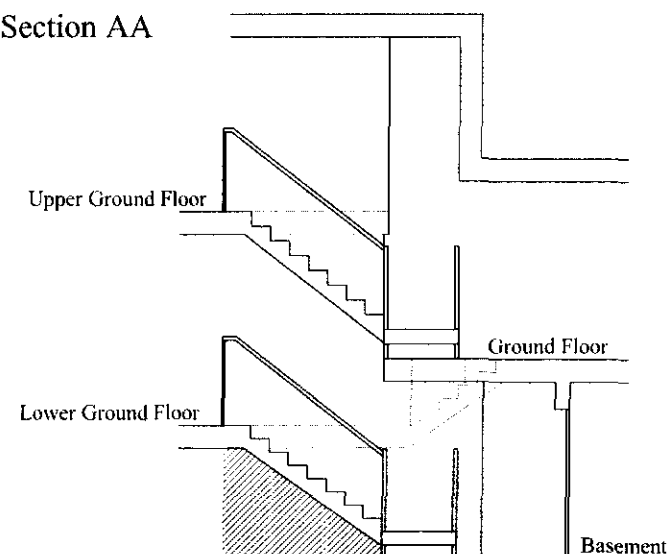
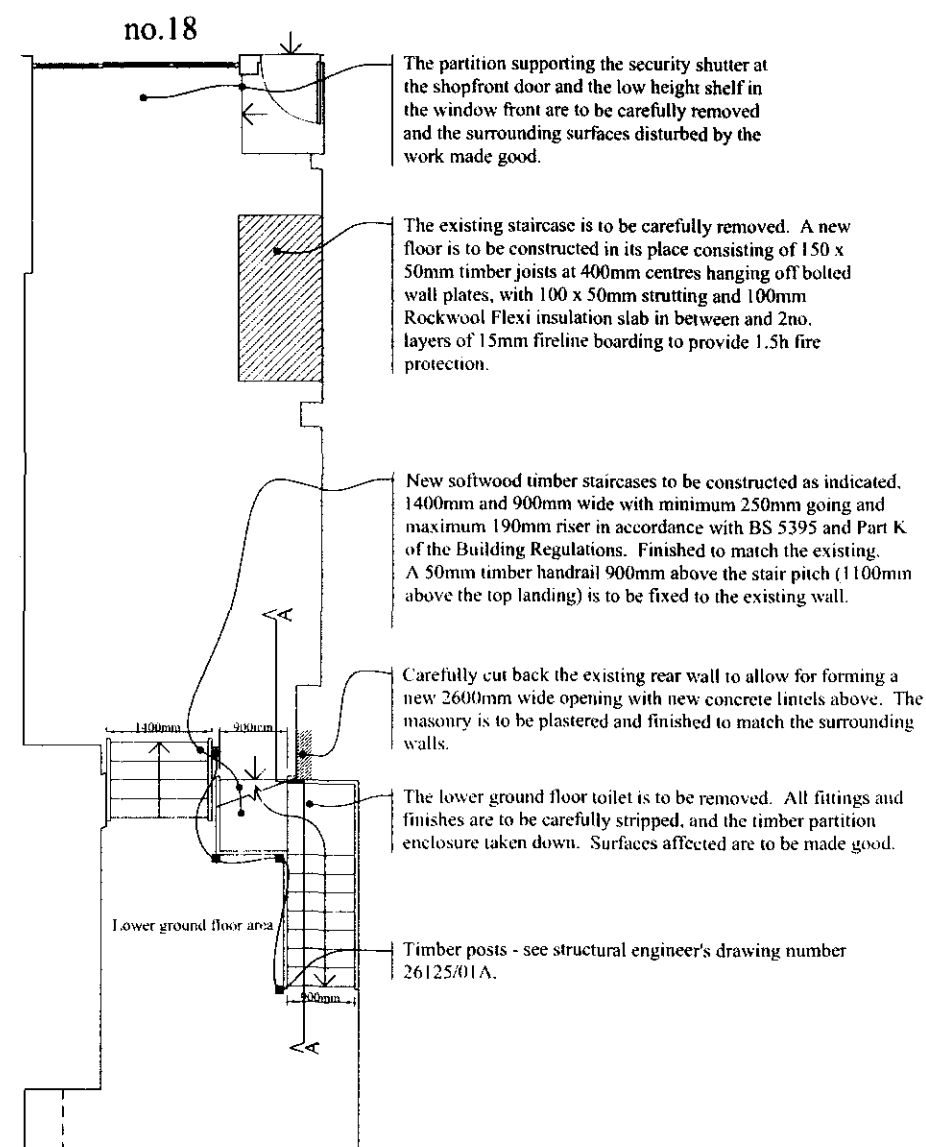


Basement Plan

Section AA



Monmouth Street
Ground Floor Plan



Upper Ground Floor Plan

Notes:

DO NOT SCALE FROM DRAWING.

