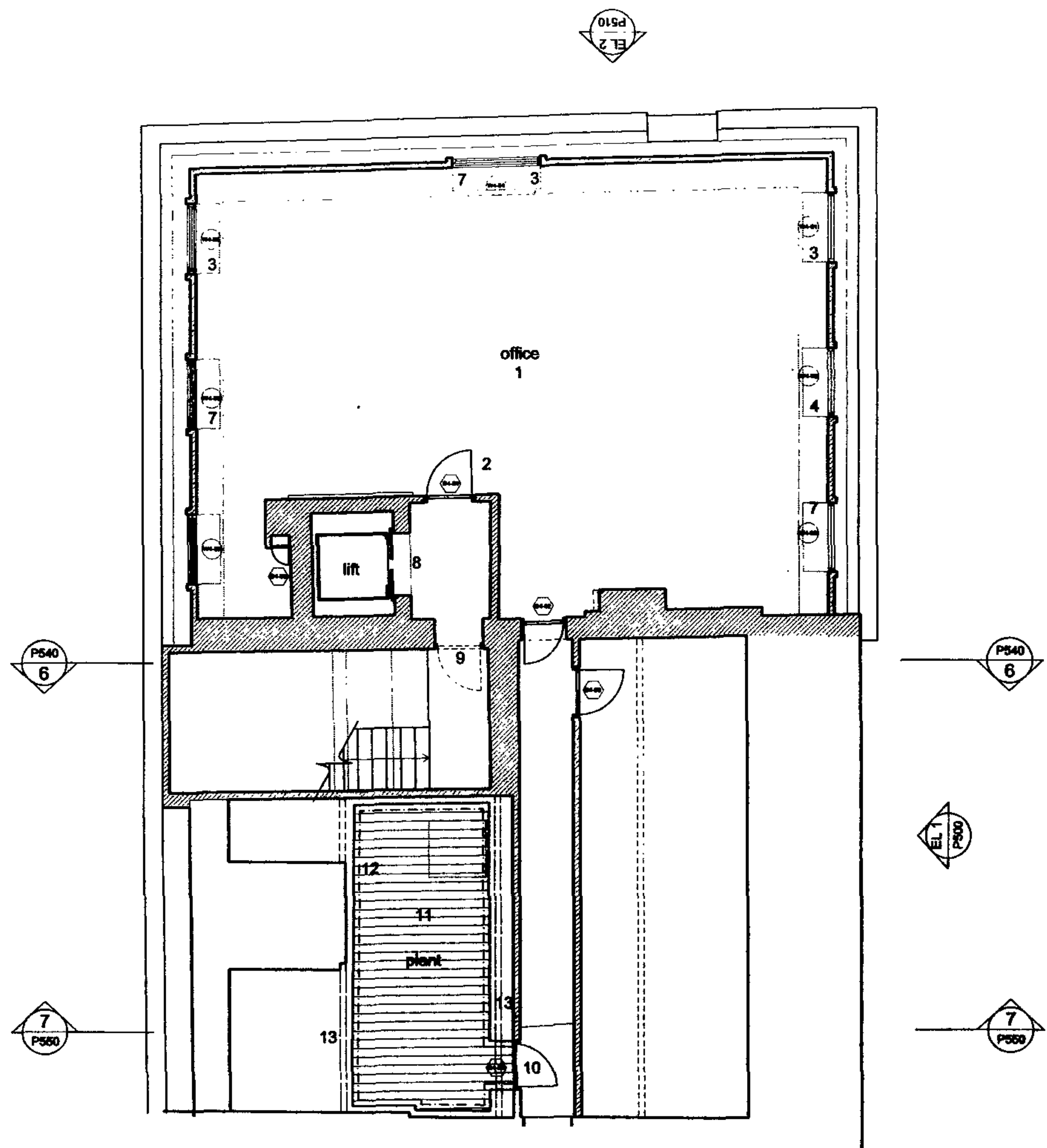
address unit 4 250 Finchley road london n3 6bn t 020 7435 1144 f 020 7435 0004 mail info@dmfk.co.uk

| project                             | drawing title                |             |       |          |
|-------------------------------------|------------------------------|-------------|-------|----------|
| 52-53 RUSSELL SQUARE<br>LONDON, WC1 | PROPOSED<br>THIRD FLOOR PLAN |             |       |          |
| client                              | scale at A1                  | scale at A3 | drawn | date     |
| Bedford Estates                     | 1:50                         | 1:100       | TD    | 23.11.06 |
| project no.                         | drawing no.                  | revision    |       |          |
| 1470                                | P140                         | A           |       |          |



