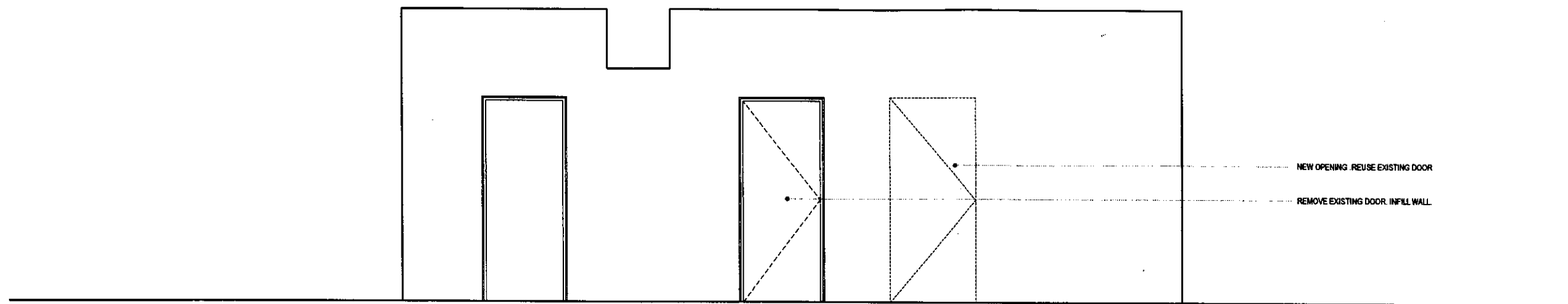


The areas on the drawing have been measured directly from a CAD drawing and have no tolerances added or subtracted

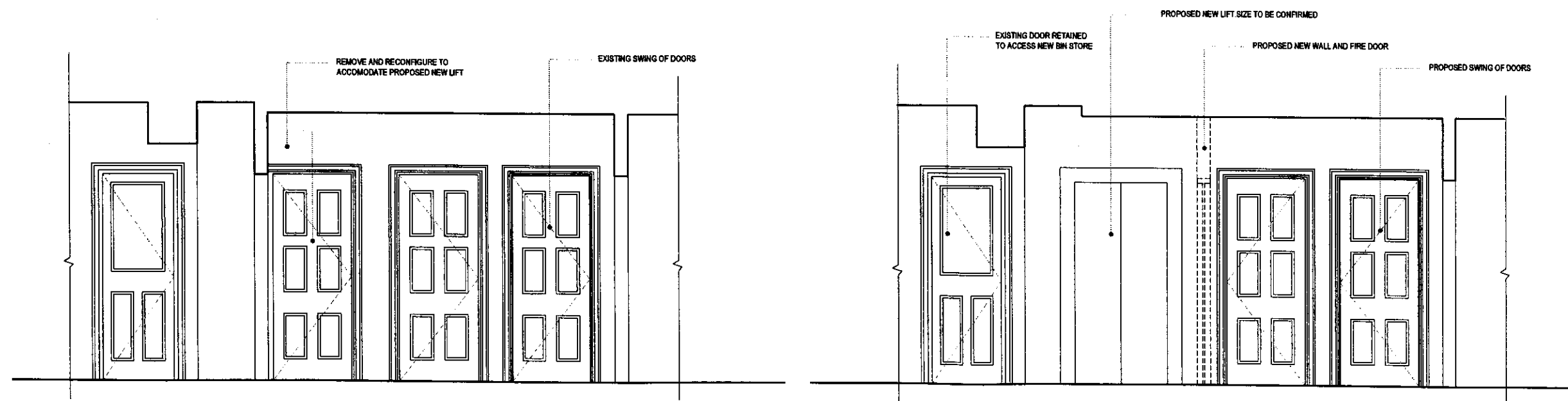
The areas have been calculated in accordance with the RICS NVA Code of Measuring Practice, 4th Edition, 1993 using the stated phone NA, G/A, GEA. They are approximate and relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-felling, lease agreements and the like, should make allowance for the following:

- Design development
- Accurate site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances
- Local authority consents

rev date description
A 01/02/08 ISSUED FOR PLANNING



01
0400 ELEVATION 01
WALL TO BE REMOVED



02
0400 ELEVATION 02
EXISTING ELEVATION FOR REFERENCE

02
0400 ELEVATION 02
PROPOSED ELEVATION

BRIMELOW Mc SWEENEY ARCHITECTS

28 Great Queen Street, Covent Garden,
London WC2B 5BL
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project
31 GREAT QUEEN STREET

file
PROPOSED ALTERATIONS TO INTERNAL
ELEVATION : BASEMENT PLAN
FOR PLANNING

scale date drawn
1:50 @A3 01/02/08 P/B/T/C

drawing no revision status
0727-0400 A P

CEILING AND CORNICE TO BE RETAINED.
PAINT FINISH ONLY.

LIGHT FITTING TO BE REPLACED

MIRRORS TO BE REMOVED MAKE GOOD TO WALL

LATER ADDITION, PROPOSED TIMBER PANELLING TO BE REMOVED

COLUMN INTEGRAL TO STRUCTURE TO BE RETAINED.

PAINT FINISH

TERRAZZO WALL PANELLING TO BE RETAINED.

TIMBER BOXES TO BE REMOVED MAKE GOOD TO WALL.

01
0410

ELEVATION 01

PAINT FINISH

TERRAZZO WALL PANELLING TO BE RETAINED.

TIMBER BOXES TO BE REMOVED MAKE GOOD TO WALL.

02
0410

ELEVATION 02

The areas on the drawing have been measured directly from a CAD drawing and have no tolerances added or subtracted.

The areas have been calculated in accordance with the RICS SVA Code of Measuring Practice, 4th Edition, 1983 using the stated options MA, G/A, GEA. They are approximate and relate to the study areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-bidding, lease agreements and the like, should make allowance for the following:

- Design development
- Accurate site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances
- Local authority consents

rev	date	description
A	01/02/08	ISSUED FOR PLANNING

BRIMELOW Mc SWEENEY ARCHITECTS

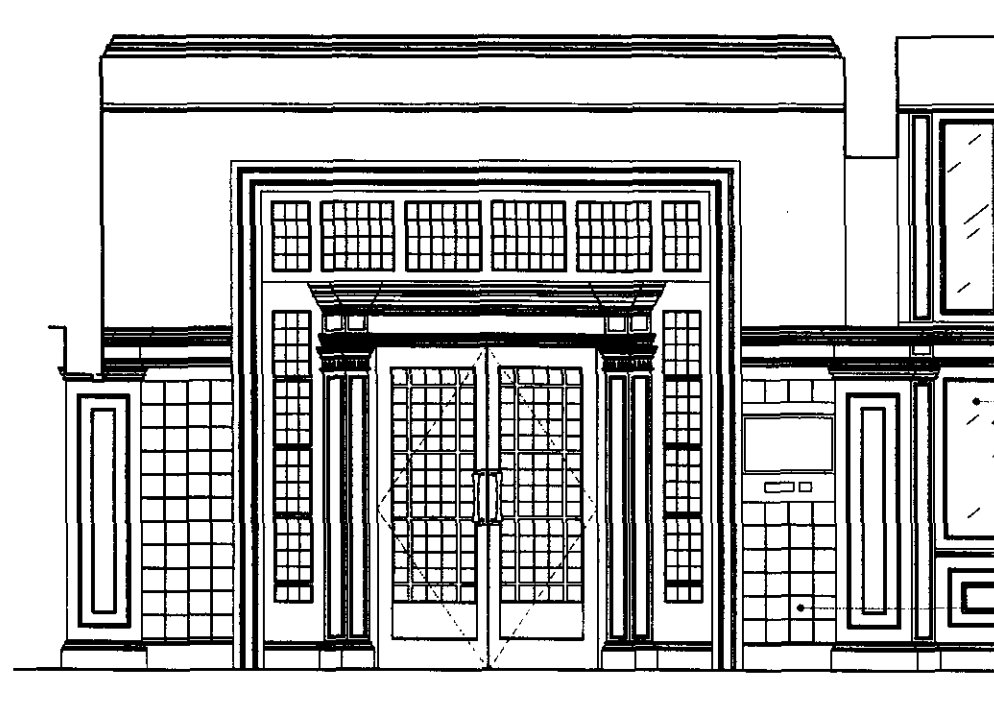
28 Great Queen Street, Covent Garden,
London WC2B 5SL
tel: 020 7831 7835 fax: 020 7831 7830
email: admin@brimelow-mc-sweeney.co.uk

project
31 GREAT QUEEN STREET

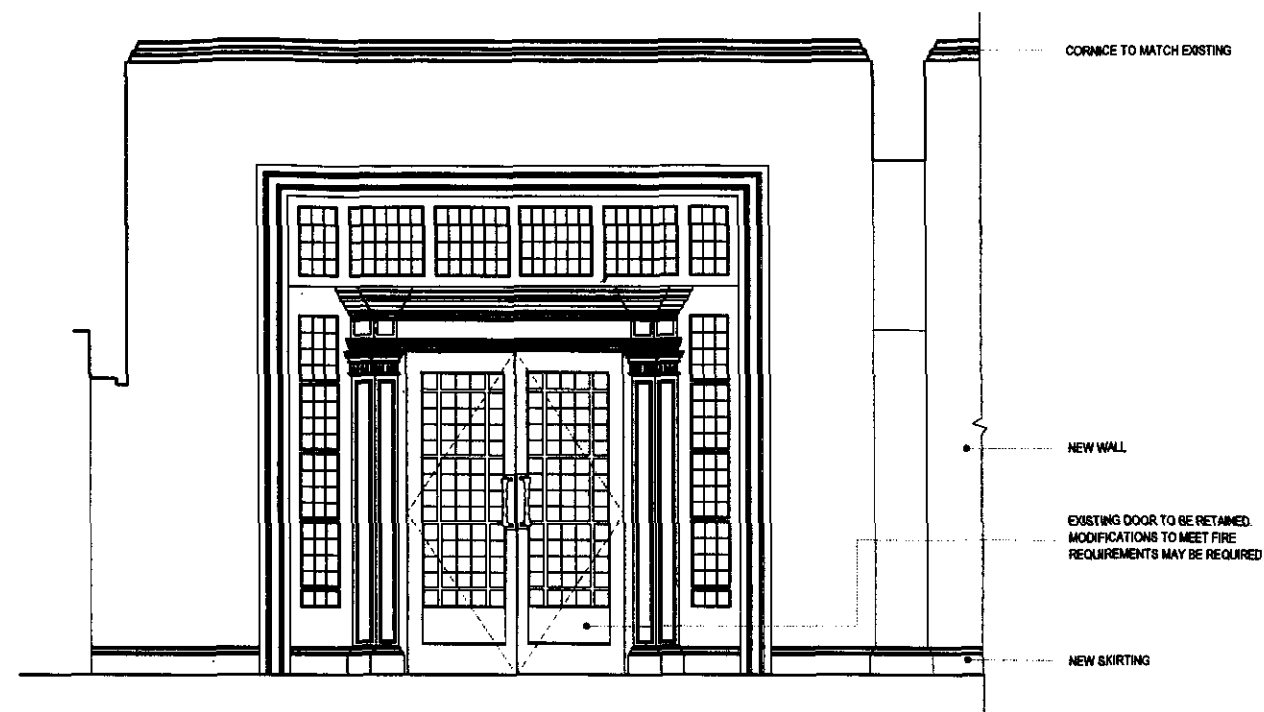
title
**PROPOSED ALTERATIONS TO INTERNAL
WALL ELEVATIONS : GROUND FLOOR PLAN
FOR PLANNING**

scale	date	drawn
1:50 @A3	01/02/08	JB

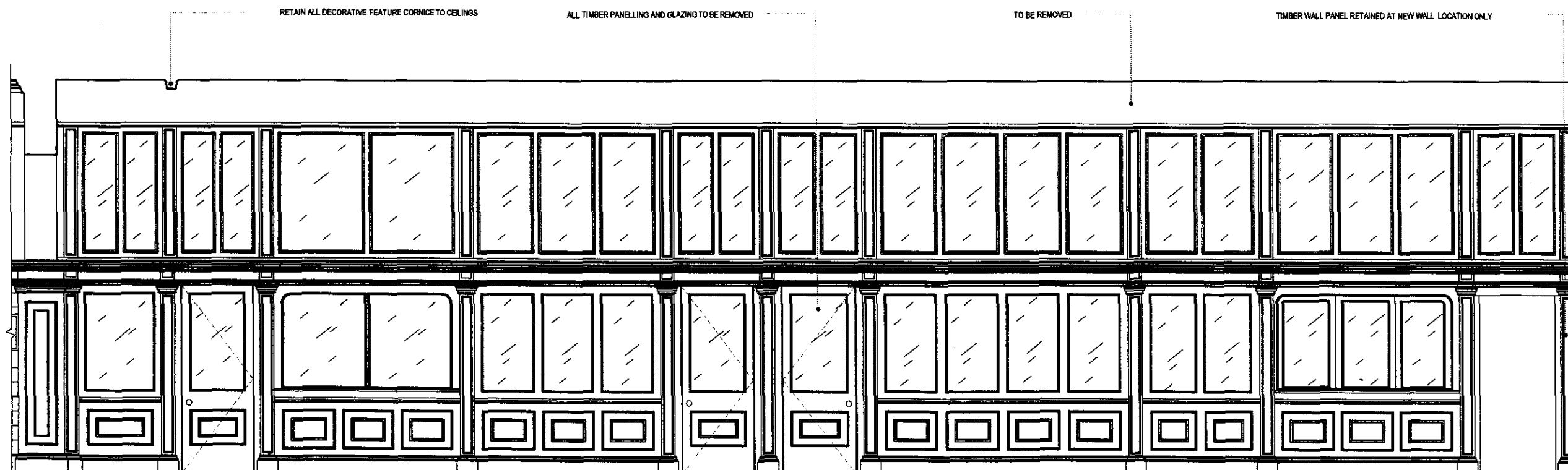
drawing No	revision	status
0727-0410	A	P



01
0420 ELEVATION 01
OFFICE EXISTING ELEVATION FOR REFERENCE



01
0420 ELEVATION 01
OFFICE PROPOSED ELEVATION



02
0420 ELEVATION 02
OFFICE EXISTING ELEVATION FOR REFERENCE:
WALL TO BE REMOVED

The areas on the drawing have been measured directly from a CAD drawing and have no tolerance added or subtracted.

The areas have been calculated in accordance with the RICS/BSA Code of Measuring Practice, 4th Edition, 1983 using the stated options MA, GA, GEA. They are approximate and relate to the likely area of the building at the current state of the design. Any decrease to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:

- Design development
- Accurate site surveys, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances
- Local authority consents

rev date description
A 01/02/06 ISSUED FOR PLANNING

NOTES:

FIRST FLOOR:

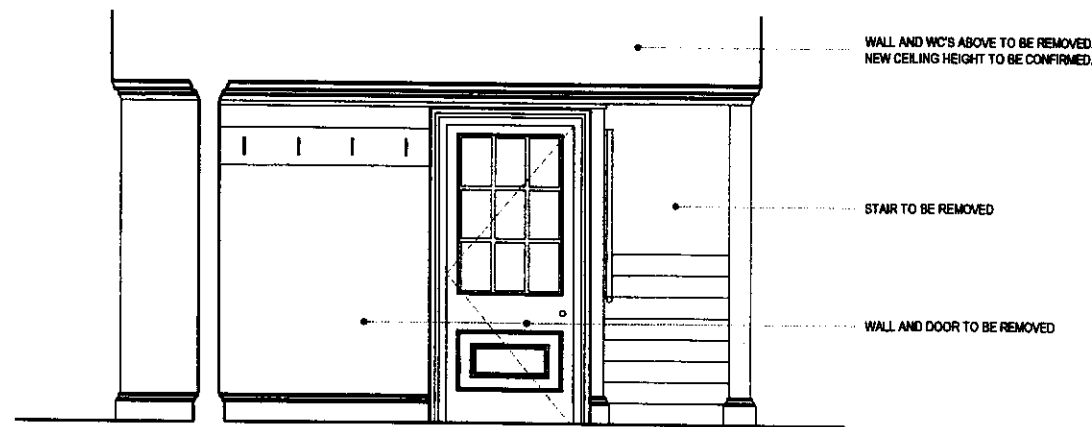
1. CEILING
ALL CEILING BEAMS AND DECORATIVE DETAIL TO BE RETAINED
2. FLOOR:
ALL FLOOR COVERING TO BE REMOVED
3. WALLS:
PARTITION WALLS TO BE REMOVED AS INDICATED.
4. GENERALLY ALL TIMBER PANELLING PROPOSED TO BE REMOVED AND STORED, UNLESS INDICATED OTHERWISE.
STAIR AND LOBBY DOORS RETAINED.
BOARDROOM AND OFFICE RETAINED
5. ALL SANITARY FIXTURES / PARTITIONS / SCREENS / TILING / FITTINGS TO BE REMOVED.