ALL DIMENSIONS TO BE CONFIRMED ON SITE.

The intention is to divide 14, 16 and 18 Monmouth Street back into three separate units, as they originally were.
The trading basements of 16 and 18 are to be converted to storage basements and staircases are to be moved to the rear of the units.
All works will be performed carefully to retain the existing appearance of the property, which retains little to none of the original interior.

2007/1838/LR1

rev c	staircase amended	17/05/07
rev b	staircase amended	14/05/07
rev a	staircase amended	19/04/07

**Basement, Ground and Upper Ground Floor
Plans as Proposed**

18 Monmouth St London WC2

Listed Building Application

Shaftesbury Covent Garden Ltd

FRESSON & TEE
CHARTERED SURVEYORS

1 SANDWICH STREET
LONDON WC1H 9PF

Tel: (020) 7391 7100 Fax: (020) 7391 7121

Nov 2006

1:100 @ A3

18706-10c

FILE COPY

Notes:

DO NOT SCALE FROM DRAWING.

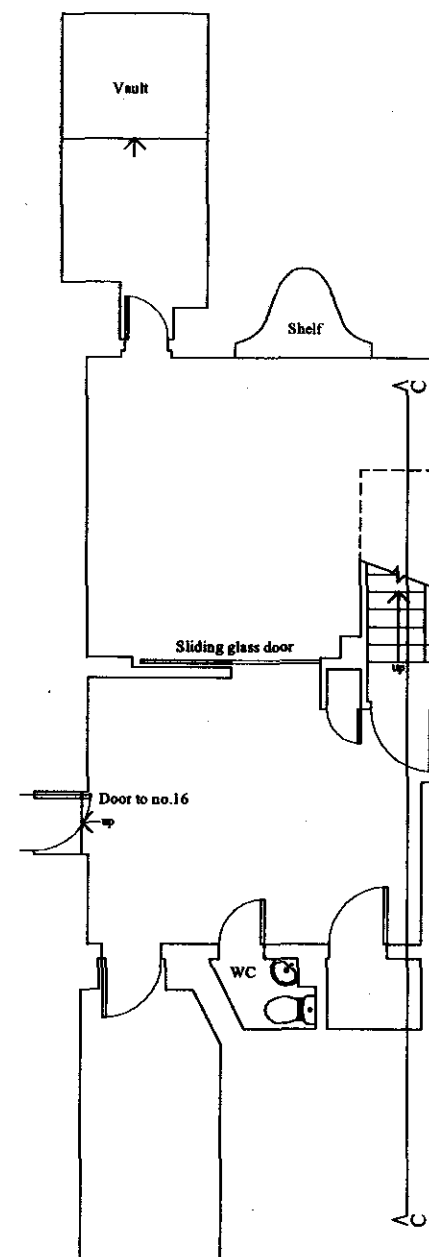
ALL DIMENSIONS TO BE CONFIRMED ON SITE.

Existing

The ground floor and basement (excluding vault) are lined entirely with plasterboard throughout, with contemporary wall, floor and suspended ceiling finishes.

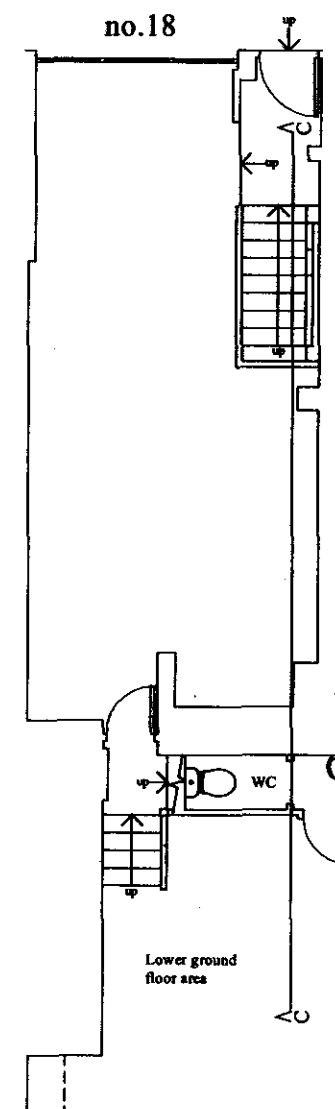
No original fittings or features of historical interest are visible other than the shop facade.