Key - 4th floor

- Existing office arrangement maintained
- All existing doors refurbished with new ironmongery
- All existing windows retained & refurbished with new ironmongery
- Existing secondary glazing to all windows facing Russell Sq replaced with opening lights to align with existing external windows, (existing mis-align)
- All cornicing to be retained & made good to match existing where necessary
- All services to be replaced - all services to be concealed, all switch plates & sockets to be flush mounted
- New casings below all windows to conceal services
- Existing lift replaced with double sided car to provide wheelchair access to all floors, shaft size maintained as existing
- Existing door removed
- Door swing revised
- New plant room to contain outdoor condenser units for VRF system
- Existing walls tanked to provide fully waterproof enclosure open to
- Dashed line indicates existing truss

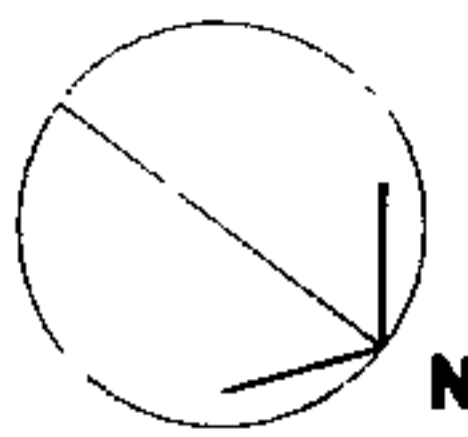


- existing wall
- new wall
- wall to be demolished
- waterproof tanking

date rev revisions

key plan

notes



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52-53 RUSSELL SQUARE  
LONDON, WC1

PROPOSED  
FOURTH FLOOR PLAN

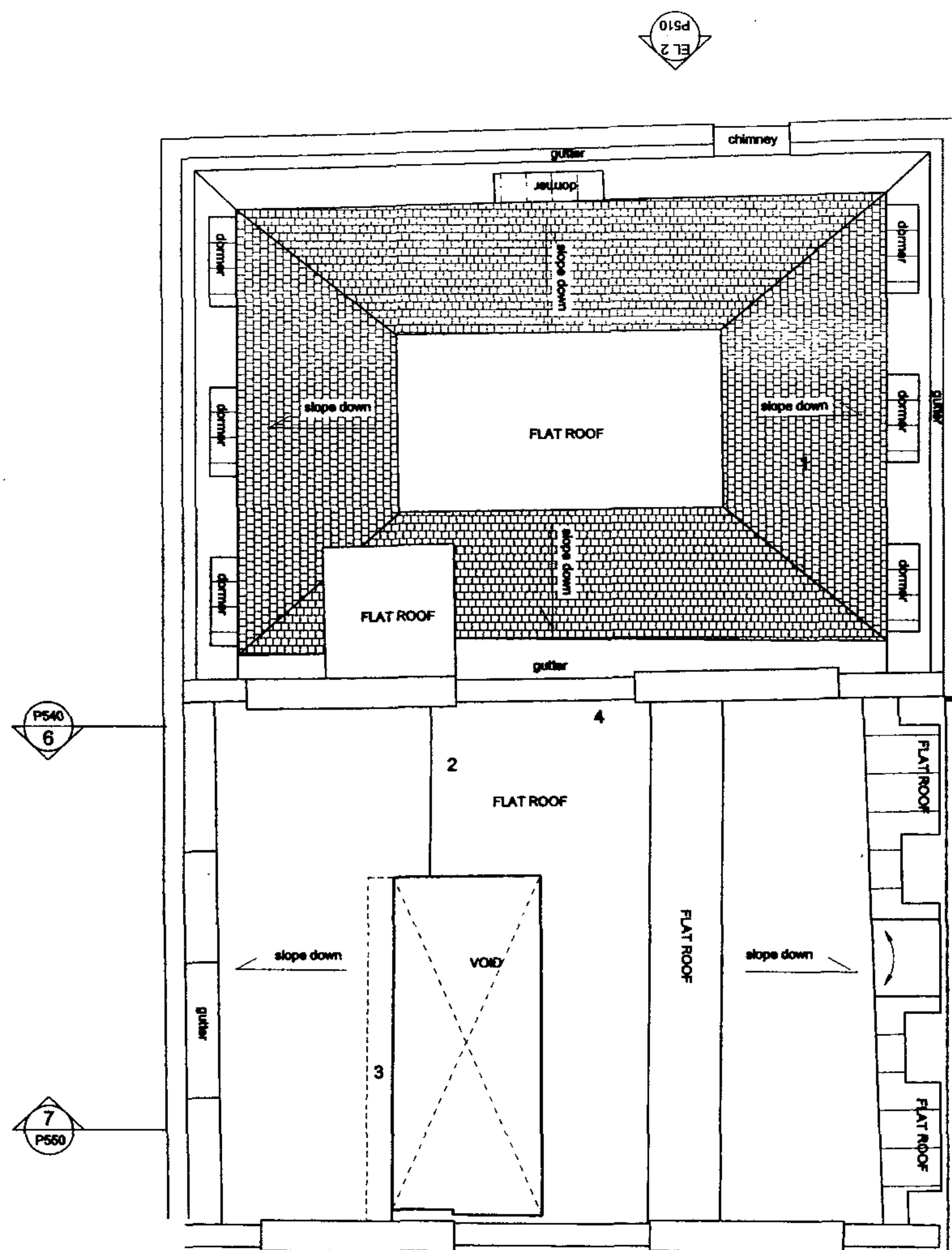
client scale at A1 scale at A3 drawn date