BRIMELOW Mc SWEENEY ARCHITECTS
28 Great Queen Street, Covent Garden,
London WC2B 3SL
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email: admin@brimelow-mcsweeney.co.uk

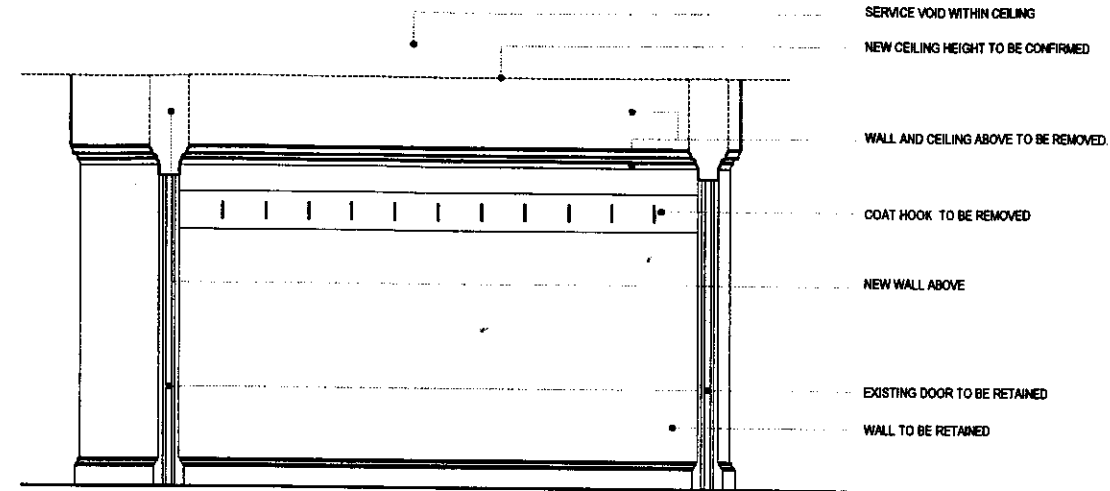
project
31 GREAT QUEEN STREET

title
PROPOSED ALTERATIONS TO INTERNAL
WALL ELEVATIONS : FIRST FLOOR
FOR PLANNING

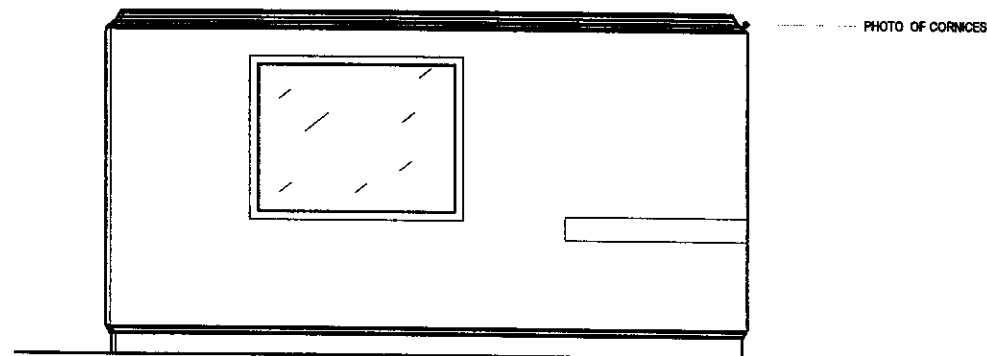
scale	date	drawn
1:50@A3	01/02/06	JB
drawing no	revision	status
0727-0420	A	P



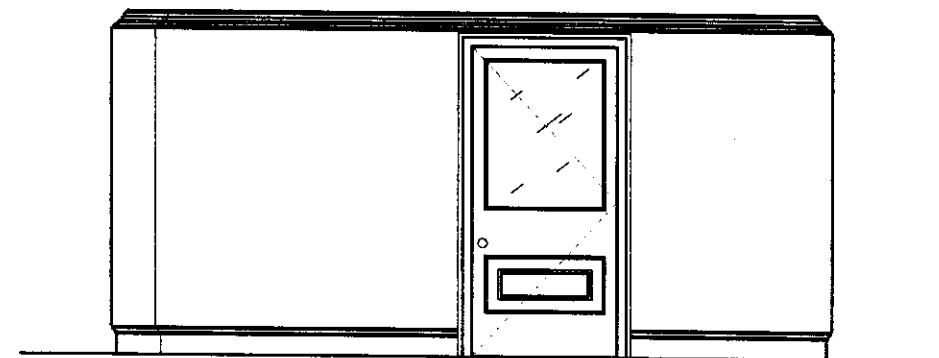
03
0421 ELEVATION 03
EXISTING CORRIDOR ELEVATION
ALL TO BE REMOVED



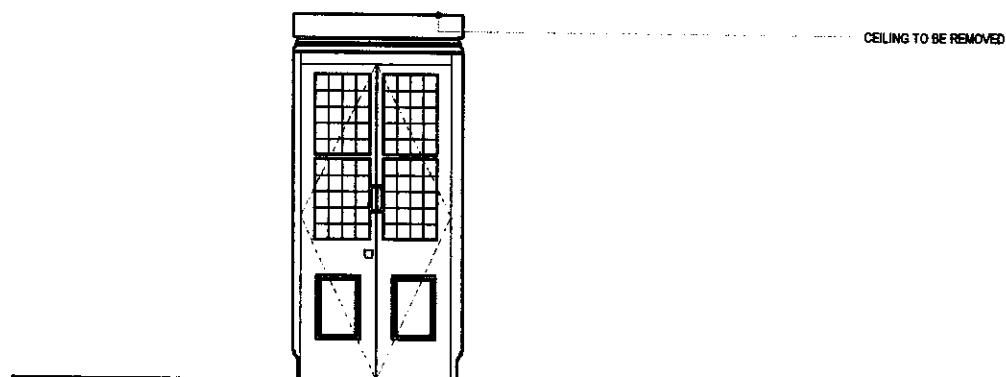
06
0421 ELEVATION 06
WALL TO BE REMOVED



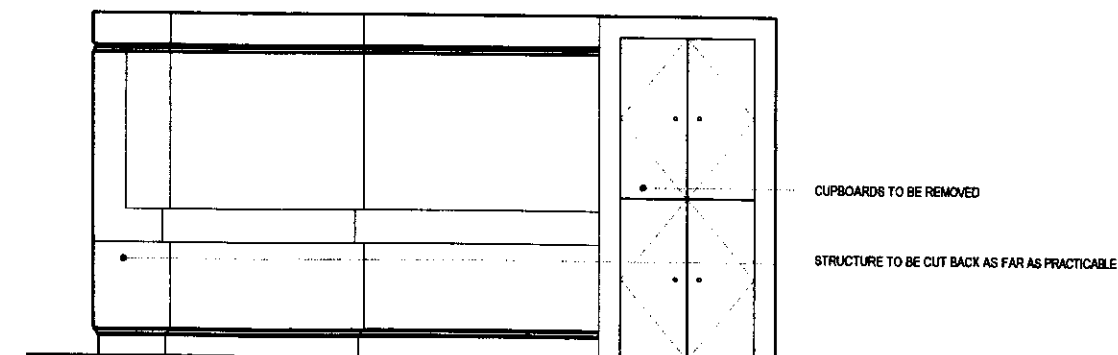
07
0421 ELEVATION 07
TYPICAL WALL FOR REFERENCE. TO BE REMOVED
REF. PLAN: SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED



04
0421 ELEVATION 04
TYPICAL WALL FOR REFERENCE. TO BE REMOVED.
REF. PLAN: SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED.



05
0421 ELEVATION 05
DOOR TO BE RETAINED SUBJECT TO FIRE
DESIGN AND SERVICES LOCATIONS



08
0421 ELEVATION 08

The areas on this drawing have been measured directly from a CAD drawing and have no tolerances added or subtracted

The areas have been calculated in accordance with the RICS/BSA Code of Measuring Practice, 4th Edition, 1985 using the stated options MIA, GIA, GEA. They are approximate and relate to the floor areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:

- Design development
- Accurate site survey, site levels and dimensions need to be fully assessed
- Allowance for construction methods and building tolerances
- Local authority constraints

rev date description
A 01/02/08 ISSUED FOR PLANNING

NOTES:

FIRST FLOOR:

1. CEILING
ALL CEILING BEAMS AND DECORATIVE DETAIL TO BE RETAINED

2.FLOOR:
ALL FLOOR COVERING TO BE REMOVED

3.WALLS:
PARTITION WALLS TO BE REMOVED AS INDICATED.

4.GENERALLY ALL TIMBER PANELLING PROPOSED TO BE REMOVED AND STORED, UNLESS INDICATED OTHERWISE.
STAIR AND LOBBY DORRS RETAINED.
BOARDROOM AND OFFICE RETAINED

5.ALL SANITARY FIXTURES /PARTITIONS /SCREENS /TILING/FITTINGS TO BE REMOVED.

BRIMELOW Mc SWEENEY ARCHITECTS

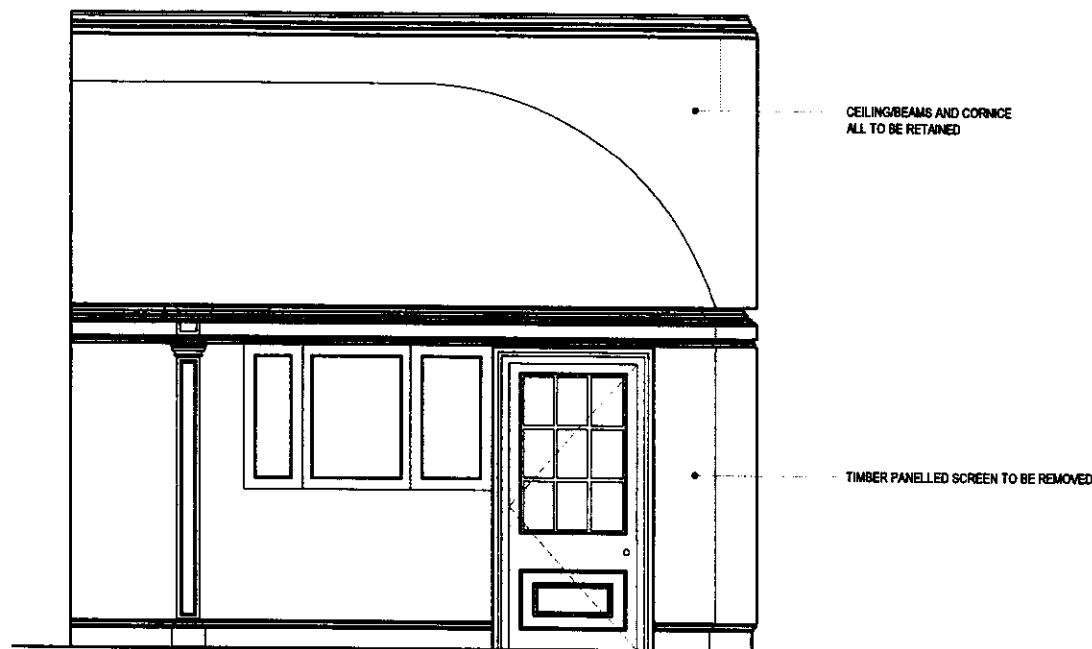
28 Great Queen Street, Covent Garden,
London WC2B 5SE.
tel: 020 7831 7835 fax: 020 7831 7838
email: admin@brimelow-mcsweeney.co.uk

project
31 GREAT QUEEN STREET

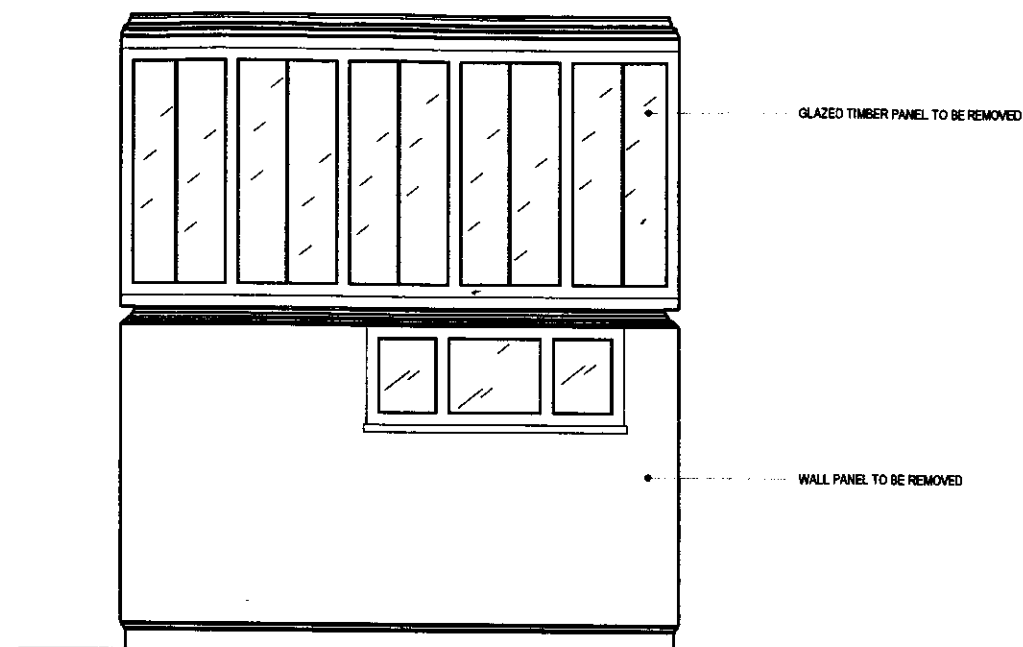
title
PROPOSED ALTERATIONS TO INTERNAL
WALL ELEVATIONS: FIRST FLOOR PLAN
FOR PLANNING

scale date drawn
1:50@A3 01/02/08 JB

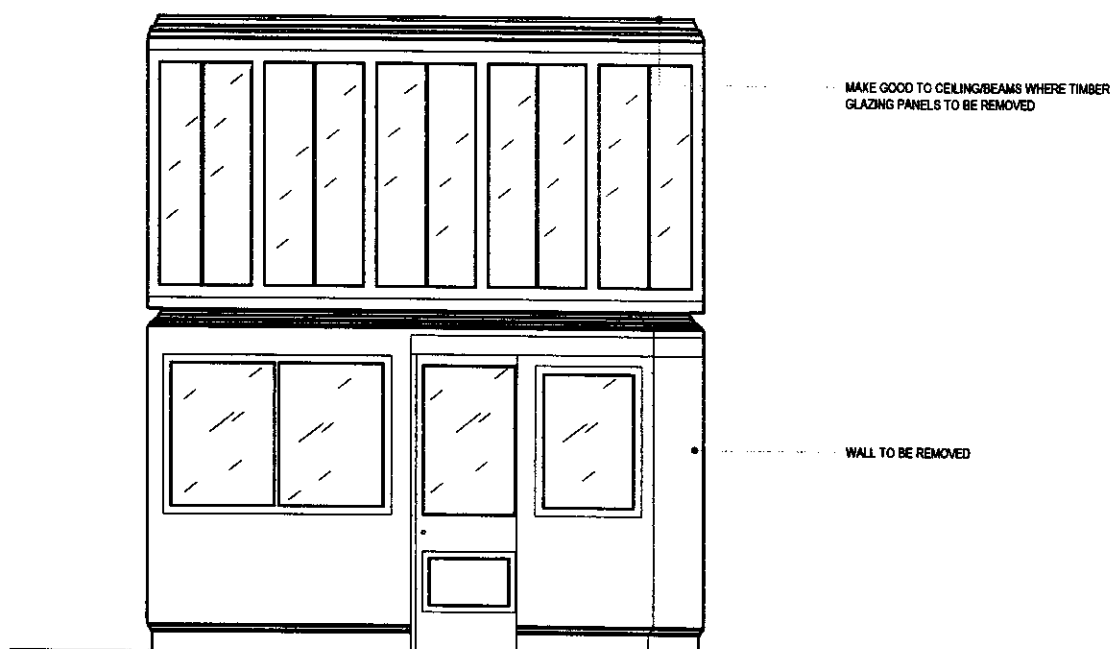
drawing no revision status
0727-0421 A P



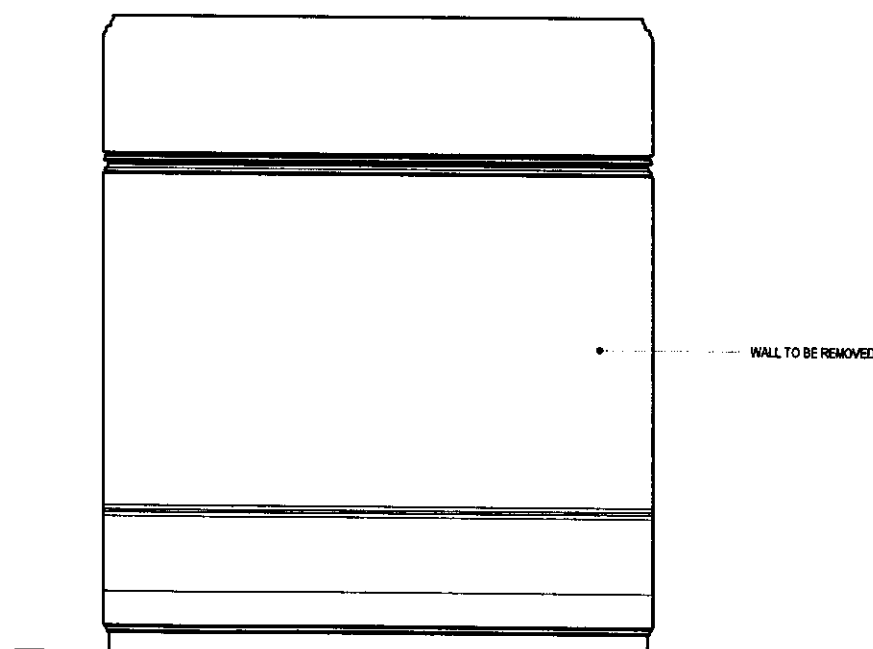
09
0422 ELEVATION 09



11
0422 ELEVATION 11
TYPICAL WALL FOR REFERENCE: TO BE REMOVED
REF PLAN: ALL SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED



0422
0102 ELEVATION 10
TYPICAL WALL FOR REFERENCE: TO BE REMOVED
REF PLAN: SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED



12
0422 ELEVATION 12
TYPICAL WALL FOR REFERENCE: TO BE REMOVED
REF PLAN: ALL SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED

The areas on the drawing have been measured directly from a CAD drawing and have no tolerance added or subtracted

The areas have been calculated in accordance with the RICS/BSA Code of Measuring Practice, 4th Edition, 1999 using the stated options N/A, G/A, S/A. They are approximate and relate to the likely areas of the building at the current state of the design. Any demands to be made on the basis of these predictions, whether as to project viability, pre-selling, lease agreements and the like, should make allowance for the following

Design development
-Accurate site survey, site levels and dimensions need to be fully evaluated
-Allowance for construction methods and building tolerances
-Local authority consents

rev date description
A 01/02/08 ISSUED FOR PLANNING

NOTES:

FIRST FLOOR:

1. CEILING
ALL CEILING BEAMS AND DECORATIVE DETAIL TO BE RETAINED

2. FLOOR:
ALL FLOOR COVERING TO BE REMOVED

3. WALLS:
PARTITION WALLS TO BE REMOVED AS INDICATED.

4. GENERALLY ALL TIMBER PANELLING PROPOSED TO BE REMOVED AND STORED, UNLESS INDICATED OTHERWISE.
STAIR AND LOBBY DOORS RETAINED.
BOARDROOM AND OFFICE RETAINED

5. ALL SANITARY FIXTURES /PARTITIONS /SCREENS /TILING/FITTINGS TO BE REMOVED.

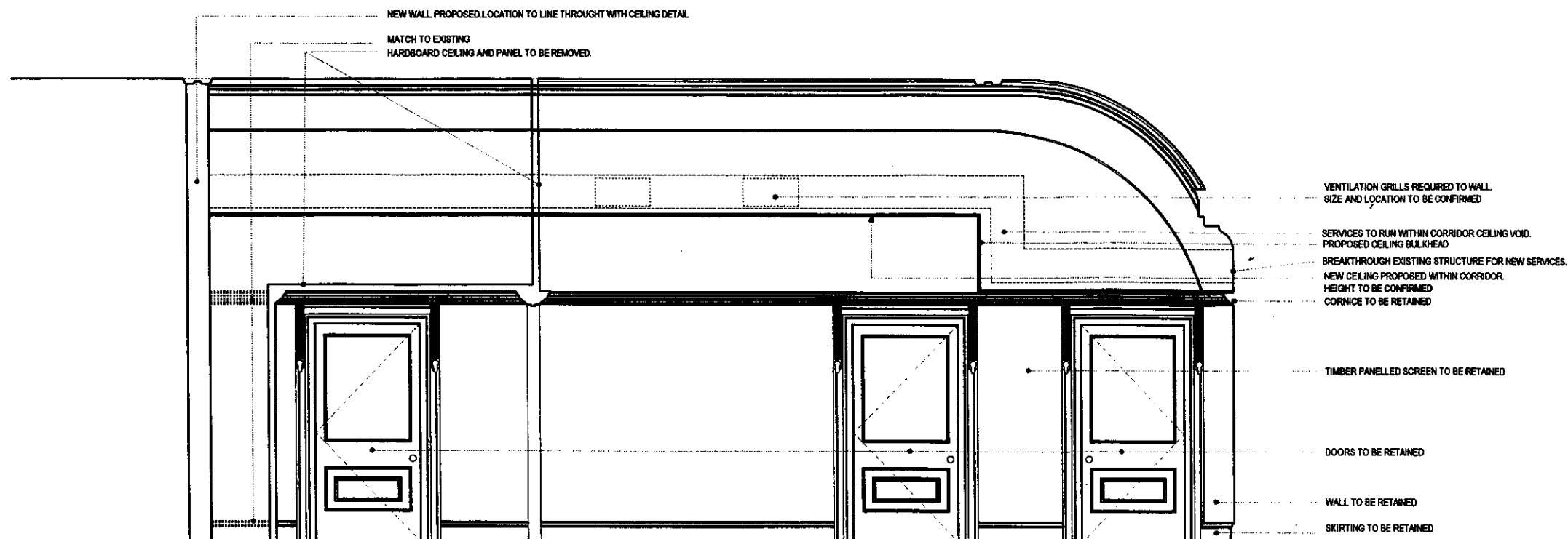
BRIMELOW Mc SWEENEY ARCHITECTS
25 Great Queen Street, Covent Garden,
London WC2B 5BL
Tel: 020 7631 7805 Fax: 020 7631 7830
email: admin@brimelow-mcsweeney.co.uk

project
31 GREAT QUEEN STREET

title
**PROPOSED ALTERATIONS TO INTERNAL
WALL ELEVATIONS: FIRST FLOOR PLAN
FOR PLANNING**

scale date drawn
1:50@A3 01/02/08 JB

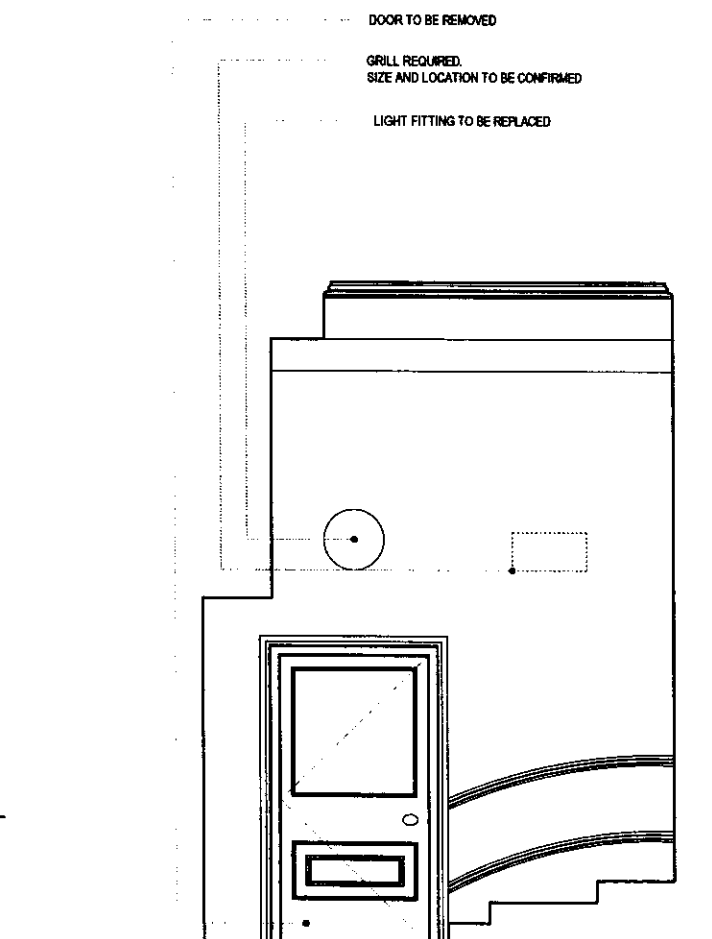
drawing No revision status
0727-0422 A P



13
0423 ELEVATION 13



14
0423 ELEVATION 14
TIMBER WALL SCREENS TO BE REMOVED



15
0423 ELEVATION 15
WALL TO BE REMOVED

The areas on this drawing have been measured directly from a CAD drawing and have no tolerances added or subtracted.

The areas have been calculated in accordance with the RICS/SVA Code of Measuring Practice, 4th Edition, 1993 using the stated options N/A, G/A, GEA. They are approximate and relate to the likely state of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-selling, lease agreements and the like, should make allowance for the following:

- Design development
- Accurate site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances
- Local authority constraints

rev date description
A 01/02/08 ISSUED FOR PLANNING

NOTES:

FIRST FLOOR:

1. CEILING
ALL CEILING BEAMS AND DECORATIVE DETAIL TO BE RETAINED

2. FLOOR:
ALL FLOOR COVERINGS TO BE REMOVED

3. WALLS:
PARTITION WALLS TO BE REMOVED AS INDICATED.

4. GENERALLY ALL TIMBER PANNELLING PROPOSED TO BE REMOVED AND STORED, UNLESS INDICATED OTHERWISE.
STAIR AND LOBBY DOORS RETAINED.
BOARDROOM AND OFFICE RETAINED

5. ALL SANITARY FIXTURES / PARTITIONS / SCREENS / TILING / FITTINGS TO BE REMOVED.

BRIMELOW Mc SWEENEY ARCHITECTS

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project
31 GREAT QUEEN STREET

title
PROPOSED ALTERATIONS TO INTERNAL
WALL ELEVATIONS : FIRST FLOOR PLAN
FOR PLANNING

scale date drawn
1:50 @ A3 01/02/08 JB

drawing No revision status
0727-0423 A P

The areas on the drawing have been measured directly from a CAD drawing and have no tolerances added or subtracted

The areas have been calculated in accordance with the RICS/BSA Code of Measuring Practice, 4th Edition, 1999 using the stated options NA, GA, GEA. They are approximate and relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-bidding, lease agreements and the like, should make allowance for the following

- Design development
- Accurate site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances
- Local authority consents

rev	date	description
A	01/02/08	ISSUED FOR PLANNING

NOTES :

FIRST FLOOR :

1. CEILING
ALL CEILING BEAMS AND DECORATIVE DETAIL TO BE RETAINED

2.FLOOR:
ALL FLOOR COVERINGS TO BE REMOVED

3.WALLS:
PARTITION WALLS TO BE REMOVED AS INDICATED.

4.GENERALLY ALL TIMBER PANELLING PROPOSED TO BE REMOVED AND STORED,UNLESS INDICATED OTHERWISE.
STAIR AND LOBBY DORRS RETAINED.
BOARDROOM AND OFFICE RETAINED

5.ALL SANITARY FIXTURES /PARTITIONS /SCREENS /TILING/FITTINGS TO BE REMOVED.

BRIMELOW Mc SWEENEY ARCHITECTS

26 Great Queen Street, Covent Garden,
London WC2B 5SL
Tel: 020 7831 7825 Fax: 020 7831 7830
email: admin@bms-architects.co.uk

project
31 GREAT QUEEN STREET

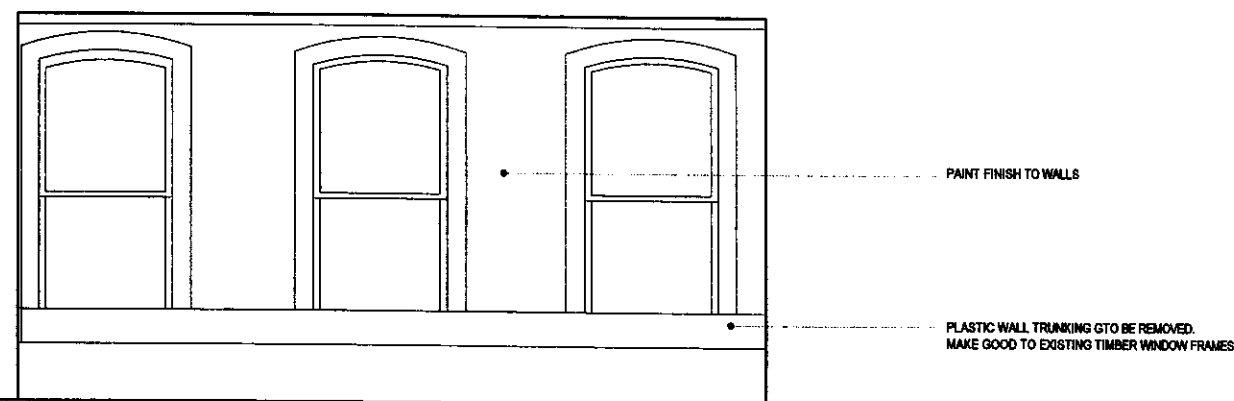
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PROPOSED ALTERATIONS TO INTERNAL
WALL ELEVATIONS : FIRST FLOOR PLAN
FOR PLANNING

scale	date	drawn
1:50@A3	01/02/08	JB

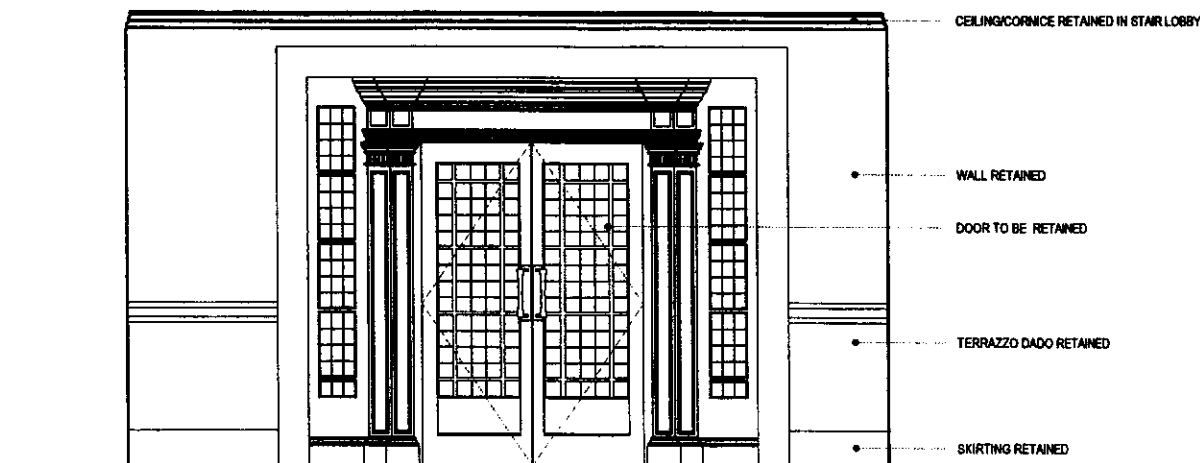
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0727-0424	A	P



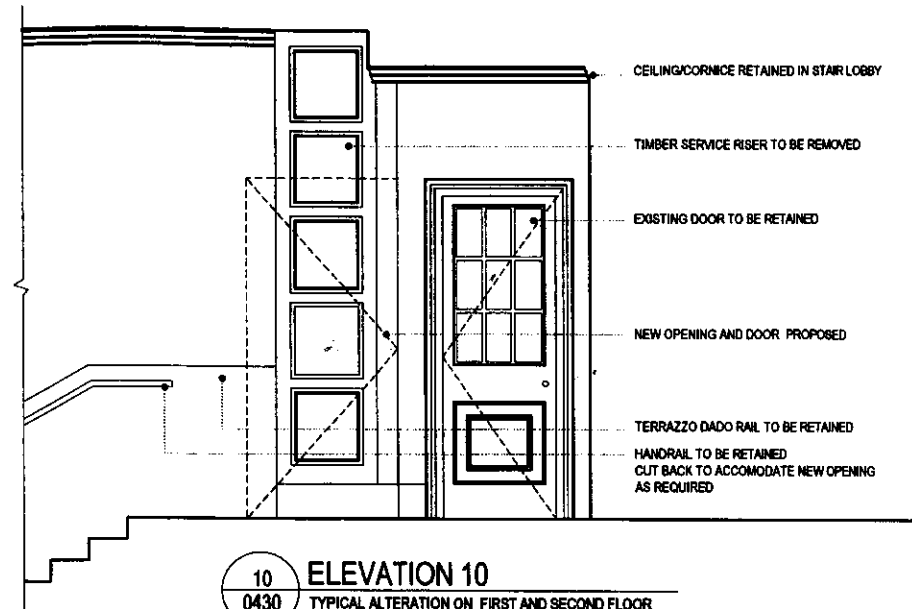
16
0424
ELEVATION 16
WINDOWS FACING GT QUEEN ST