The WC and stair to the rear at ground floor level and a partition with glass sliding door in the basement are more recent additions.

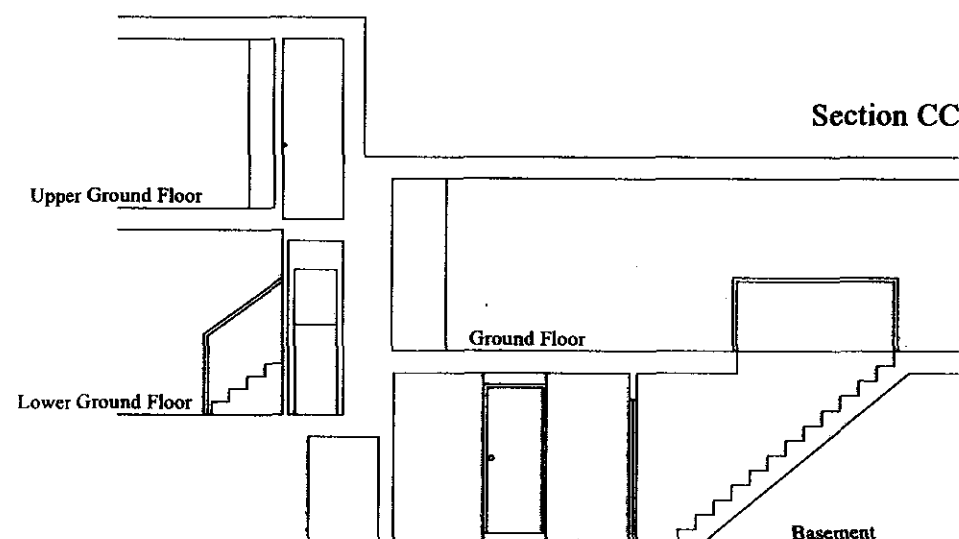
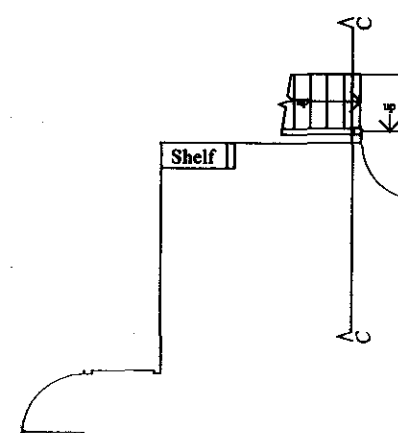