Bedford Estates 1:50 1:100 TD 23.11.06

project no. drawing no. revision

1470 P150 A





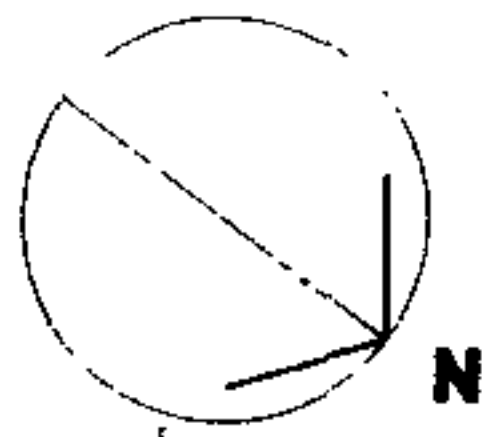
- 1 Existing slate roof finish
- 2 Existing asphalt roof finish
- 3 Dashed line indicates existing ridge line
- 4 Existing mansafe system
- 5 Existing flat roof roof removed to create open air plant space below - area to be tanked

- existing wall
- new wall
- wall to be demolished
- waterproof tanking

date rev revisions

key plan

notes



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| project                             | drawing title         |             |          |          |
|-------------------------------------|-----------------------|-------------|----------|----------|
| 52-53 RUSSELL SQUARE<br>LONDON, WC1 | PROPOSED<br>ROOF PLAN |             |          |          |
| client                              | scale at A1           | scale at A3 | drawn    | date     |
| Bedford Estates                     | 1:50                  | 1:100       | TD       | 23.11.06 |
| project no.                         | drawing no.           |             | revision |          |
| 1470                                | P160                  |             | A        |          |





- 1 Existing painted render re-decorated to match existing
- 2 Existing brickwork London stock
- 3 Existing brickwork
- 4 Existing lead roof
- 5 New lead roof to match existing
- 6 New brickwork to match existing
- 7 New windows to match existing rear building
- 8 Existing slate roof
- 9 Existing level access off Bedford place
- 10 Existing WC accommodation within basement courtyard removed
- 11 Existing barrel vaulted roof to link block removed
- 12 New WC accommodation
- 13 All existing windows refurbished & re-decorated to match existing
- 14 Existing asphalt roof
- 15 Existing roof extended in asphalt finish to match existing
- 16 Existing window opening bricked up
- 17 Existing door opening covered over
- 18 Existing nibs removed cornices made good to match existing
- 19 New stone finish to courtyards and lightwells
- 20 Existing door opening increased in size to match existing hallway doorset DG-04
- 21 Existing door reversed
- 22 Existing roof removed to create plant space open to sky
- 23 Existing walls and floor tanked