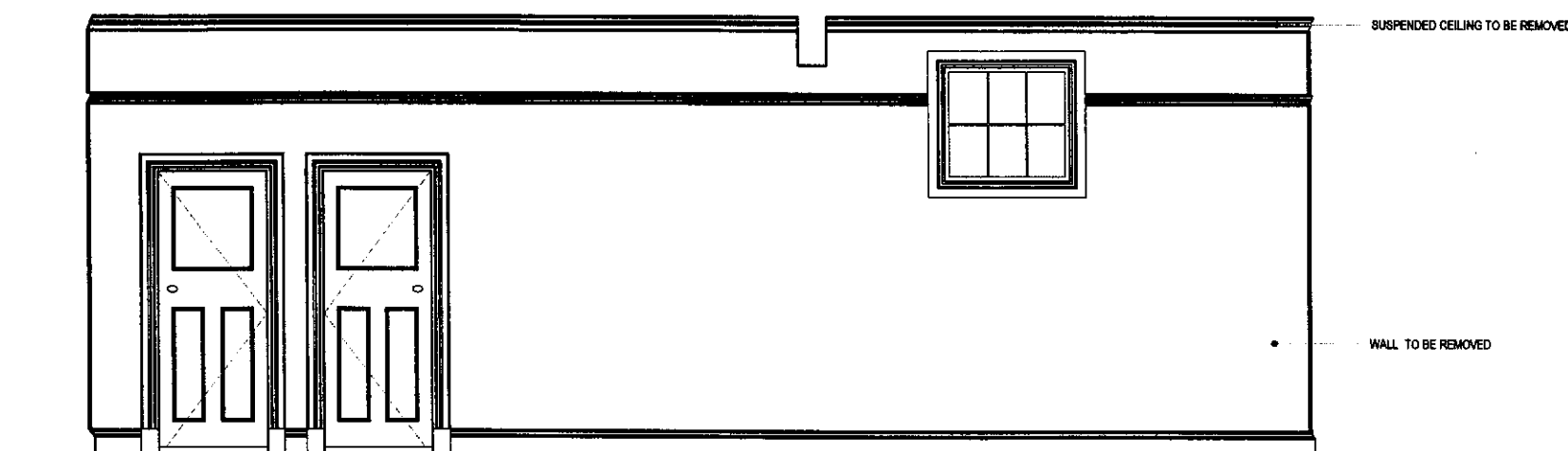
17
0424
ELEVATION 17
WINDOWS FACING GT QUEEN ST



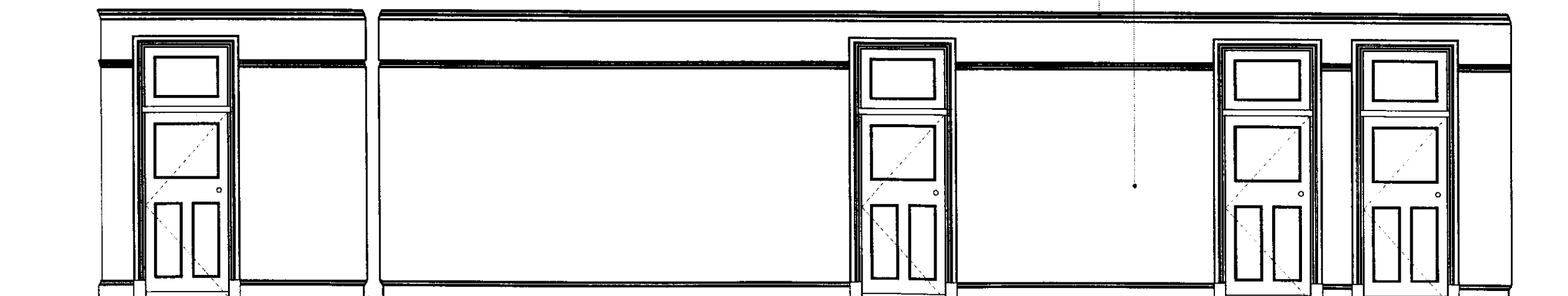
01
0430 ELEVATION 01
WALL TO BE REMOVED



10
0430 ELEVATION 10
TYPICAL ALTERATION ON FIRST AND SECOND FLOOR



02
0430 ELEVATION 02
TYPICAL WALL FOR REFERENCE: TO BE REMOVED
REF PLAN: ALL SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED



03
0430 ELEVATION 03
TYPICAL WALL FOR REFERENCE: TO BE REMOVED
REF PLAN: ALL SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED

The areas on the drawing have been measured directly from a CAD drawing and have no tolerances added or subtracted

The areas have been calculated in accordance with the RICS/SIVA Code of Measuring Practice, 4th Edition, 1993 using the stated options MA, CIA, GEA. They are approximate and relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:

- Design development
- Accurate site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances
- Local authority consents

rev date description
A 01/02/08 ISSUED FOR PLANNING

NOTES:

SECOND FLOOR:

GENERALLY,

1. ALL CEILING TO BE REMOVED
2. ALL FLOOR COVERING TO BE REMOVED UNLESS NOTED OTHERWISE.
3. INTERNAL PARTITION WALLS IN OFFICE AREAS TO BE REMOVED AS INDICATED ON PLAN
4. ALL SANITARY FIXTURES PARTITIONS/ SCREENS/ TILING/FITTINGS TO BE REMOVED.

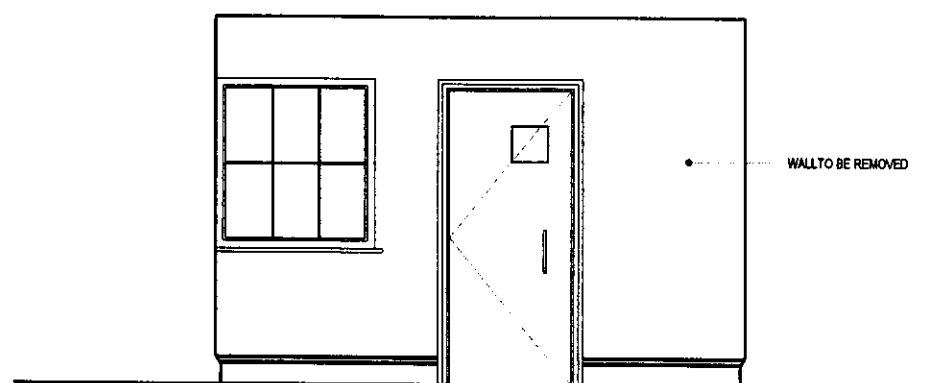
BRIMELOW Mc SWEENEY ARCHITECTS

26 Great Queen Street, Covent Garden,
London WC2B 9EL
tel: 020 7631 7835 fax: 020 7631 7836
email: admin@bm-architects.co.uk

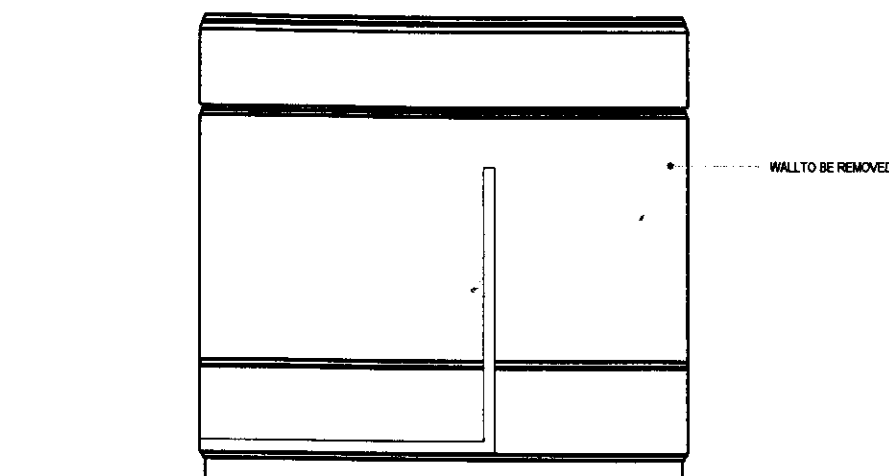
project
31 GREAT QUEEN STREET

title
PROPOSED ALTERATIONS TO INTERNAL
WALL ELEVATIONS: SECOND FLOOR PLAN
FOR PLANNING

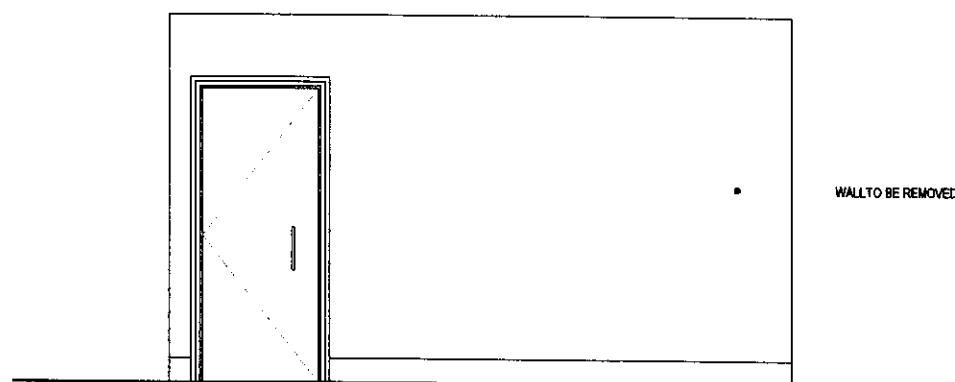
scale	date	drawn
1:50@A3	01/02/08	JB
drawing No	revision	status
0727-0430	A	P



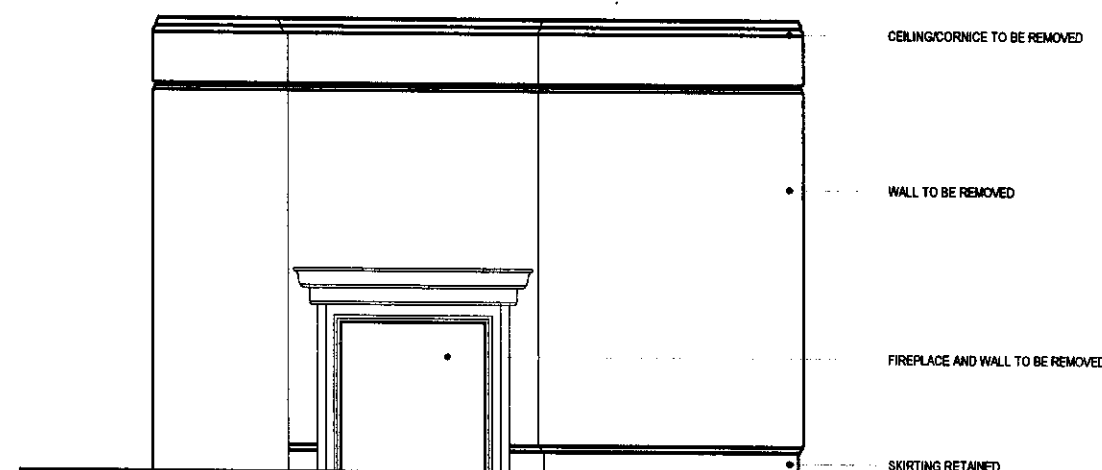
04
0431 ELEVATION 04
WALL TO BE REMOVED



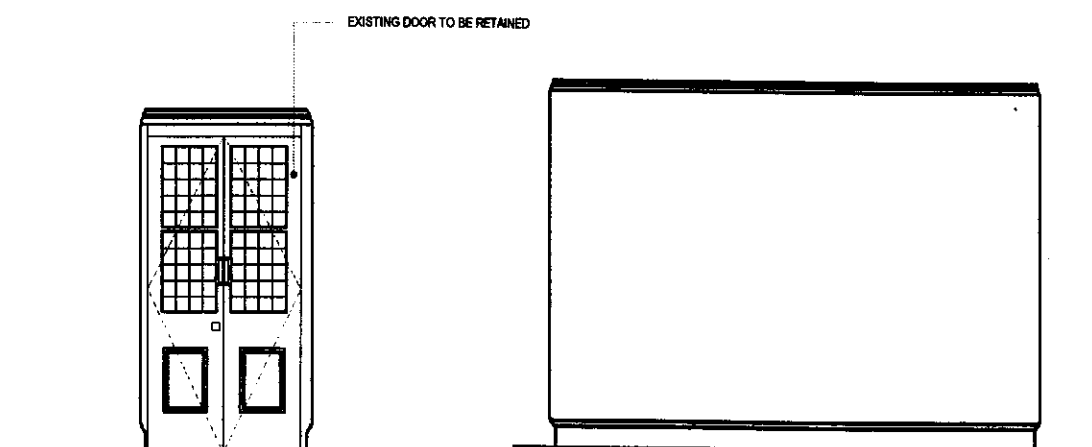
07
0431 ELEVATION 07
TYPICAL WALL FOR REFERENCE : TO BE REMOVED
REF PLAN : ALL SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED



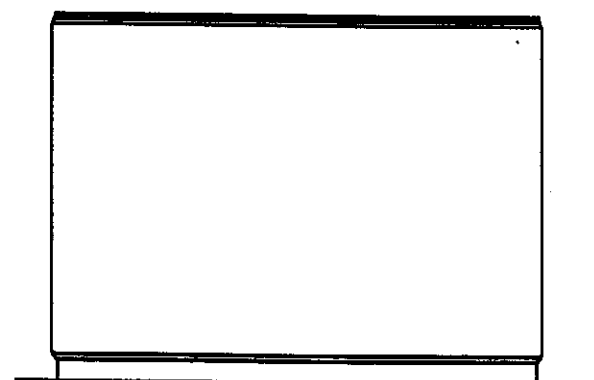
05
0431 ELEVATION 05
TYPICAL WALL FOR REFERENCE : TO BE REMOVED
REF PLAN : ALL SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED



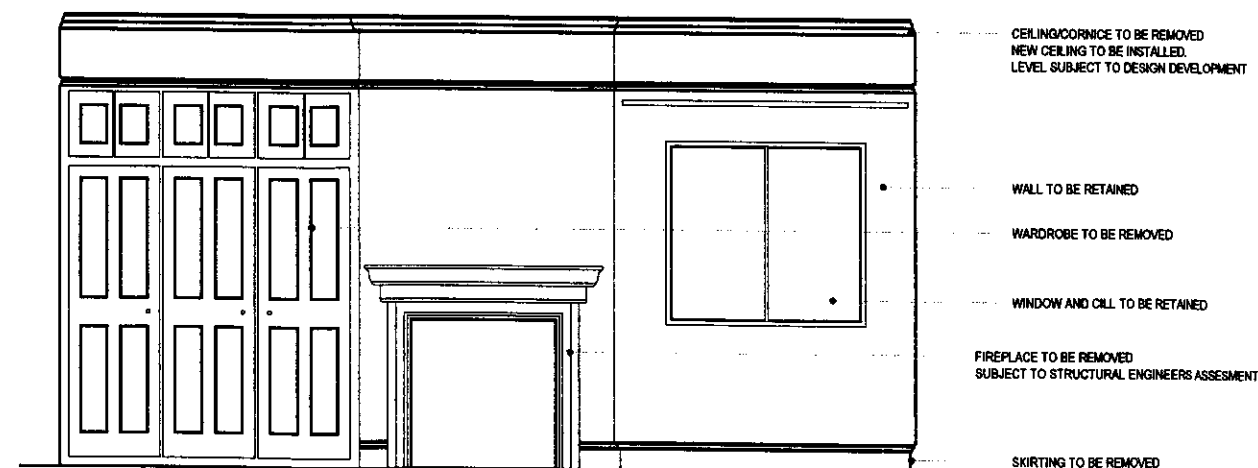
08
0431 ELEVATION 08



06
0431 ELEVATION 06



11
0431 ELEVATION 11
TYPICAL WALL FOR REFERENCE : TO BE REMOVED
REF PLAN : ALL SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED



09
0431 ELEVATION 09

The areas on the drawing have been measured directly from a CAD drawing and have no tolerances added or subtracted.

The areas have been calculated in accordance with the RICS/BSA Code of Measuring Practice, 4th Edition, 1993 using the stated options NA, GA, GEA. They are approximate and relate to the built area of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-selling, lease agreements and the like, should make allowance for the following:

- Design development
- Accurate site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances
- Local authority consents

rev date description
A 01/02/08 ISSUED FOR PLANNING

NOTES:

SECOND FLOOR:

GENERALLY,

1. ALL CEILING TO BE REMOVED
2. ALL FLOOR COVERING TO BE REMOVED UNLESS NOTED OTHERWISE.
3. INTERNAL PARTITION WALLS IN OFFICE AREAS TO BE REMOVED AS INDICATED ON PLAN
4. ALL SANITARY FIXTURES PARTITIONS/ SCREENS/ TILING/FITTINGS TO BE REMOVED.