Basement Plan

**Monmouth Street
Ground Floor Plan**



Upper Ground Floor Plan



Section CC

2007 / 1838 / LR1

2007 / 1838 / LR1

Rev a Amended to include section CC 02/04/07

**Basement, Ground and Upper Ground Floor
Plans as Existing**

18 Monmouth St London WC2

Listed Building Application
Nov 2006
1:100 @ A3

Shaftesbury Covent Garden Ltd



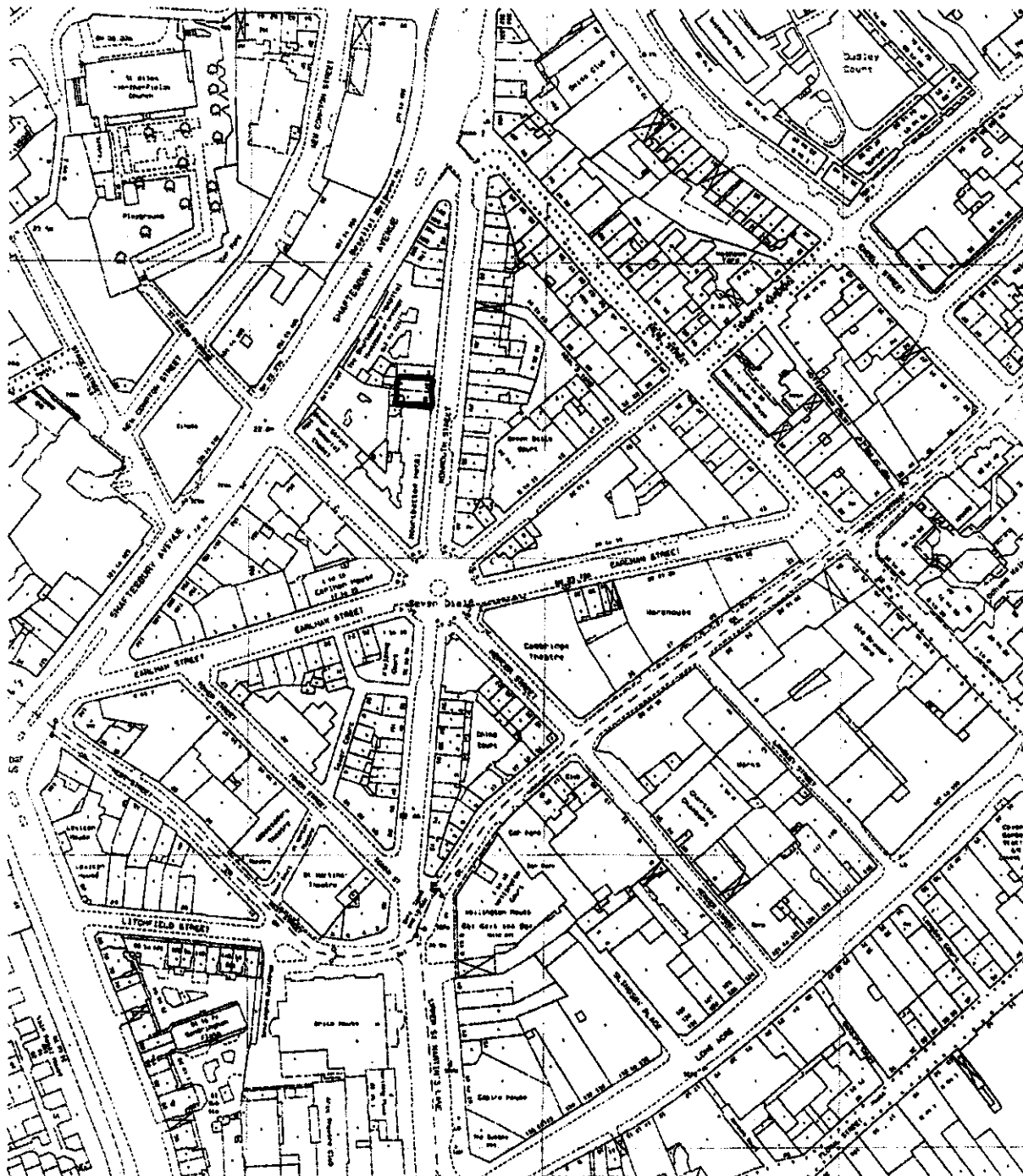