date rev revisions

key plan

notes

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project drawing title

**52-53 RUSSELL SQUARE  
LONDON, WC1** **PROPOSED  
SECTION 03**

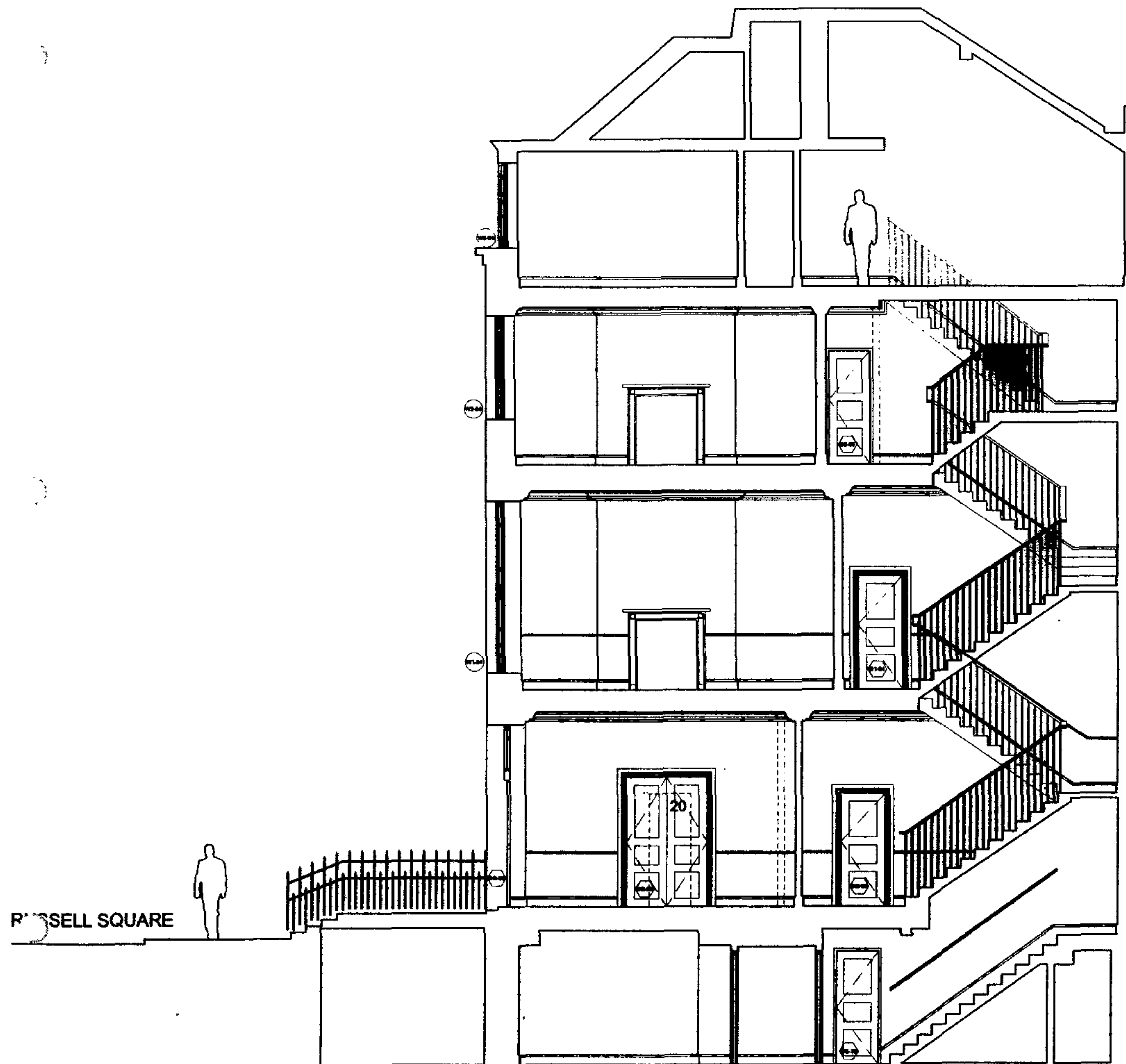
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Bedford Estates 1:50 1:100 TD 23.11.06