BRIMELOW Mc SWEENEY ARCHITECTS

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project
31 GREAT QUEEN STREET

the
PROPOSED ALTERATIONS TO INTERNAL
WALL ELEVATIONS : SECOND FLOOR PLAN
FOR PLANNING

scale date drawn
1:50@A3 01/02/08 JB

drawing No revision status
0727-0431 A P

The areas on the drawing have been measured directly from a CAD drawing and have no tolerances added or subtracted

The areas have been calculated in accordance with the RICS/BSA Code of Measuring Practice, 4th Edition, 1993 using the stated options N/A, G/A, GEA. They are approximate and relate to the study areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:

- Design development
- Accurate site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances
- Local authority consents

no date description
A 01/02/08 ISSUED FOR PLANNING

NOTES:

SECOND FLOOR:

GENERALLY,

1. ALL CEILINGS TO BE REMOVED

2. ALL FLOOR COVERINGS TO BE REMOVED
UNLESS NOTED OTHERWISE.

3. INTERNAL PARTITION WALLS IN OFFICE AREAS
TO BE REMOVED AS INDICATED ON PLAN

4. ALL SANITARY FIXTURES PARTITIONS/ SCREENS/
TILING/FITTINGS TO BE REMOVED.

5. ALL EXTERNAL WINDOWS TO BE RETAINED AND
REFURBISHED. NEW INTERNAL SECONDARY
GLAZING PROPOSED

BRIMELOW Mc SWEENEY ARCHITECTS

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London WC2B 5RL
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email: admin@bm-architects.co.uk

project
31 GREAT QUEEN STREET

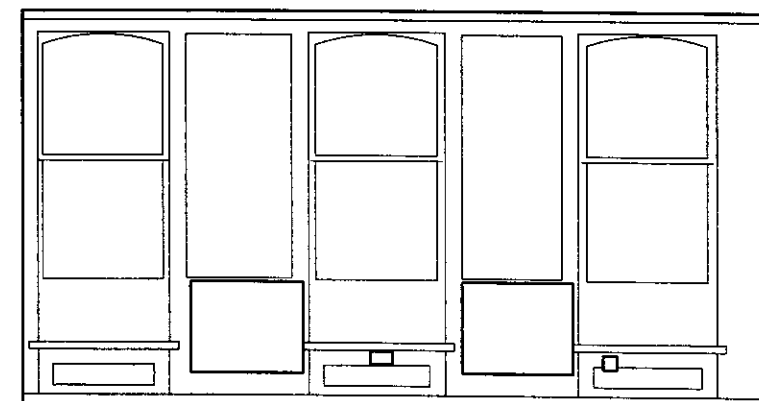
site
PROPOSED ALTERATIONS TO INTERNAL
WALL ELEVATIONS : SECOND FLOOR PLAN
FOR PLANNING

scale date drawn
1:50@A3 01/02/08 JB

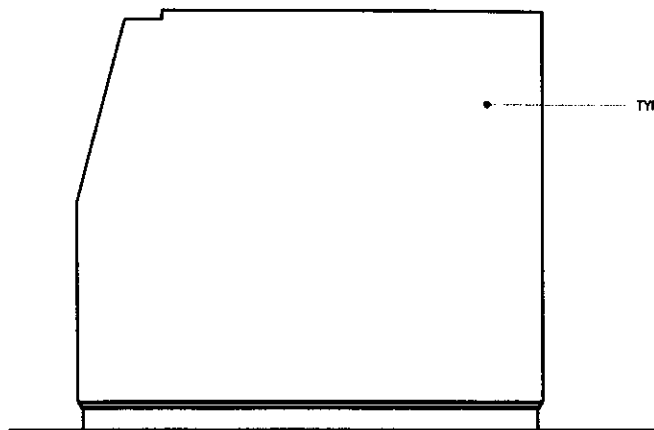
drawing no revision status
0727-0432 A P



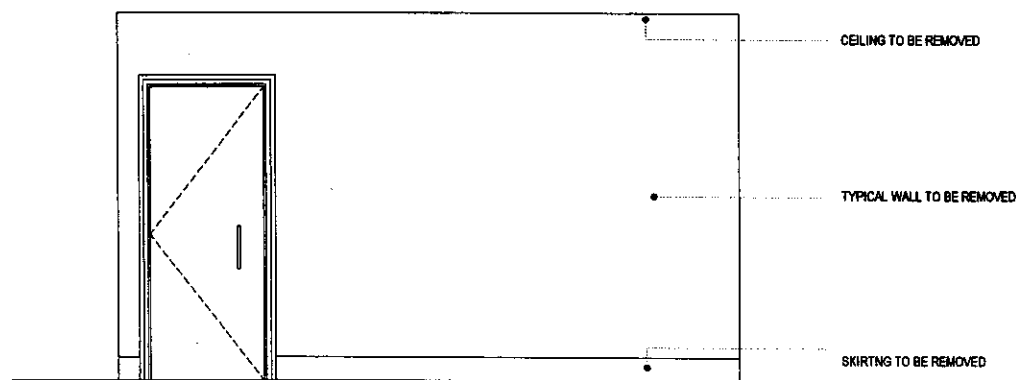
12
0432 ELEVATION 12
WINDOWS FACING GT QUEEN ST.



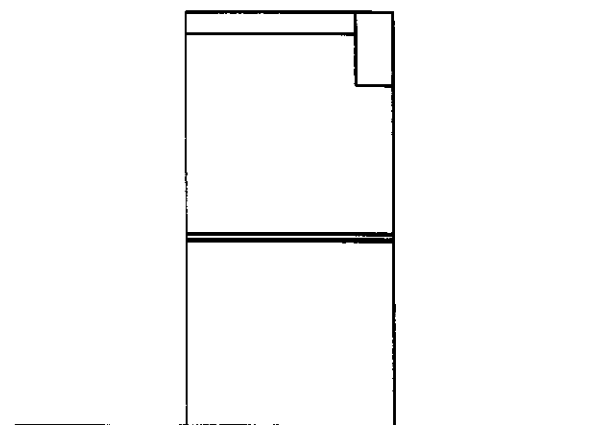
13
0432 ELEVATION 13
WINDOWS FACING GT QUEEN ST.



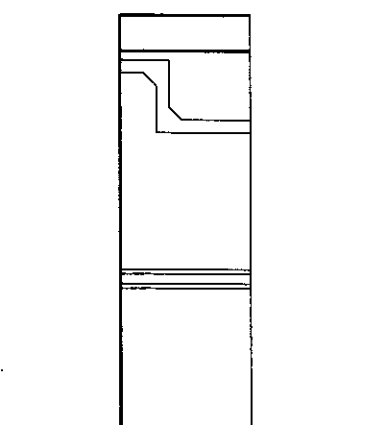
01
0440 ELEVATION 01
TYPICAL WALL FOR REFERENCE : TO BE REMOVED
REF PLAN : ALL SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED



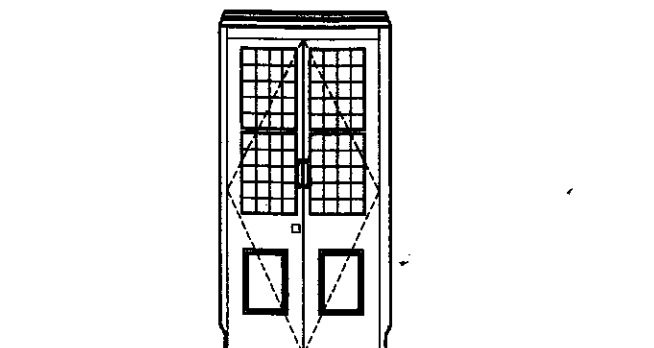
02
0440 ELEVATION 02
TYPICAL WALL FOR REFERENCE : TO BE REMOVED
REF PLAN : ALL SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED



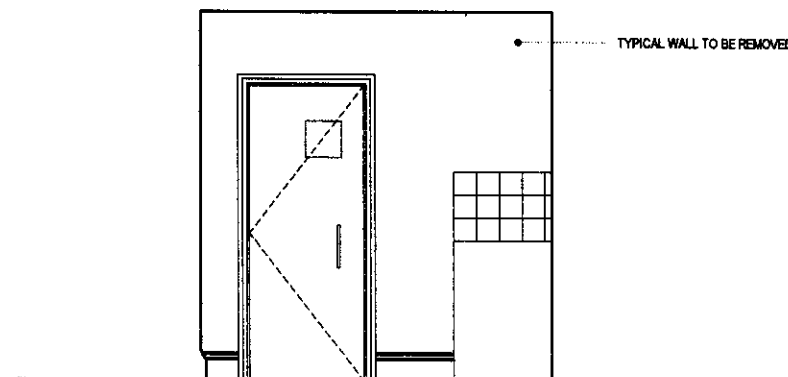
08
0440 ELEVATION 08
WALL TO BE REMOVED



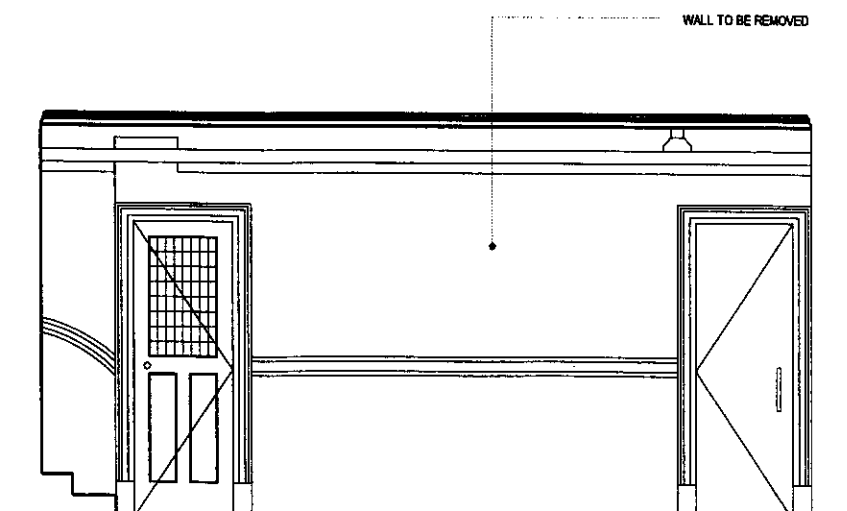
07
0440 ELEVATION 07
WALL TO BE REMOVED



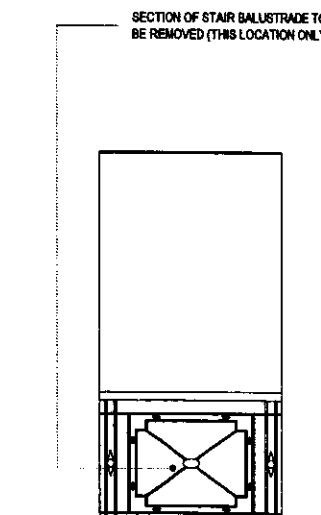
03
0440 ELEVATION 03
DOOR TO BE REMOVED



04
0440 ELEVATION 04
WALL TO BE REMOVED



06
0440 ELEVATION 06
WALL TO BE REMOVED



05
0440 ELEVATION 05
WALL TO BE REMOVED

The areas on the drawing have been measured directly from a CAD drawing and have no tolerance added or subtracted.

The areas have been calculated in accordance with the RICS/BSA Code of Measuring Practice, 4th Edition, 1992 using the related options NA, GA, GSA. They are approximate and relate to the floor area of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:

- Design development
- Accurate site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances
- Local authority comments

rev date description
A 01/02/08 ISSUED FOR PLANNING

NOTES :

SECOND FLOOR :

GENERALLY,

1. ALL CEILING TO BE REMOVED
2. ALL FLOOR COVERING TO BE REMOVED UNLESS NOTED OTHERWISE.
3. INTERNAL PARTITION WALLS IN OFFICE AREAS TO BE REMOVED AS INDICATED ON PLAN
4. ALL SANITARY FIXTURES PARTITIONS/ SCREENS/ TILING/FITTINGS TO BE REMOVED.

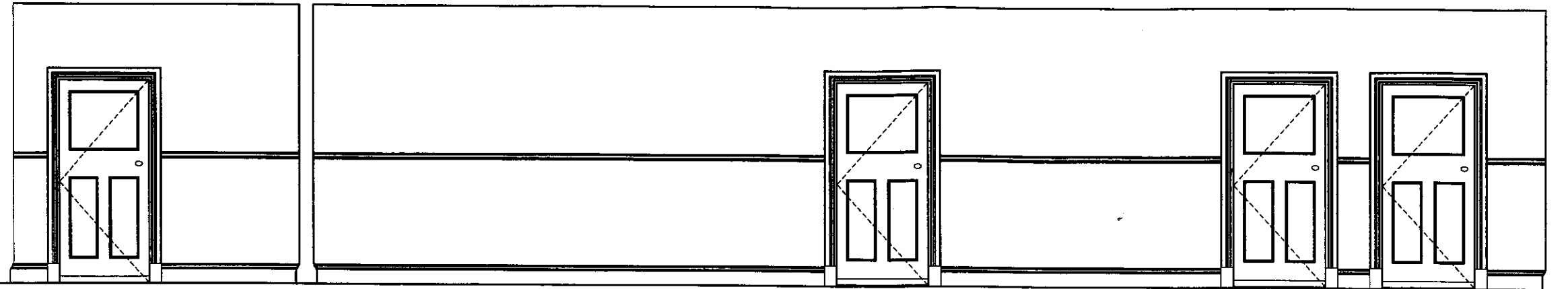
BRIMELOW Mc SWEENEY ARCHITECTS

28 Great Queen Street, Covent Garden,
London WC2B 5SL
tel: 020 7831 7835 fax: 020 7831 7838
email: admin@brimelow-mcsweeney.co.uk

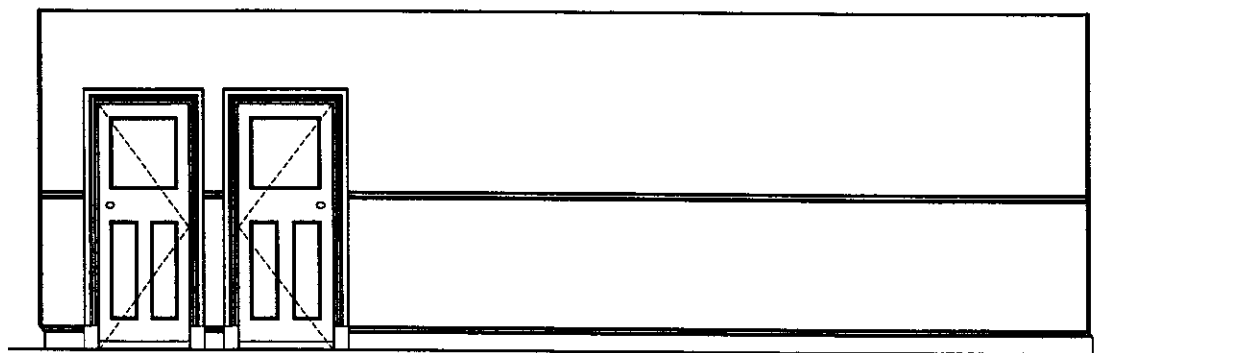
project
31 GREAT QUEEN STREET

use
PROPOSED ALTERATIONS TO INTERNAL
WALL ELEVATIONS : THIRD FLOOR PLAN
FOR PLANNING

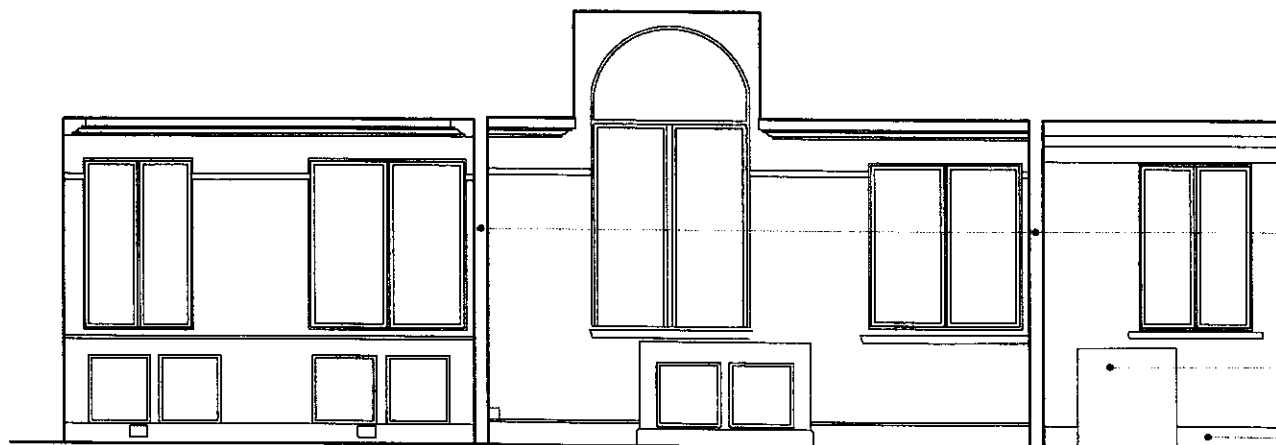
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drawing No 0727-0440	revision A	status P



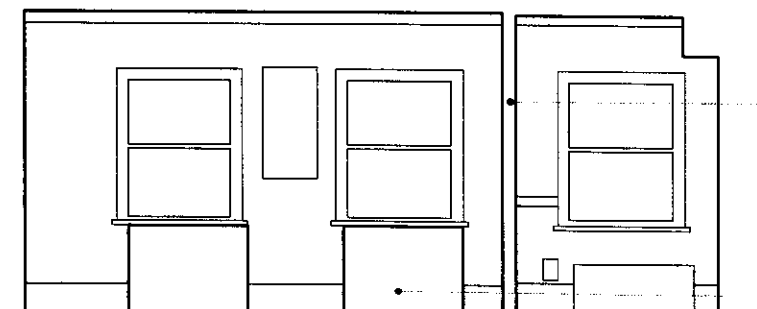
09
0441 ELEVATION 09
TYPICAL WALL FOR REFERENCE : TO BE REMOVED
REF PLAN : ALL SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED



10
0441 ELEVATION 10
TYPICAL WALL FOR REFERENCE : TO BE REMOVED
REF PLAN : ALL SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED



11
0441 ELEVATION 11
WINDOWS FACING GT QUEEN ST



12
0441 ELEVATION 12
WINDOWS FACING GT QUEEN ST

The areas on the drawing have been measured directly from a CAD drawing and have no tolerances added or subtracted

The areas have been calculated in accordance with the RICS/BSA Code of Measuring Practice, 4th Edition, 1993 using the stated options N/A, G/A, G/E/A. They are approximate and relate to the likely areas of the building at the current state of the design. Any dimensions to be made on the basis of these predictions, whether as to project viability, pre-filing, tender agreements and the like, should make allowance for the following:

- Design development
- Accuracy of survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances
- Local authority constraints

rev date description
A 01/02/08 ISSUED FOR PLANNING

NOTES :

SECOND FLOOR :

GENERALLY,

- 1.ALL CEILING TO BE REMOVED
- 2.ALL FLOOR COVERING TO BE REMOVED UNLESS NOTED OTHERWISE.
- 3.INTERNAL PARTITION WALLS IN OFFICE AREAS TO BE REMOVED AS INDICATED ON PLAN
- 4.ALL SANITARY FIXTURES PARTITIONS/ SCREENS/ TILING/FITTINGS TO BE REMOVED.