1 SANDWICH STREET
LONDON WC1H 9PF

Tel: (020) 7391 7100 Fax: (020) 7391 7121

18706-07a

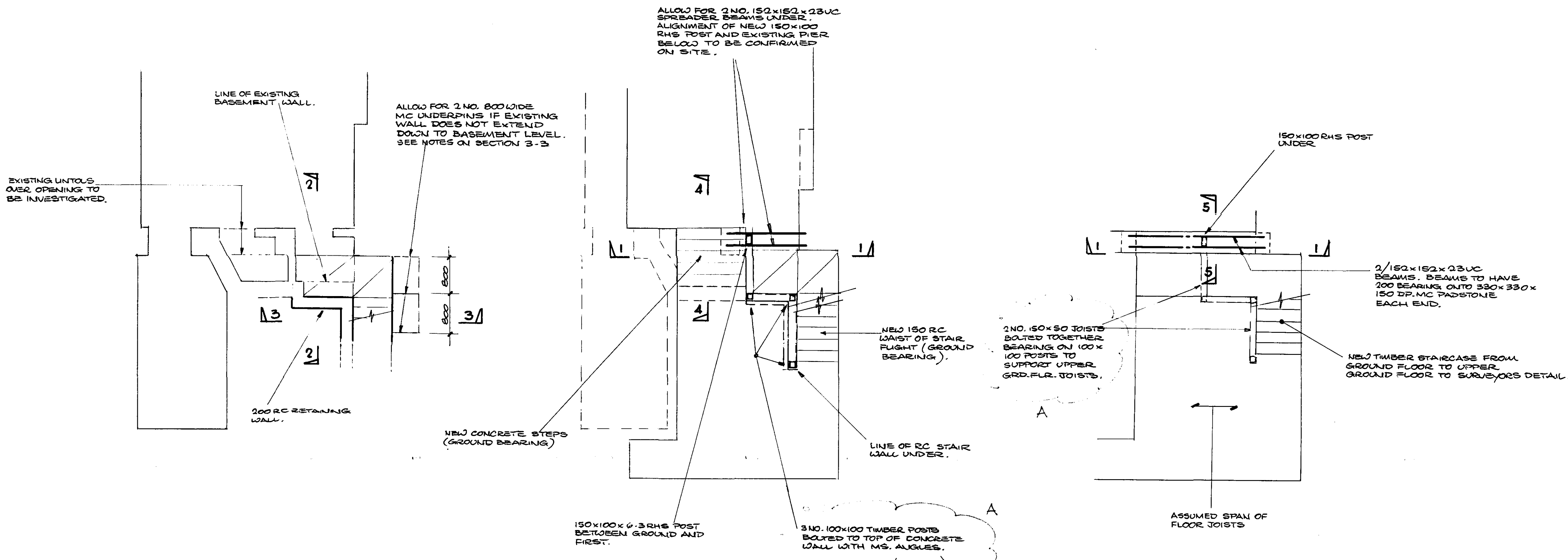
7/8/07 10:07

SITE LOCATION PLAN
16 & 18 Monmouth Street, WC2



Drawing No: P3238B
Date: April 2007

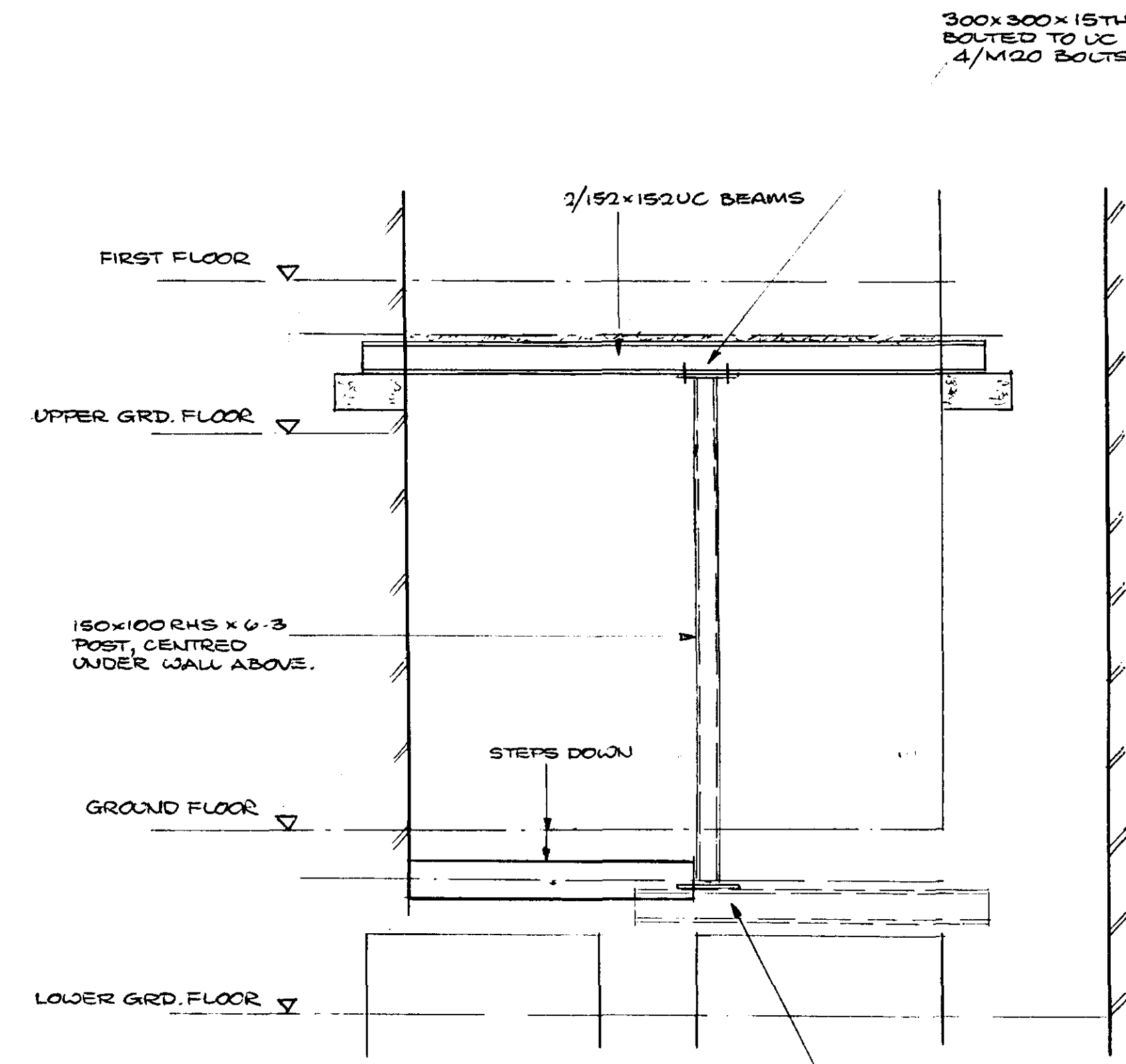
Rolfe Judd Planning
Old Church Court, Claylands Road, The Oval, London, SW8 1NZ



