

DESIGN

No.42 Glenilla Road is one of a pair of small, adjoining early 20th-century studio buildings. The buildings are rightly noted as making a positive contribution to the Belsize Conservation Area. Whilst its pair appears to be in relatively original state, no.42 has been converted to domestic use in the latter part of the century. This has involved the horizontal division of the studio space and the consequent loss of the double height window to the street elevation retained by no.44, and also the addition of an unsightly, long dormer window into the roofline, and in these ways the house has been 'cottage-ised'. The alterations have made the studio a habitable residential unit, however one of small spaces and with a downstairs bathroom.

It is the applicant's desire to return the building to the character and form of the original studio, whilst retaining and enhancing the usable accommodation on this tight site.

Rather than propose to raise the roof, the proposal is to dig the accommodation down about 65cm, thereby lowering the ground and first floor levels. This enables the removal of the long dormer window and the re-insertion of a large vertical window to the front gable elevation.

At the rear, an extension is proposed over the existing single storey kitchen. As the floors will have been lowered, this extension will be lower than the existing roof extension to the rear elevation, which will be removed as part of the works. The rear of the proposed extension is to have a timber-clad bay window addition recalling the Arts and Crafts character of the studios and the wider area. As existing windows exist in the rear elevation at ground and first floor levels, the windows of the proposal are not considered to markedly alter the existing condition in terms of overlooking.

A proposed rooflight following the slope of the eastern roof mirrors that to no.44's roof, thought to be original.

At the advice of Camden's planning officers, the side porch is retained in its existing form, matching that to no.44, with the existing doorway becoming a pair of shutters to a window behind. A new front door affording wheelchair access (see below) is proposed discreetly to the side of the new gable-elevation window, with a lead-roofed porch, in line with mobility access guidelines.

To the street a simple low brick wall with piers and new cast iron railings is proposed to replace the poor quality existing boundary treatment.

In these ways, the original character of the studio will be regained, along with a sensible and carefully considered addition to the accommodation to ensure the long-term protection of the building.

ACCESS

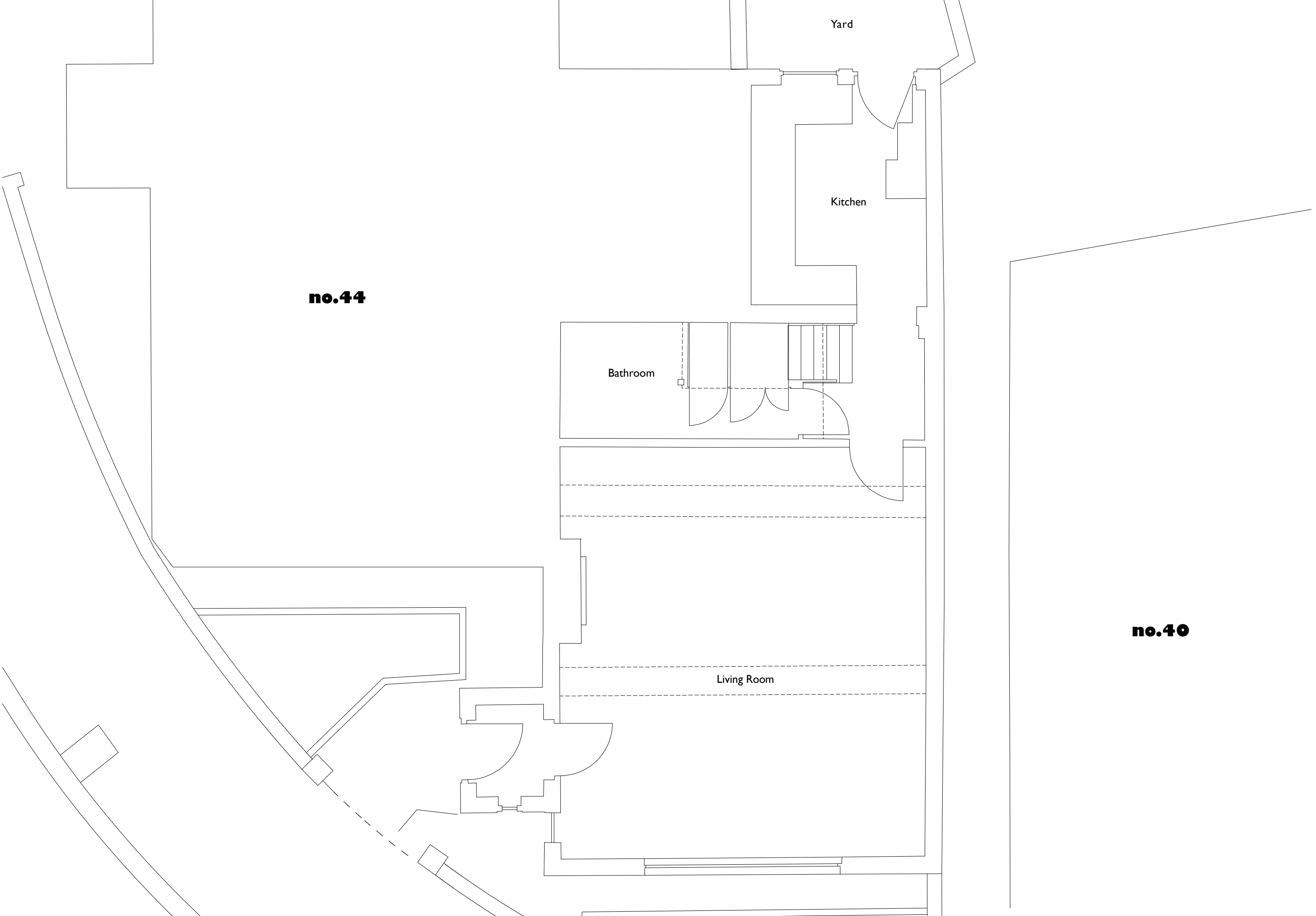
Access to the new lower ground floor level will be by a 1-in-12 external ramp to afford full wheelchair access from the street. The door will have a level threshold, and as noted above, will have a projecting porch to meet mobility standards. Internally, the improved layout allows full head height to the new, shallower stair, permitting easier access and the possibility of a stair lift at a later date.