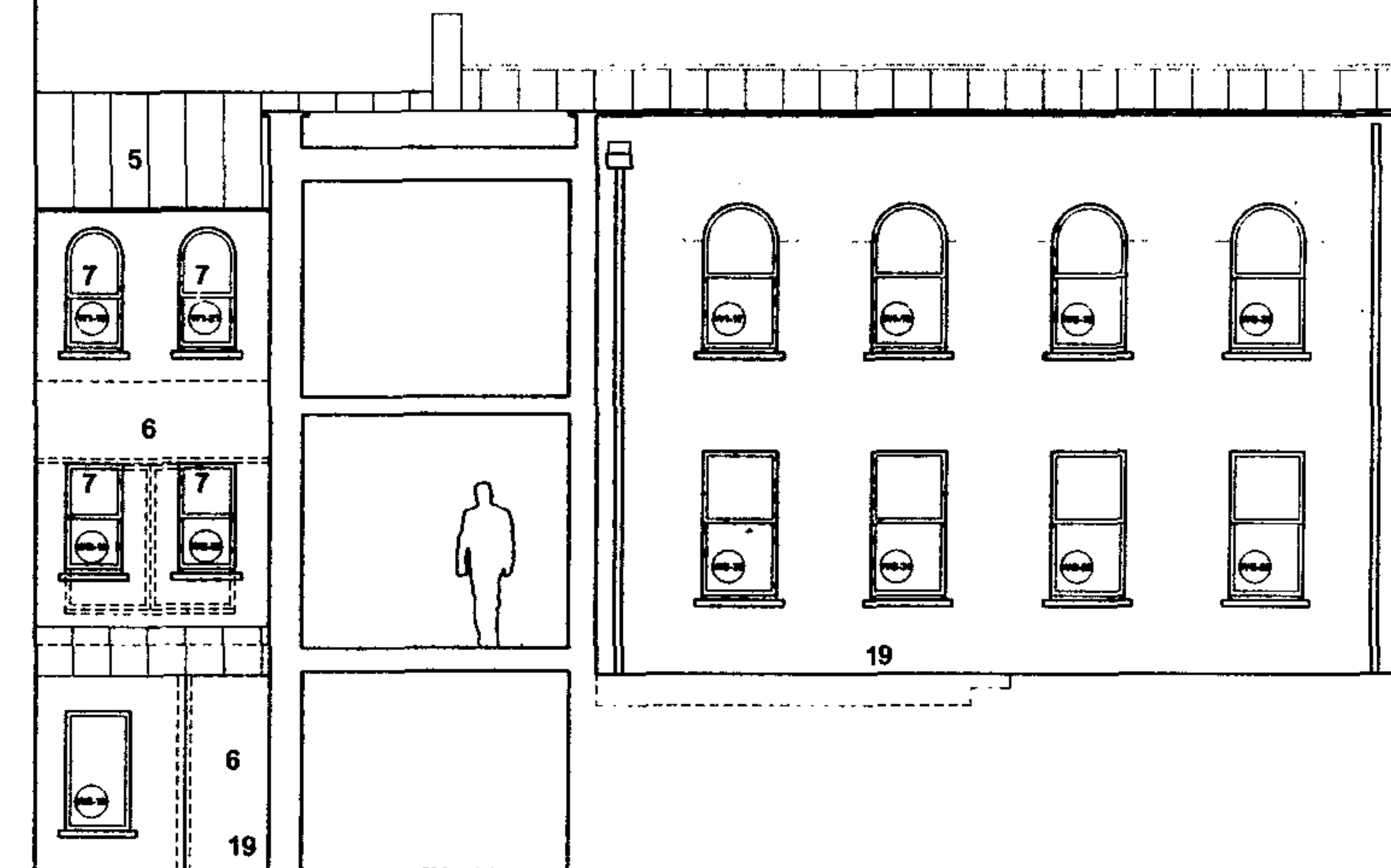
project no. drawing no. revision

1470 P520 A





- 1 Existing painted render re-decorated to match existing
- 2 Existing brickwork London stock
- 3 Existing brickwork
- 4 Existing lead roof
- 5 New lead roof to match existing
- 6 New brickwork to match existing
- 7 New windows to match existing rear building
- 8 Existing slate roof
- 9 Existing level access off Bedford place
- 10 Existing WC accommodation within basement courtyard removed
- 11 Existing barrel vaulted roof to link block removed
- 12 New WC accommodation
- 13 All existing windows refurbished & re-decorated to match existing
- 14 Existing asphalt roof
- 15 Existing roof extended to provide continuous roof line in asphalt finish to match existing
- 16 Existing window opening bricked up
- 17 Existing door opening covered over
- 18 Existing ribs removed cornices made good to match existing
- 19 New stone finish to courtyards and lightwells
- 20 Existing door opening increased in size to match existing hallway doorset DG-04
- 21 Existing door reversed