BRIMELOW McSWEENEY ARCHITECTS

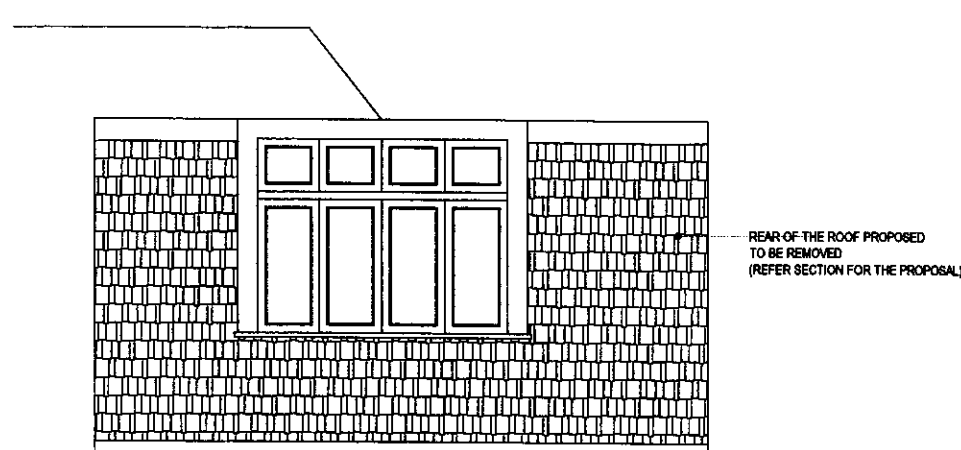
28 Great Queen Street, Covent Garden,
London WC2B 9SL
tel: 020 7851 7835 fax: 020 7851 7830
email: admin@brimelow-mcsweeney.co.uk

project:
31 GREAT QUEEN STREET

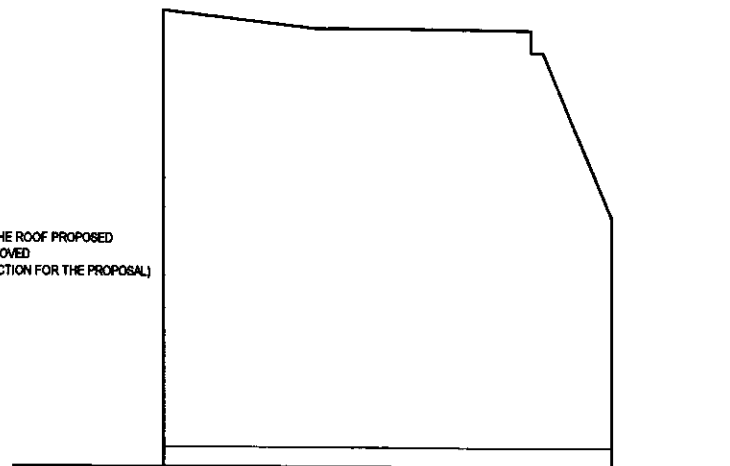
title:
PROPOSED ALTERATIONS TO INTERNAL
WALL ELEVATIONS : THIRD FLOOR PLAN
FOR PLANNING

scale: date: drawn:
1:50 @A3 01/02/08 JB

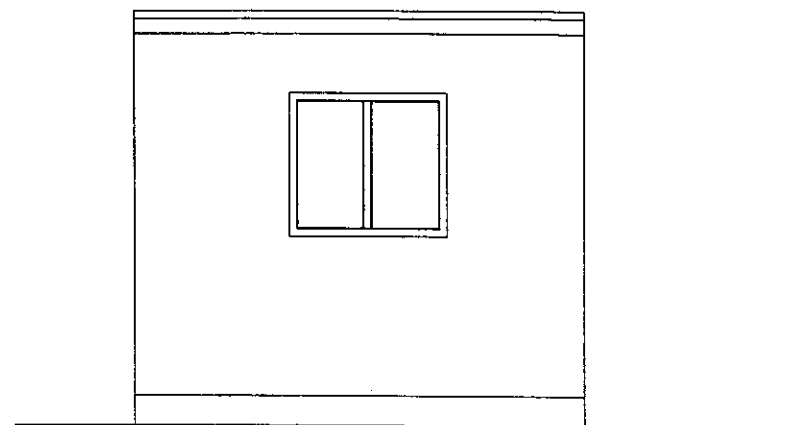
drawing No: revision: status:
0727-0441 A P



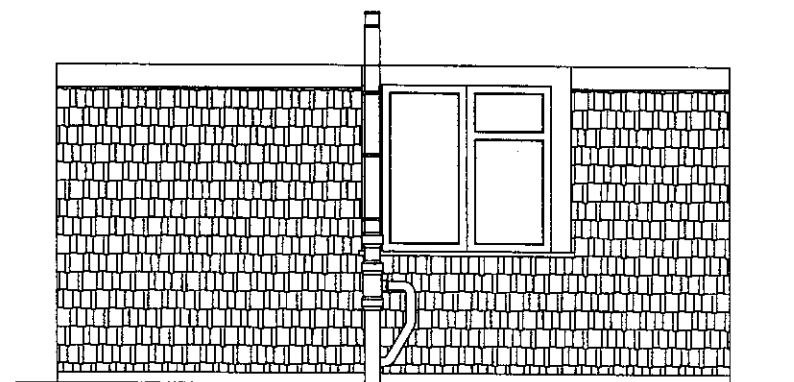
01
0450 ELEVATION 01
WALL TO BE REMOVED



04
0450 ELEVATION 04
TYPICAL WALL FOR REFERENCE : TO BE REMOVED
REF PLAN : ALL SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED



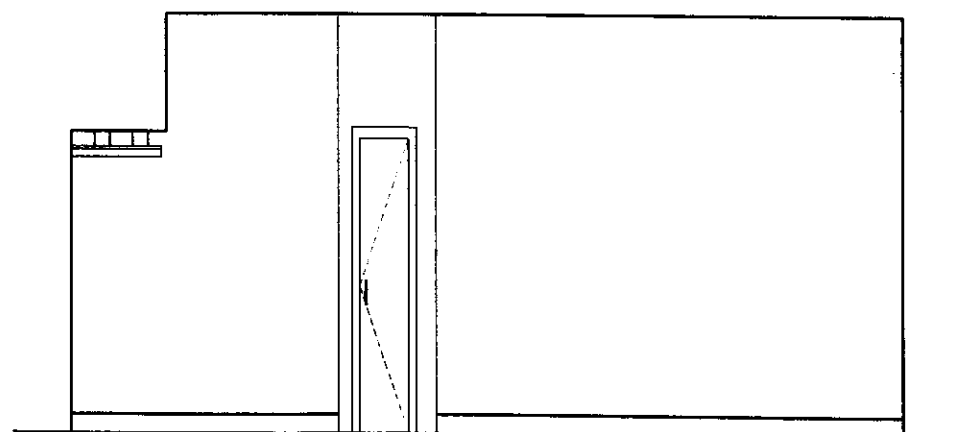
02
0450 ELEVATION 02
WALL TO BE REMOVED



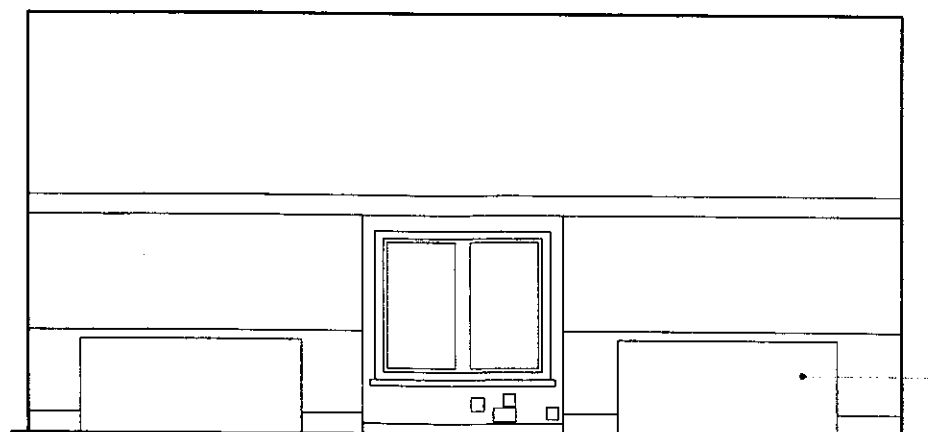
03
0450 ELEVATION 03
REAR WALL TO BE REMOVED



05
0450 ELEVATION 05
4 SIMILAR SIDE WALLS TO BE REMOVED



06
0450 ELEVATION 06
TYPICAL WALL TO BE REMOVED



07
0450 ELEVATION 07
WALL FACING GT QUEEN ST

The areas on the drawing have been measured directly from a CAD drawing and have no tolerance added or subtracted

The areas have been calculated in accordance with the PAS 55:2011 Code of Measuring Practice, 4th Edition, 1980 using the stated options MA, G/A, GEA. They are approximate and relate to the likely area of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-selling, lease agreements and the like, should make allowance for the following:

- Design development
- Accurate site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances
- Local authority consents

rev date description
A 01/02/08 ISSUED FOR PLANNING

NOTES :

SECOND FLOOR :

GENERALLY,

1. ALL CEILINGS TO BE REMOVED
2. ALL FLOOR COVERINGS TO BE REMOVED UNLESS NOTED OTHERWISE.
3. INTERNAL PARTITION WALLS IN OFFICE AREAS TO BE REMOVED AS INDICATED ON PLAN
4. ALL SANITARY FIXTURES PARTITIONS/ SCREENS/ TILING/FITTINGS TO BE REMOVED.
5. RADIATORS AND WALL FIXTURES TO BE REMOVED

BRIMELOW Mc SWEENEY ARCHITECTS

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project
31 GREAT QUEEN STREET

title
PROPOSED ALTERATIONS TO INTERNAL
WALL ELEVATION : FOURTH FLOOR PLAN
FOR PLANNING

scale date drawn
1:50 @A3 01/02/08 JB

drawing No revision status
0727-0450 A P

Do not scale from this drawing. Work to figured dimensions only.

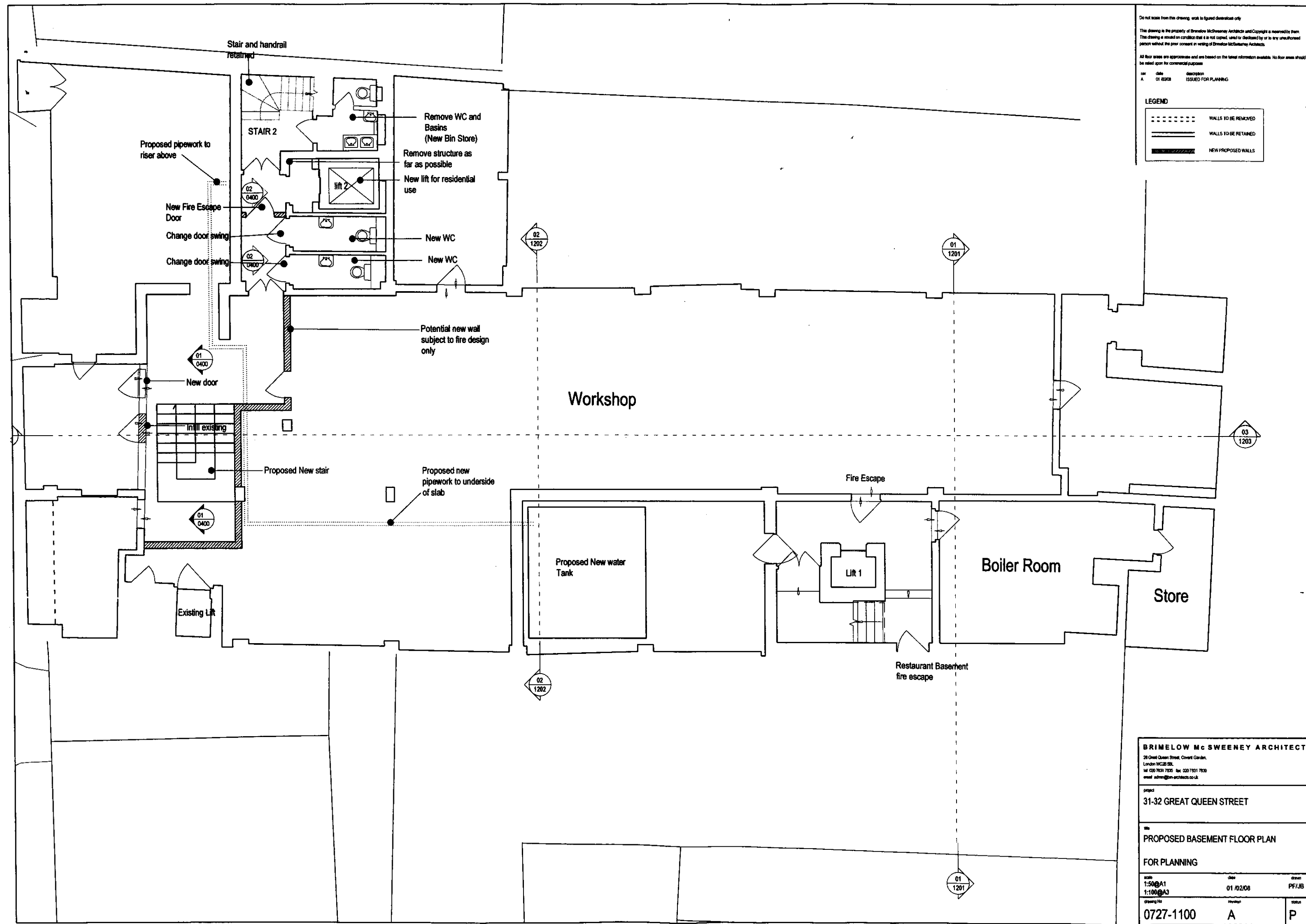
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All floor areas are approximate and are based on the latest information available. No floor areas should be relied upon for commercial purposes.

rev	date	description
A	01/02/08	ISSUED FOR PLANNING

LEGEND

-----	WALLS TO BE REMOVED
=====	WALLS TO BE RETAINED
=====	NEW PROPOSED WALLS



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 28 Great Queen Street, Covent Garden,
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 Tel: 020 7631 7835 Fax: 020 7631 7839
 email: admin@bm-architects.co.uk