Views from street

James Gorst Architects Ltd. 42 GLENILLA ROAD |

DRAWINGS



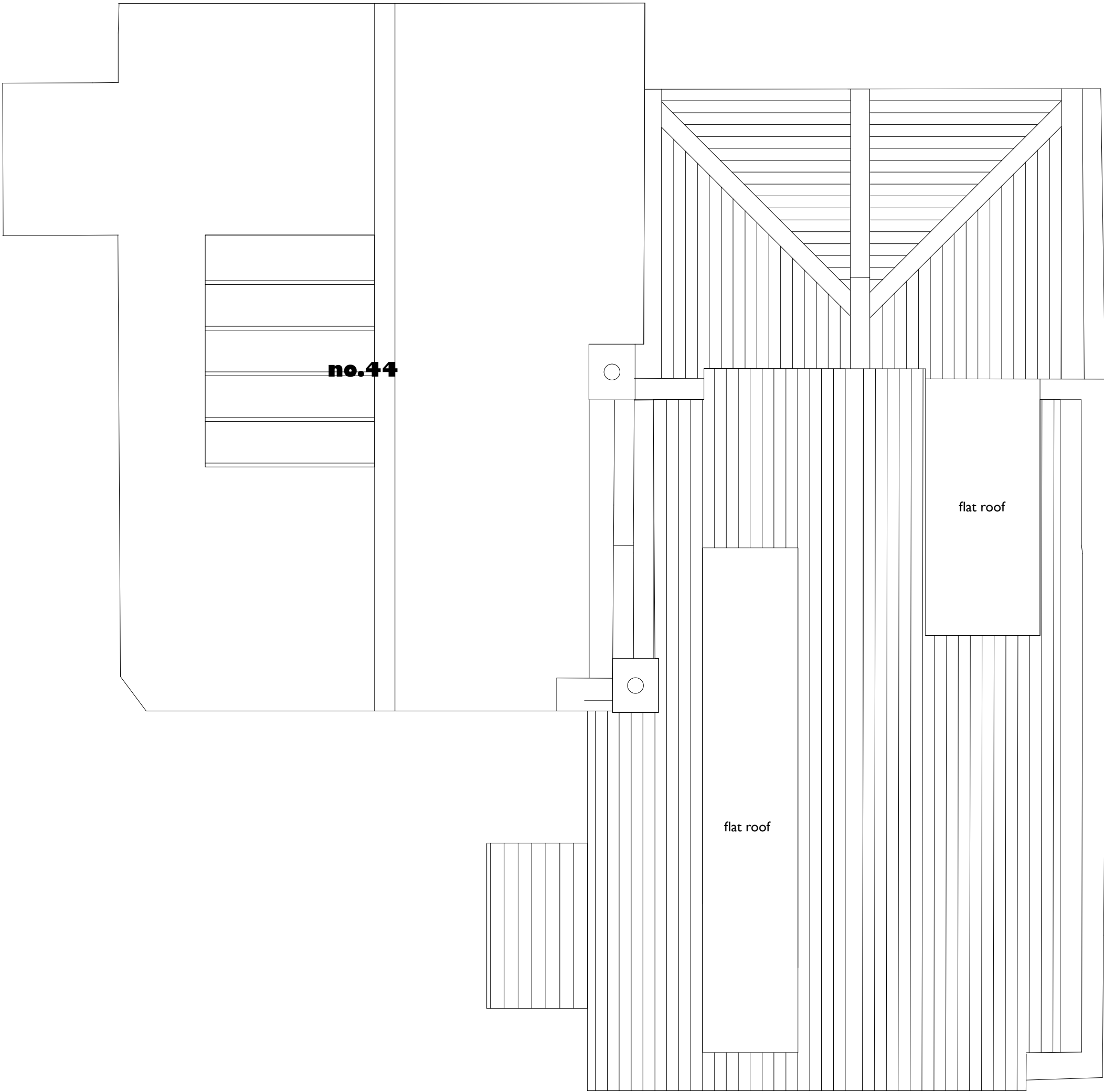
no.44

dormer over

Box Room

Bedroom