- 22 Existing roof removed to create plant space open to sky
- 23 Existing walls and floor tanked



date rev revisions

key plan

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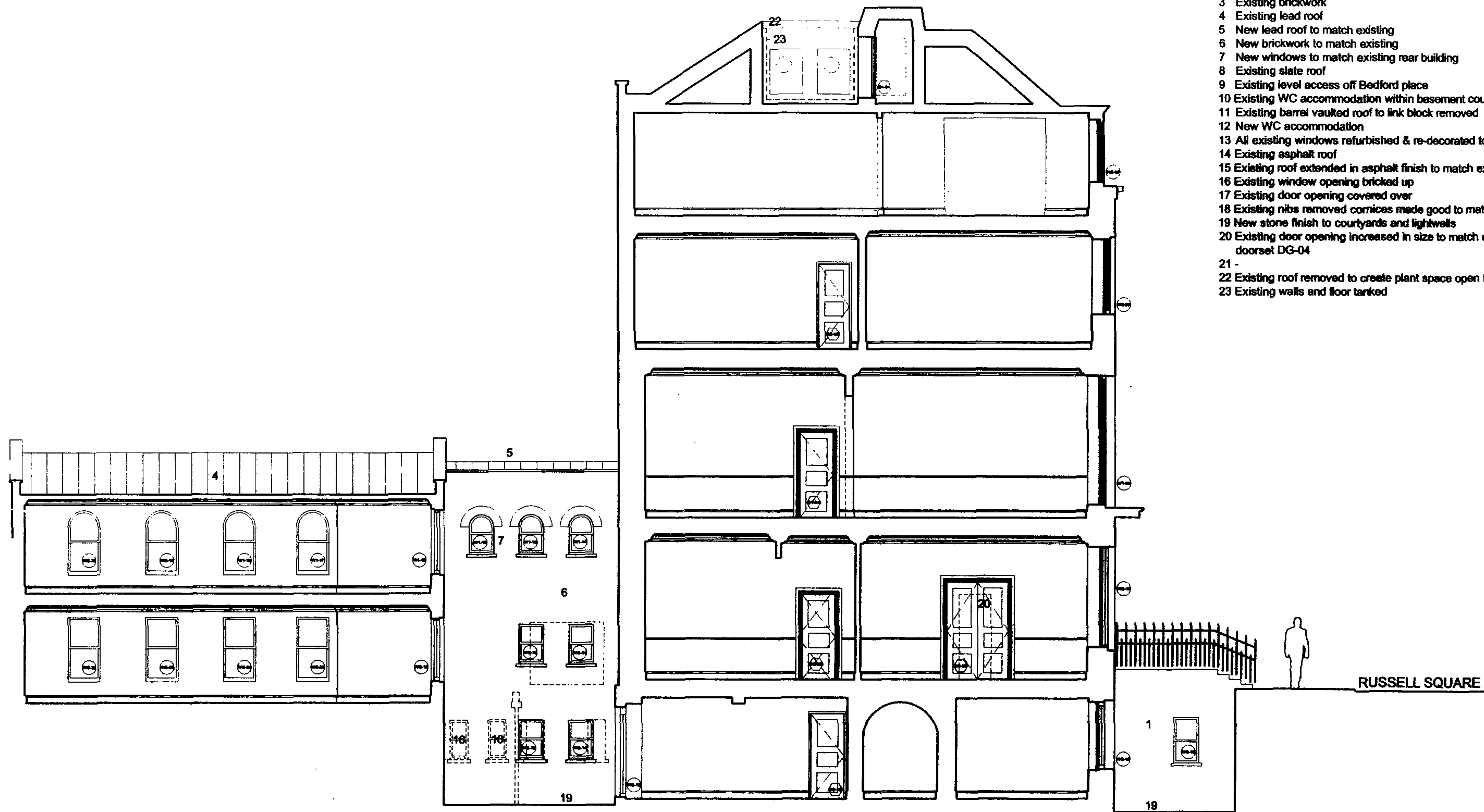
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| project                                      | drawing title                  |             |          |          |
|----------------------------------------------|--------------------------------|-------------|----------|----------|
| <b>\$2-53 RUSSELL SQUARE<br/>LONDON, WC1</b> | <b>PROPOSED<br/>SECTION 06</b> |             |          |          |
| client                                       | scale at A1                    | scale at A3 | drawn    | date     |
| Bedford Estates                              | 1:50                           | 1:100       | TD       | 23.11.06 |
| project no.                                  | drawing no.                    |             | revision |          |
| 1470                                         | P540                           |             | A        |          |