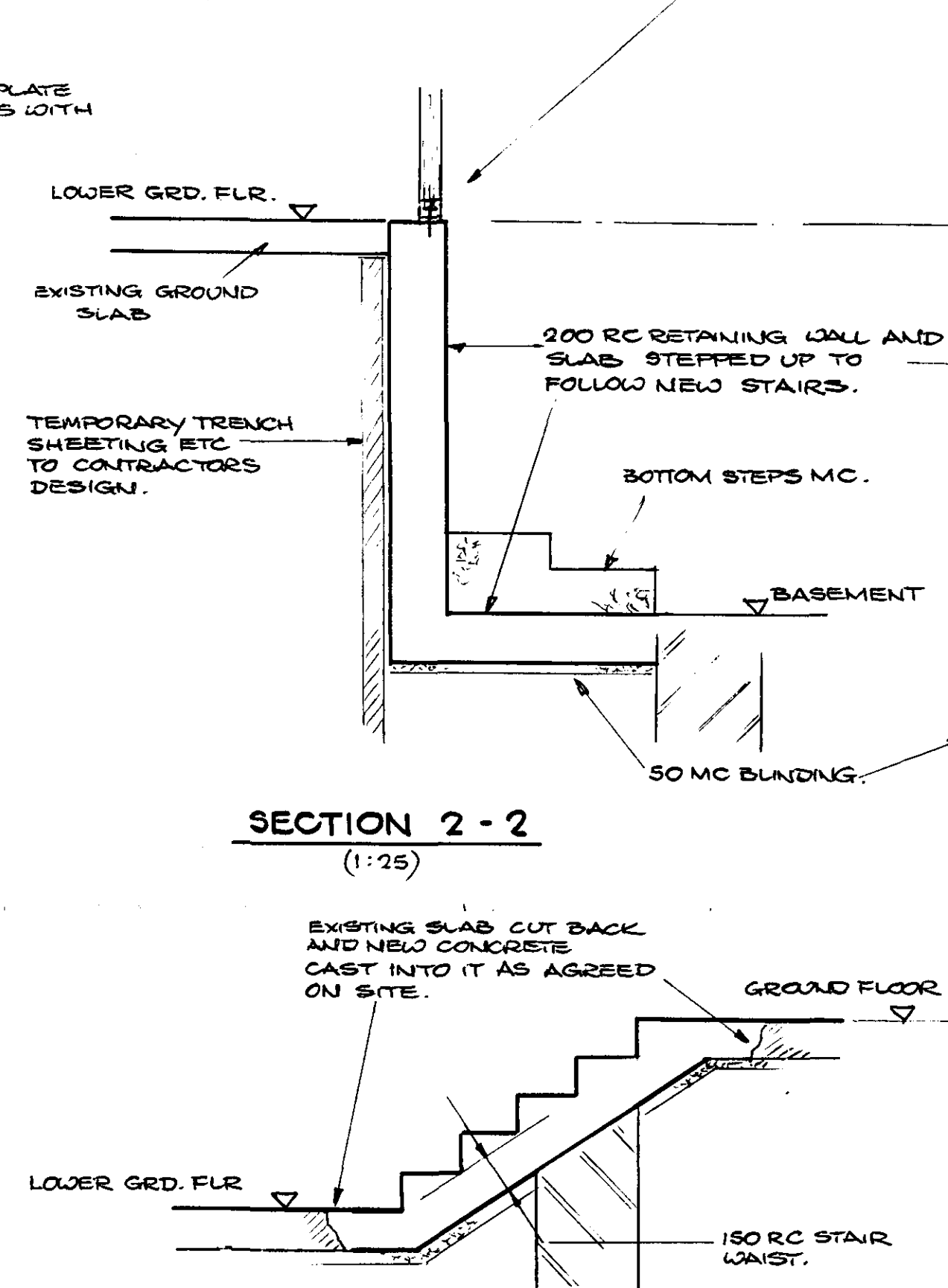
BASEMENT PLAN

LOWER GROUND FLOOR PLAN