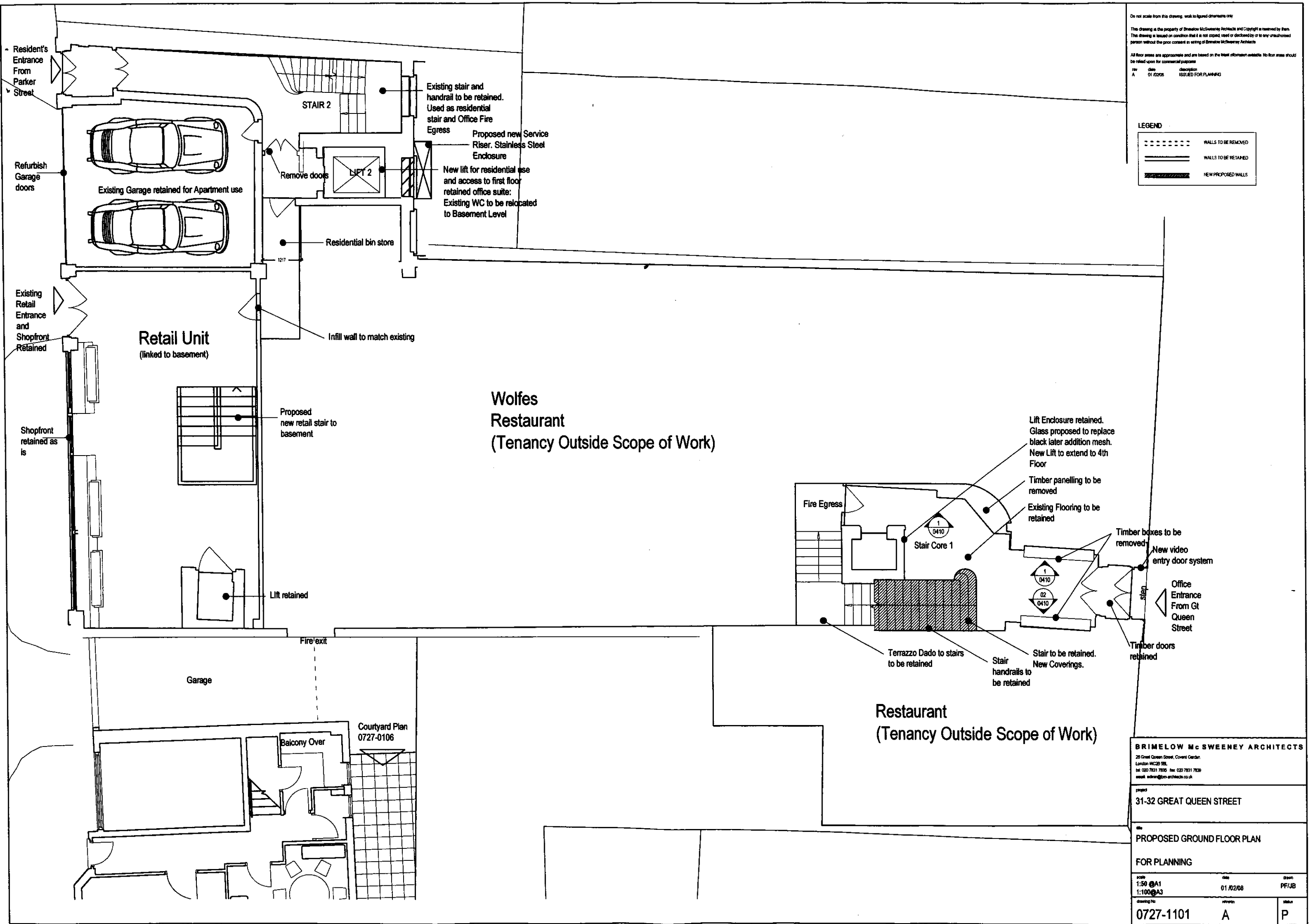
project
31-32 GREAT QUEEN STREET

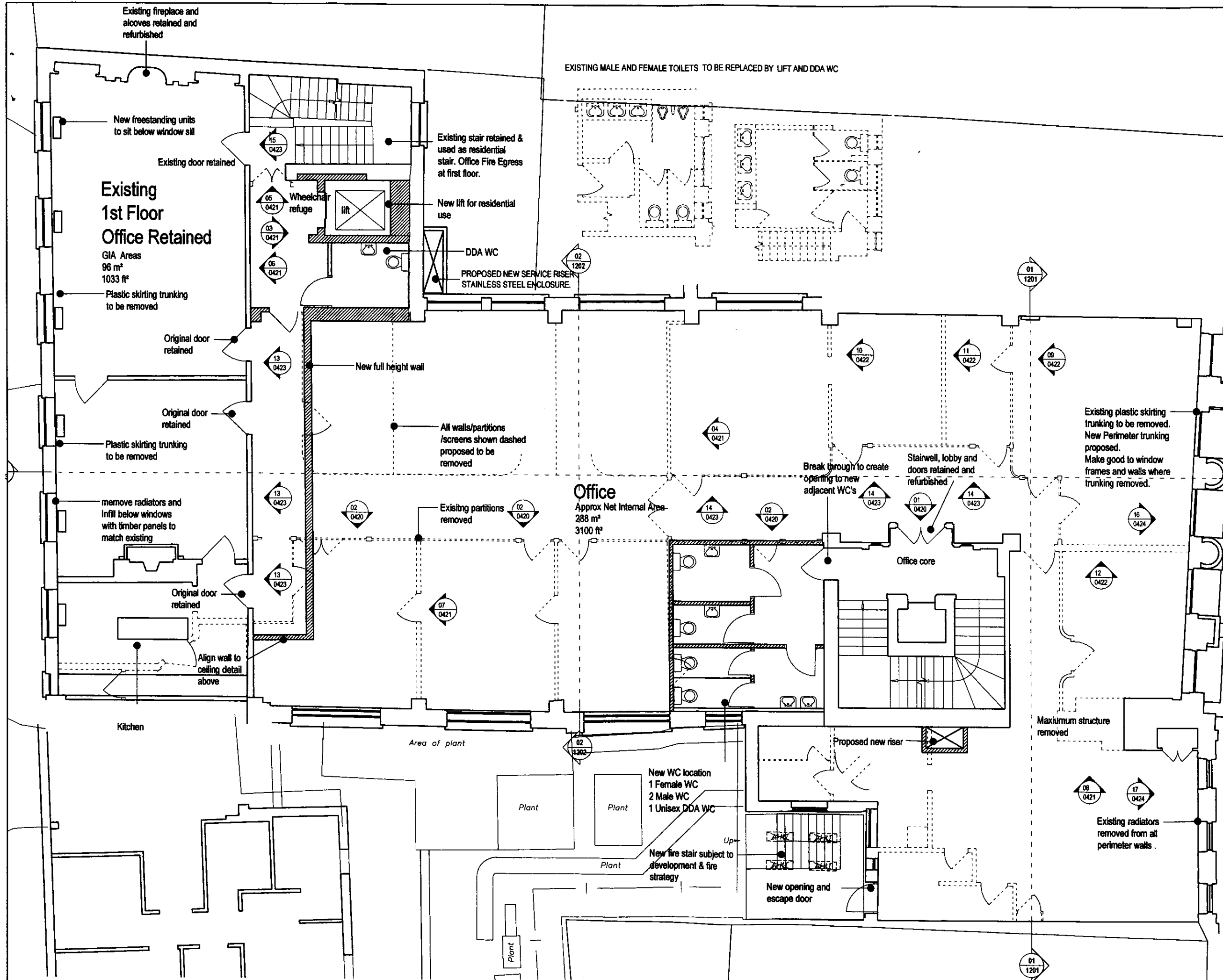
title
PROPOSED BASEMENT FLOOR PLAN

FOR PLANNING

scale	date	drawn
1:50@A1	01/02/08	PF/JS
1:100@A3		

drawing No	revision	status
0727-1100	A	P





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rev date description
A 01/02/08 ISSUED FOR PLANNING

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London WC2B 8SE.
tel: 020 7631 7635 fax: 020 7631 7638
email: admin@brimelow-mcsweeney.co.uk

project
31-32 GREAT QUEEN STREET

title
PROPOSED FIRST FLOOR PLAN

FOR PLANNING

scale 1:50@A1 1:100@A3	date 01/02/08	drawn PFJJB
drawing no 0727-1102	revision A	status P

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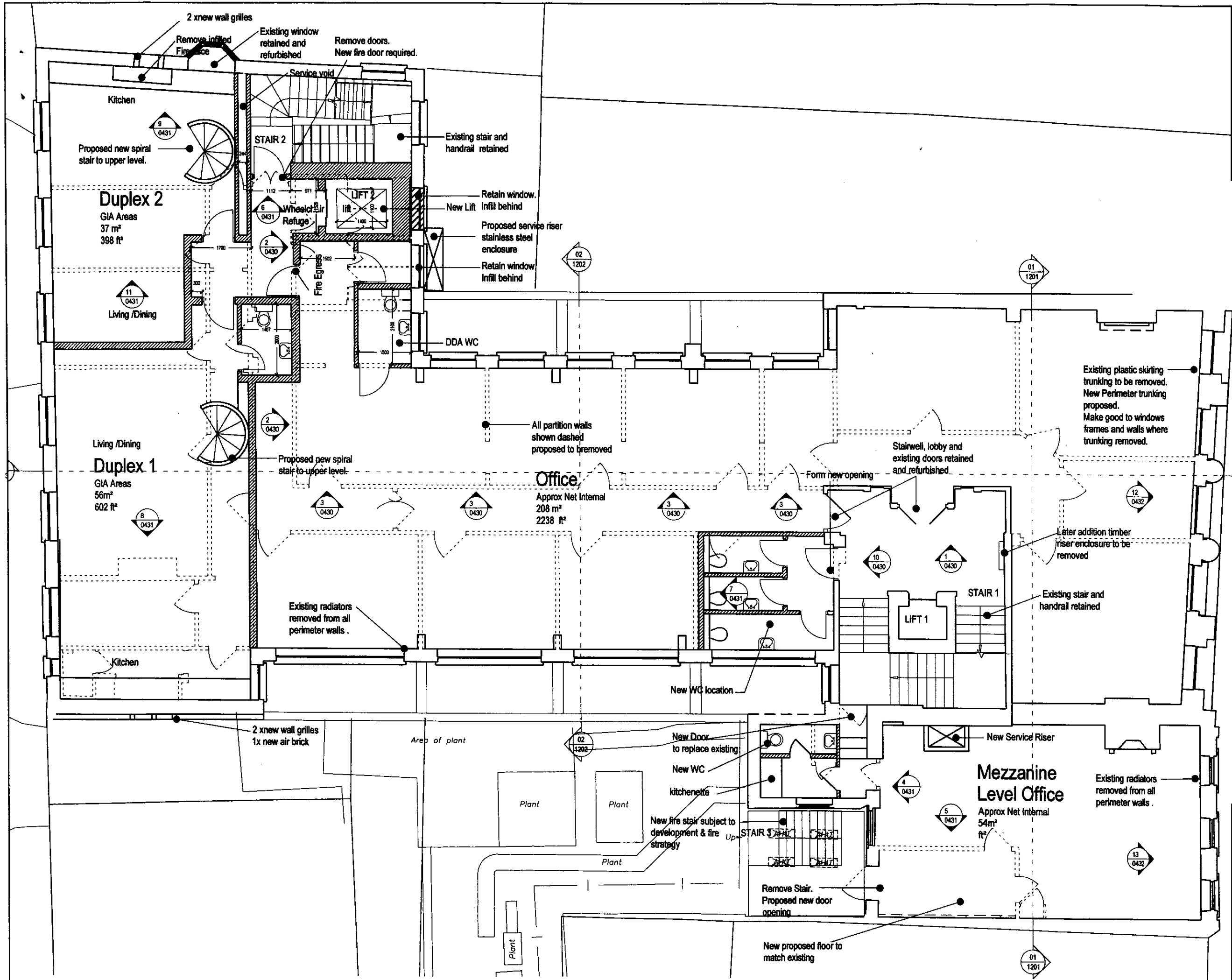
All floor areas are approximate and are based on the latest information available. No floor areas should be relied upon for commercial purposes.

rev date description

A 01/02/08 ISSUED FOR PLANNING

LEGEND

---	WALLS TO BE REMOVED
---	WALLS TO BE RETAINED
---	NEW PROPOSED WALLS



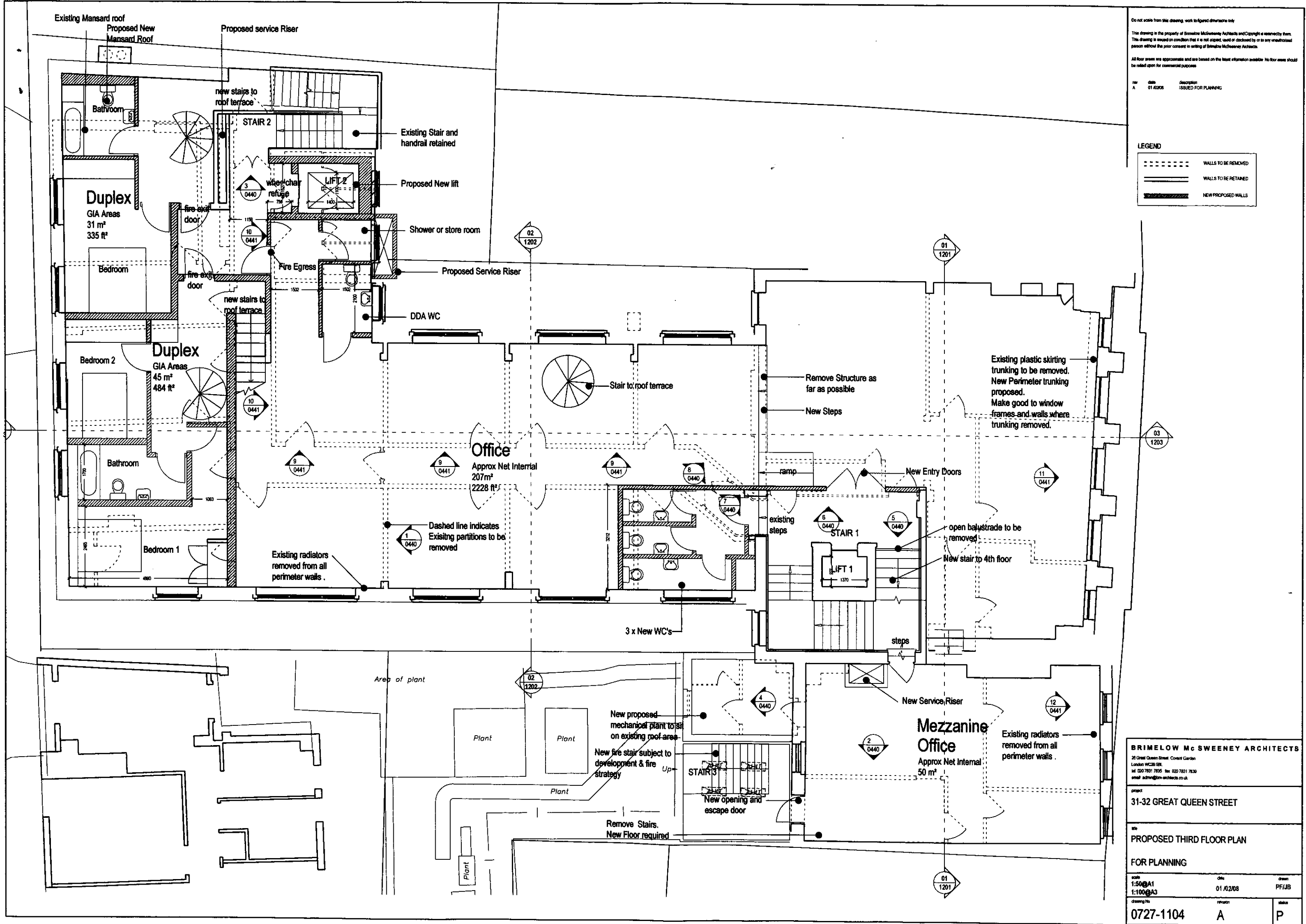
BRIMELOW McSWEENEY ARCHITECTS
25 Great Queen Street, Covent Garden,
London WC2B 3SL
tel 020 7831 7835 fax 020 7831 7838
email admin@brimelow-mcsweeney.co.uk

project
31-32 GREAT QUEEN STREET

title
PROPOSED SECOND FLOOR PLAN

FOR PLANNING

scale 1:50@A1 1:100@A3	date 01/02/08	drawn PF/JB
drawing No 0727-1103	revision A	status P