- 1 Existing painted render re-decorated to match existing
- 2 Existing brickwork London stock
- 3 Existing brickwork
- 4 Existing lead roof
- 5 New lead roof to match existing
- 6 New brickwork to match existing
- 7 New windows to match existing rear building
- 8 Existing slate roof
- 9 Existing level access off Bedford place
- 10 Existing WC accommodation within basement courtyard removed
- 11 Existing barrel vaulted roof to link block removed
- 12 New WC accommodation
- 13 All existing windows refurbished & re-decorated to match existing
- 14 Existing asphalt roof
- 15 Existing roof extended in asphalt finish to match existing
- 16 Existing window opening bricked up
- 17 Existing door opening covered over
- 18 Existing ribs removed cornices made good to match existing
- 19 New stone finish to courtyards and lightwells
- 20 Existing door opening increased in size to match existing hallway doorset DG-04
- 21 -
- 22 Existing roof removed to create plant space open to sky
- 23 Existing walls and floor tanked

date rev revisions

key plan

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project drawing title

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LONDON, WC1

PROPOSED  
SECTION 07

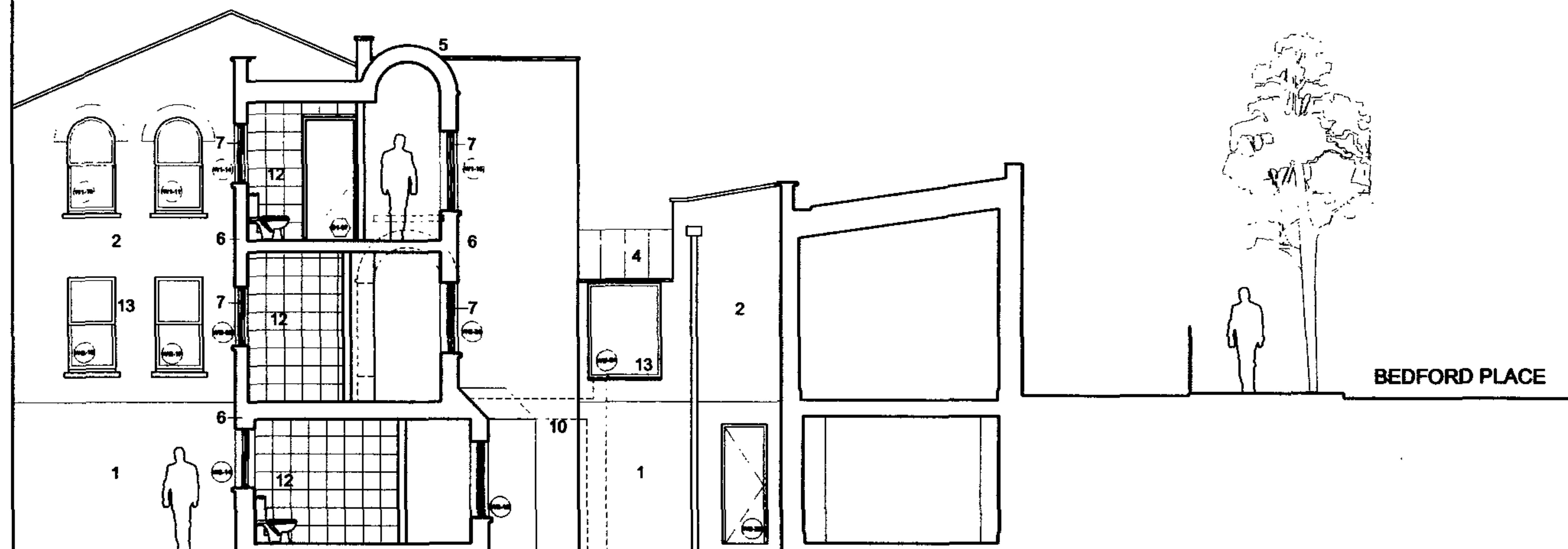
client scale at A1 scale at A3 drawn date