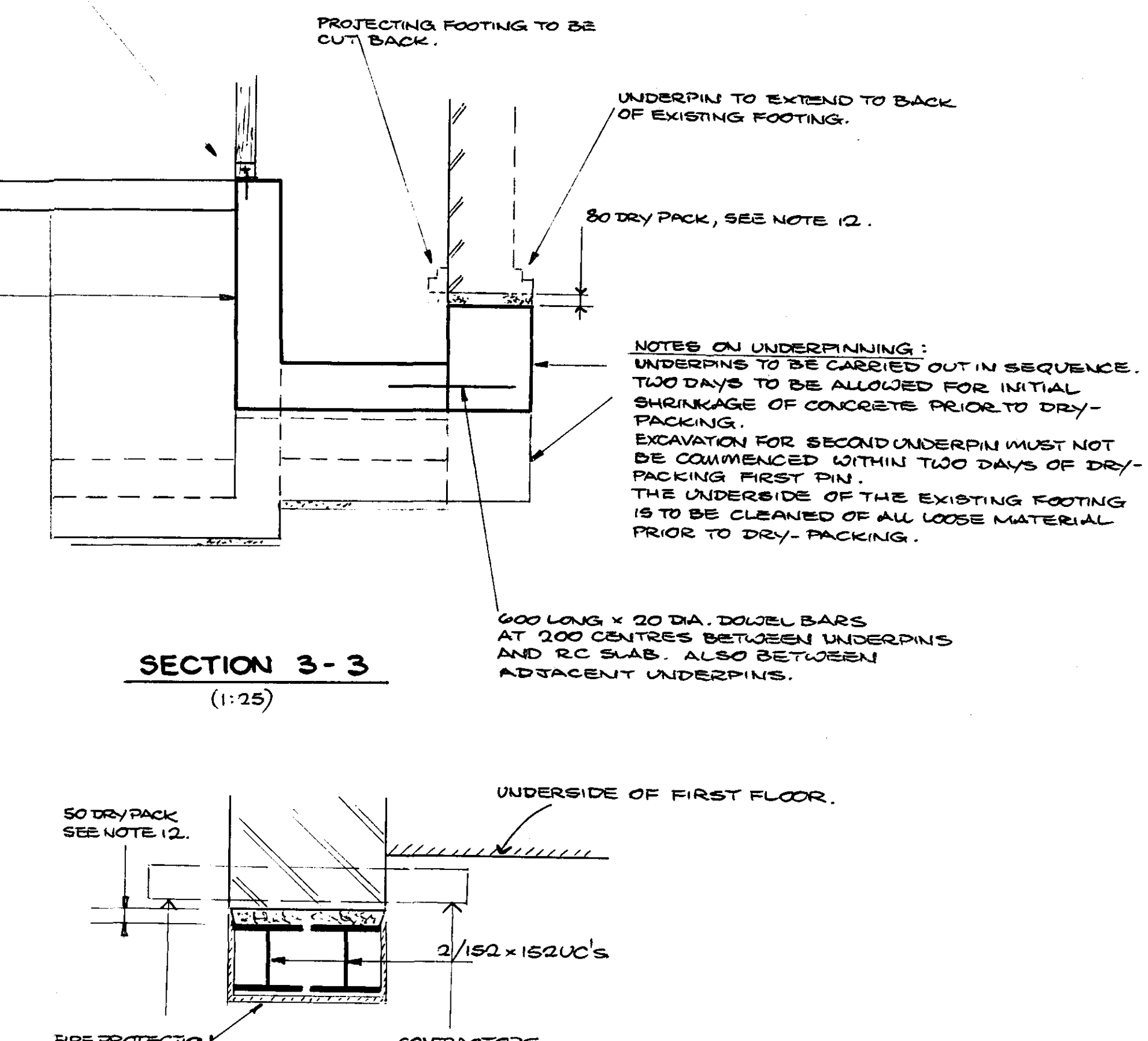
UPPER GROUND FLOOR PLAN



SECTION 1-1
(1:25)