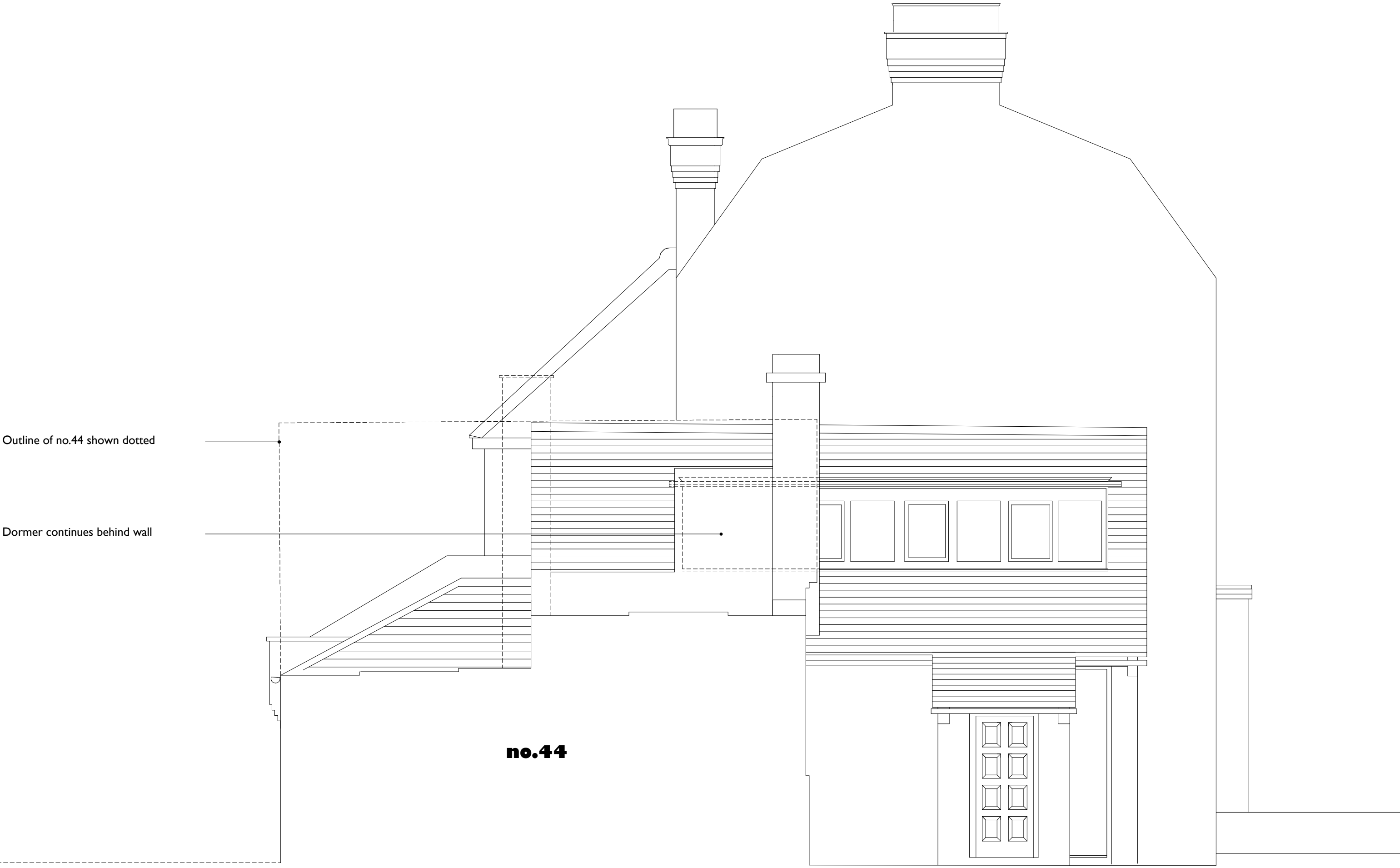
no.40





no.44

no.40



Outline of no.44 shown dotted

Dormer continues behind wall

no.44



no.40

no.44