Bedford Estates 1.50 1.100 TD 23.11.06

project no. drawing no. revision

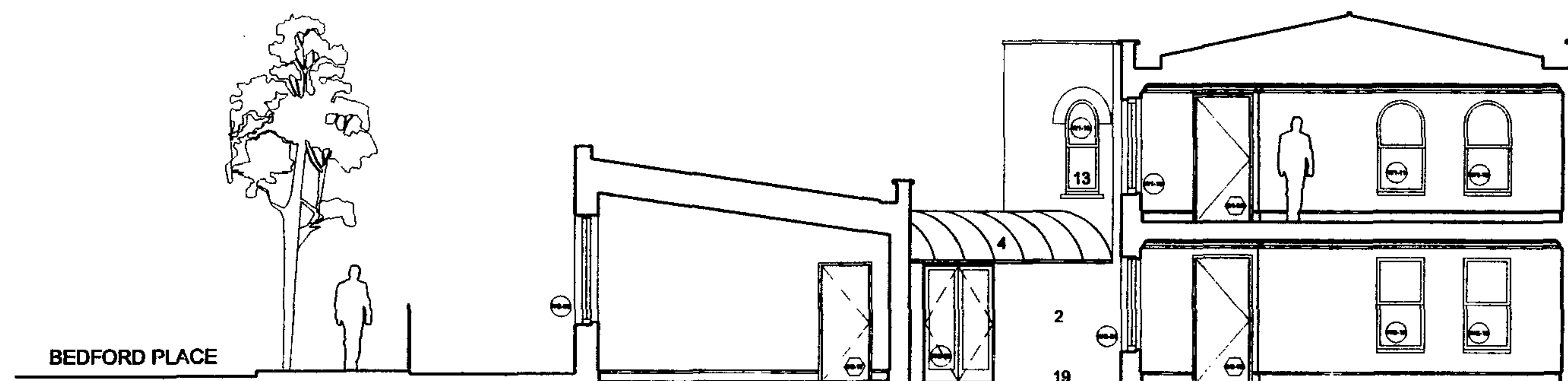
1470 P550 A





BEDFORD PLACE

- 1 Existing painted render re-decorated to match existing
- 2 Existing brickwork London stock
- 3 Existing brickwork
- 4 Existing lead roof
- 5 New lead roof to match existing
- 6 New brickwork to match existing
- 7 New windows to match existing rear building
- 8 Existing slate roof
- 9 Existing level access off Bedford place
- 10 Existing WC accommodation within basement courtyard removed
- 11 Existing barrel vaulted roof to link block removed
- 12 New WC accommodation
- 13 All existing windows refurbished & re-decorated to match existing
- 14 Existing asphalt roof
- 15 Existing roof extended in asphalt finish to match existing
- 16 Existing window opening bricked up
- 17 Existing door opening covered over
- 18 Existing ribs removed cornices made good to match existing
- 19 New stone finish to courtyards and lightwells
- 20 Existing door opening increased in size to match existing hallway doorset DG-04
- 21 -
- 22 Existing roof removed to create plant space open to sky
- 23 Existing walls and floor tanked



BEDFORD PLACE

date rev revisions

key plan

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project drawing title

52-53 RUSSELL SQUARE  
LONDON, WC1

PROPOSED  
SECTIONS 04 + 08

client scale at A1 scale at A3 drawn date

Bedford Estates 1.50 1.100 TD 23.11.06

project no. drawing no. revision

1470 P569 A