SECTION 2-2
(1:25)



SECTION 3-3
(1:25)

SECTION 5-5
(1:10)

- General Notes**
- THIS DRAWING HAS BEEN PRODUCED FOR THIS PROJECT ONLY AND IT SHOULD NOT BE RELIED UPON FOR USE ON ANY OTHER PROJECT.
 - THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SURVEYORS AND ENGINEERS DETAILS.
 - ALL WORK TO BE TO THE SATISFACTION OF THE ENGINEER AND THE LOCAL AUTHORITY.
 - THE CONTRACTOR IS TO BE RESPONSIBLE FOR ALL NECESSARY TEMPORARY WORKS TO ENSURE THE STABILITY OF THE STRUCTURE AT ALL TIMES DURING THE COURSE OF THE WORKS.
 - THE CONTRACTOR IS TO BE RESPONSIBLE FOR TAKING ALL NECESSARY SITE DIMENSIONS.
 - REFERENCE IS TO BE MADE TO THE SURVEYORS DRAWINGS FOR DETAILS OF FINISHES, PARTITIONS ETC.
 - GENERALLY ALL STRUCTURAL CONCRETE IS TO BE OF A MINIMUM GRADE C35 AND TO HAVE A MINIMUM OPC CONTENT OF 350kg/cum. AND A MAXIMUM FREE WATER / CEMENT RATIO OF 0.5 ALL CONCRETE TO HAVE A MAX. AGGREGATE SIZE OF 20mm
 - ALL STRUCTURAL STEELWORK TO BE GRADE S275 (UNLESS SHOWN OTHERWISE) AND DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH BS.5950 UNLESS SHOWN OTHERWISE ALL BOLTS TO BE GRADE 8.8 M20 AND ALL WELDS TO BE 6mm F.F.W. ALL SITE WELDS TO BE TESTED.
 - PRIOR TO DELIVERY ALL STRUCTURAL STEELWORK TO BE BLAST CLEANED TO Sa2.5 AND IMMEDIATELY PAINTED WITH ONE COAT ZINC PHOSPHATE PRIMER (75 MICRONS DFT). AFTER ERECTION ALL STEELWORK TO BE PAINTED WITH A COMPATIBLE FINISHING PAINT.
 - THE CONTRACTOR IS TO INFORM THE ENGINEER IMMEDIATELY IF DETAILS OF THE EXISTING STRUCTURE ARE FOUND TO DIFFER ON SITE FROM THAT SHOWN ON THE ENGINEERS DRAWINGS.
 - ALL NEW LOADBEARING BRICKWORK SHOWN TO HAVE A MINIMUM CRUSHING STRENGTH OF 21.0 N/mm², LAID IN A 1:1:6 MORTAR.
 - DRY PACK IS TO BE "SBD 5 STAR GROUT - STANDARD" OR SIMILAR APPROVED WELL RAMMED HOME UNTIL SOLID.

A. TIMBER POSTS REPLACING STUD WALL.		Description																		
Rev.																				
Date	17/01/07	30/05/07																		
Revision		A	B	C	D	E	F	G	H	I	J	K	L	M	N	P	R	S	T	
Client																				
Project Manager																				
Surveyor	B. P.																			
Quantity Surveyor																				
M & E Consultant																				
Contractor H. O.																				
Contractor S. O.																				
Local Authority	2																			
Planning Supervisor																				

FRANKS & LEWIN
CONSULTING CIVIL & STRUCTURAL ENGINEERS
e-mail: structures@franksandlewin.co.uk
1 GLYN STREET, VAUXHALL LONDON SE11 5HT TEL 020 7735 6455 FAX 020 7820 9331

Job **18 MONMOUTH STREET LONDON WC2** 2007/1838/LR

Drawing **STRUCTURAL ALTERATIONS TO GROUND FLOOR AND BASEMENT**

Surveyors **FRESSON AND TEE**

Scale	1:50	Drg. No.	26125/01	Rev.	A
Drawn	PC				
Checked	MP				