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REV	DATE	DESCRIPTION
A	01/02/08	ISSUED FOR PLANNING

LEGEND

- WALLS TO BE REMOVED
- WALLS TO BE RETAINED
- NEW PROPOSED WALLS

BRIMELOW McSWEENEY ARCHITECTS
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London WC2B 5BN
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email: admin@bma-architects.co.uk

project
31-32 GREAT QUEEN STREET

title
PROPOSED THIRD FLOOR PLAN

FOR PLANNING

scale	date	drawn
1:50 @ A1	01/02/08	PF/JB
1:100 @ A3		

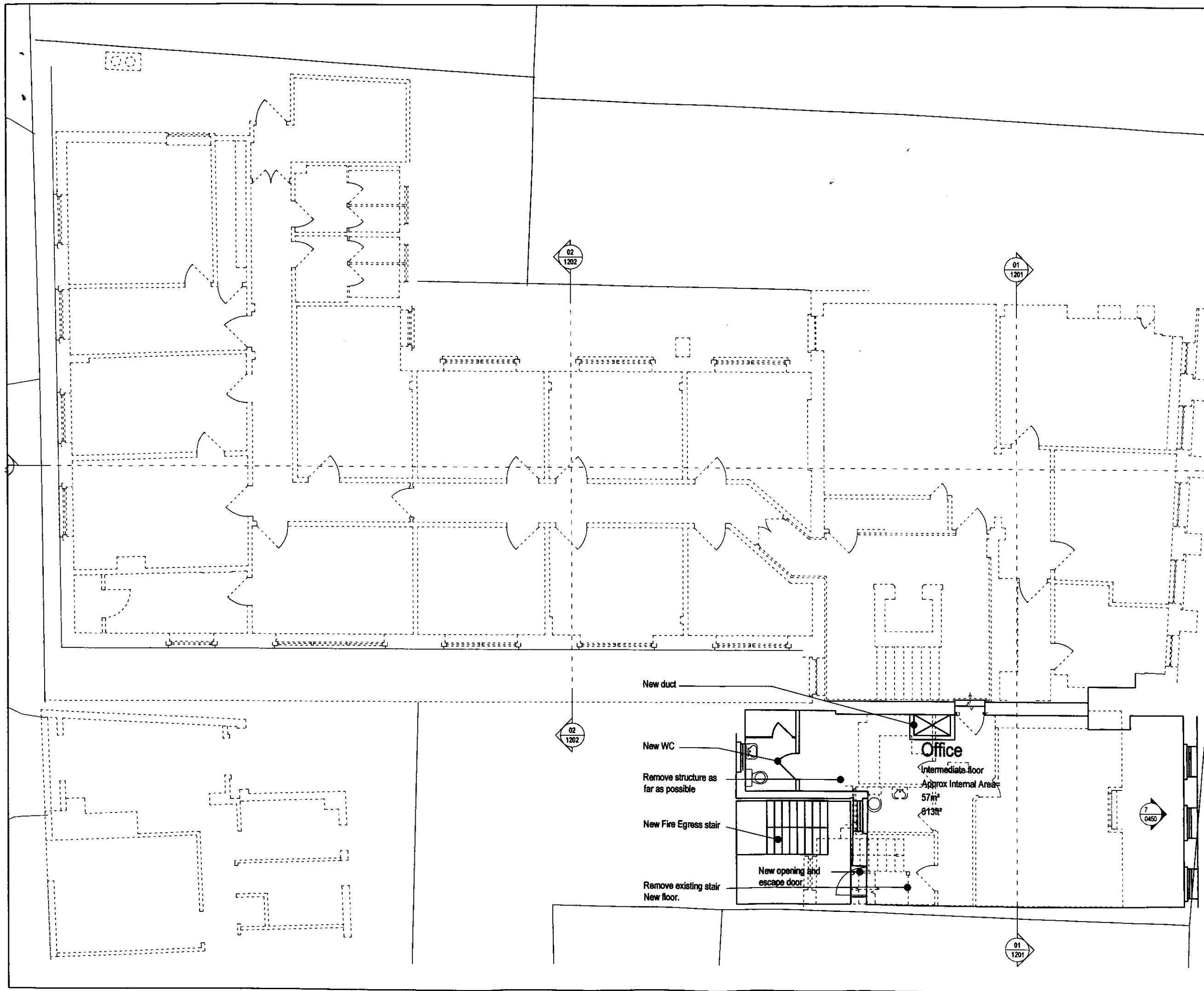
drawing no	revision	status
0727-1104	A	P

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All floor areas are approximate and are based on the latest information available. No floor areas should be relied upon for commercial purposes.

Rev	Date	Description
A	01/02/08	ISSUED FOR PLANNING



BRIMELOW McSWEENEY ARCHITECTS 28 Great Queen Street, Covent Garden, London WC2B 5SL Tel: 020 7631 7636 Fax: 020 7631 7636 email: admin@brm-architects.co.uk		
project 31-32 GREAT QUEEN STREET		
title PROPOSED INTERMEDIATE FLOOR PLAN (Access from stair between 3rd and 4th Floor) FOR PLANNING		
scale 1:50@A1 1:100@A3	date 01/02/08	drawn PF/JB
drawing No 0727-1105	revision A	status P

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All floor areas are approximate and are based on the latest information available. No floor areas should be relied upon for commercial purposes.

rev	date	description
A	01 JUN 88	ISSUED FOR PLANNING

	WALLS TO BE REMOVED
	WALLS TO BE RETAINED
	NEW PROPOSED WALLS

26 Great Queen Street, Covent Garden,
London WC2B 5BL
tel 020 7831 7805 fax 020 7831 7806
email: admin@bm-architects.co.uk

project
31-32 GREAT QUEEN STREET

PROPOSED FOURTH FLOOR PLAN

FOR PLANNING

scale	date	drawn
1:500@A1		
1:100@A3	01/02/08	PF/JB

drawing No	revision	status
0727-1106	A	P

Do not scale from this drawing, work to agreed dimensions only.

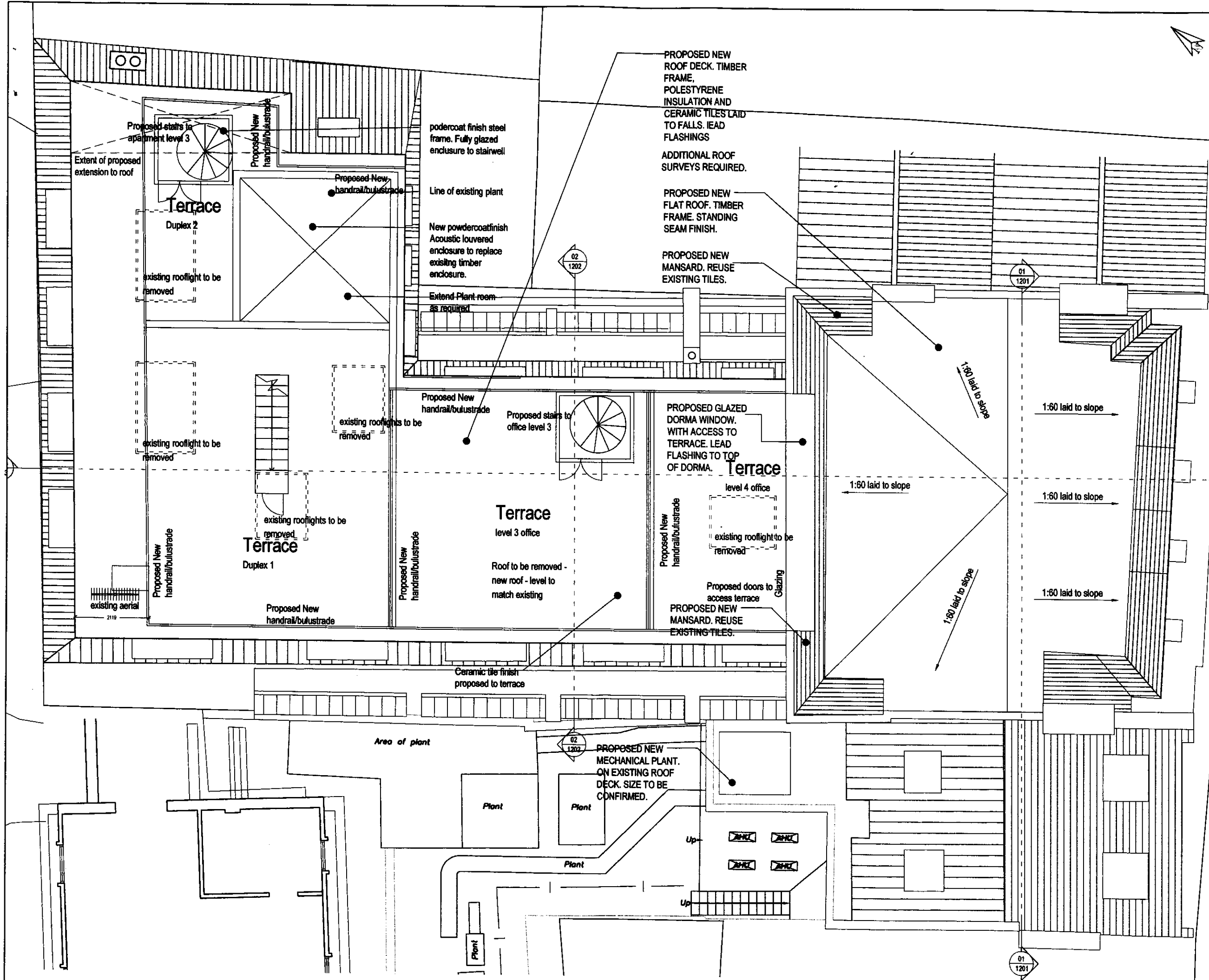
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All floor areas are approximate and are based on the latest information available. No floor areas should be relied upon for commercial purposes.

rev date description
A 01/02/08 ISSUED FOR PLANNING

LEGEND

--- WALLS TO BE REMOVED
= WALLS TO BE RETAINED
--- NEW PROPOSED WALLS



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London WC2B 5BL
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email: admin@brimelow-mcsweeney.co.uk

project
31-32 GREAT QUEEN STREET

title
PROPOSED ROOF PLAN

FOR PLANNING

scale 1:50@A1 1:100@A3	date 01/02/08	drawn PF/JB
drawing No 0727-1107	revision A	status P



The areas on the drawing have been measured directly from a CAD drawing and have no tolerances added or subtracted.

The areas have been calculated in accordance with the RICS/ASVA Code of Measuring Practice, 4th Edition, 1983 using the stated options NA, GFA, GEA. They are approximate and relate to the likely area of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:

- Design developments
- Accurate site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances
- Local authority consents

rev date description
A 01/02/08 ISSUED FOR PLANNING

BRIMELOW Mc SWEENEY ARCHITECTS
20 Great Queen Street, Covent Garden,
London WC2B 5BL
tel: 020 7831 7835 fax: 020 7831 7830
email: admin@bms-architects.co.uk

project
**31 GREAT QUEEN STREET
WC2B 5BL**

site
PROPOSED SECTION 0727-1201

FOR PLANNING

scale	date	drawn
1:100@A3	01/02/08	JB
drawing No	revision	status
0727-1201	A	P

The areas on this drawing have been measured directly from a CAD drawing and have no tolerance added or subtracted.

The areas have been calculated in accordance with the RICS/BSA Code of Measuring Practice, 4th Edition, 1993 using the stated options MA, GFA, GEA. They are approximate and relate to the study area of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:

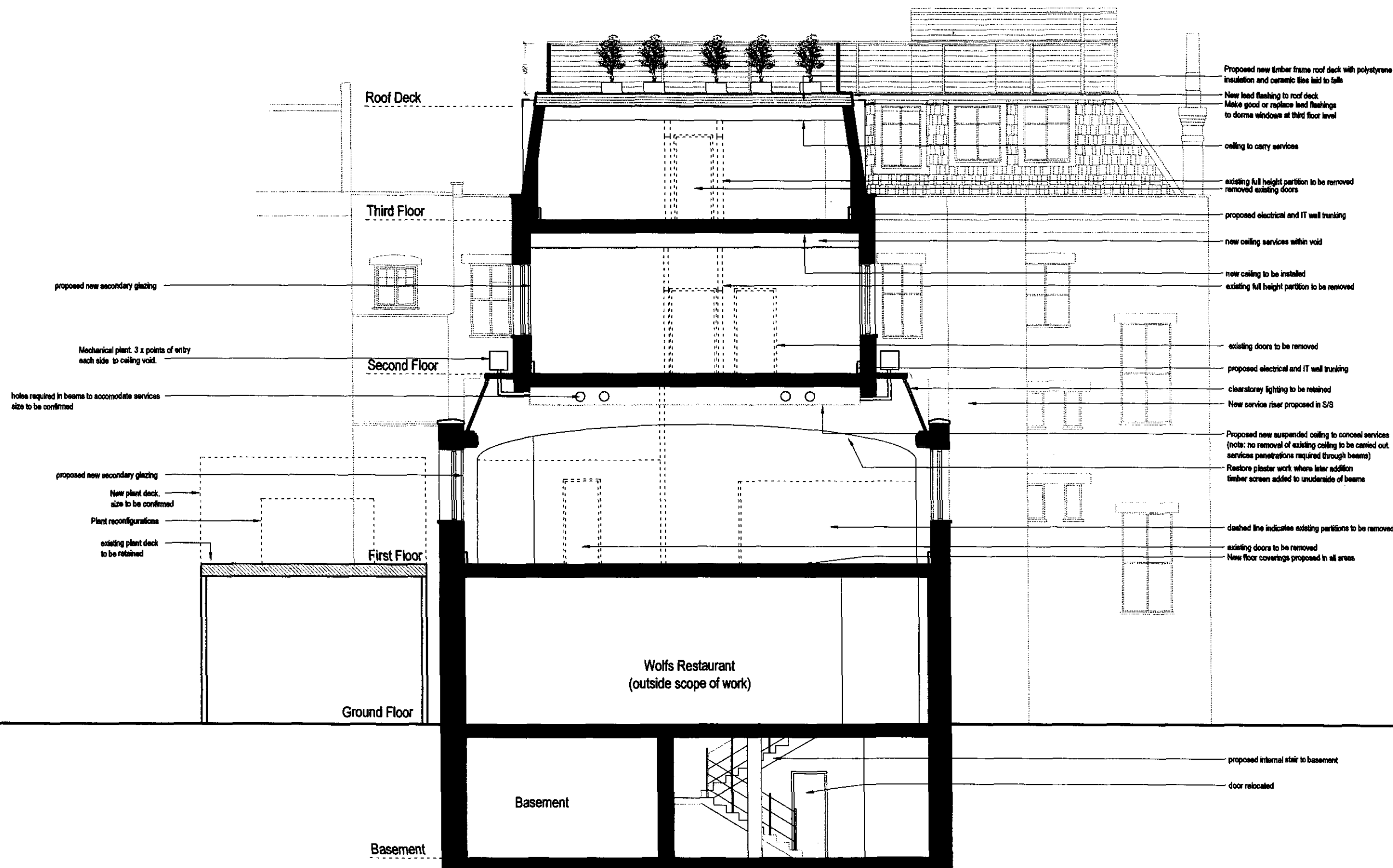
- Design development
- Accurate site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances
- Local authority consents

ref: 01/02/08 description: ISSUED FOR PLANNING

General Notes:

All windows to be retained and refurbished unless noted otherwise.

Where windows can not be refurbished, replace like for like.



PROPOSED SECTION 0727-1202

BRIMELOW Mc SWEENEY ARCHITECTS

26 Great Queen Street, Covent Garden,
London WC2B 5BL
tel: 020 7831 7835 fax: 020 7831 7830
email: admin@bms-architects.co.uk

project:
31 GREAT QUEEN STREET
WC2B 5BL

title:
PROPOSED SECTION 0727-1202

FOR PLANNING

scale	date	drawn
1:100@A3	01/02/08	JB
drawing no	revision	status
0727-1202	A	P

The prices have been calculated in accordance with the RICS/MSA Code of Measuring Practice, 4th Edition, 1983 using the stated options MIA, GIA, GEA. They are approximate and relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:

rev	date	description
A	01/02/08	ISSUED FOR PLANNING

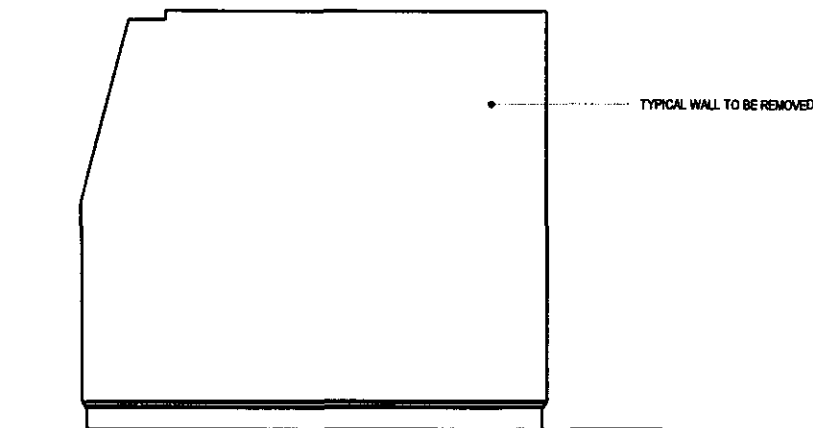
- 1 All radiators on perimeter walls proposed to be removed
2. All perimeter windows to be retained and refurbished. Replace like for like where refurbishment if not possible.
- 3 Internal glazing proposed to selected windows.



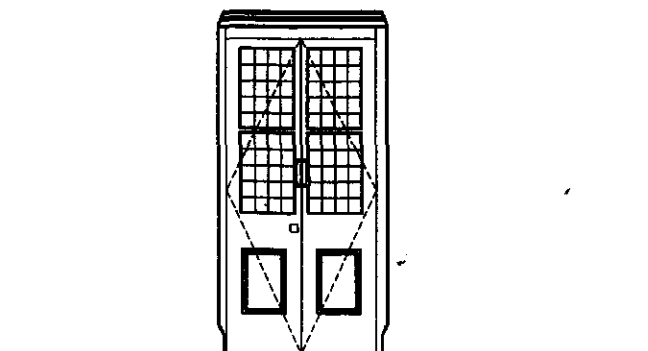
28 Great Queen Street, Covent Garden,
London WC2B 5BL
tel 020 7831 7805 fax 020 7831 7808
email admin@ben-architects.co.uk

PROPOSED SECTION 0727-1203

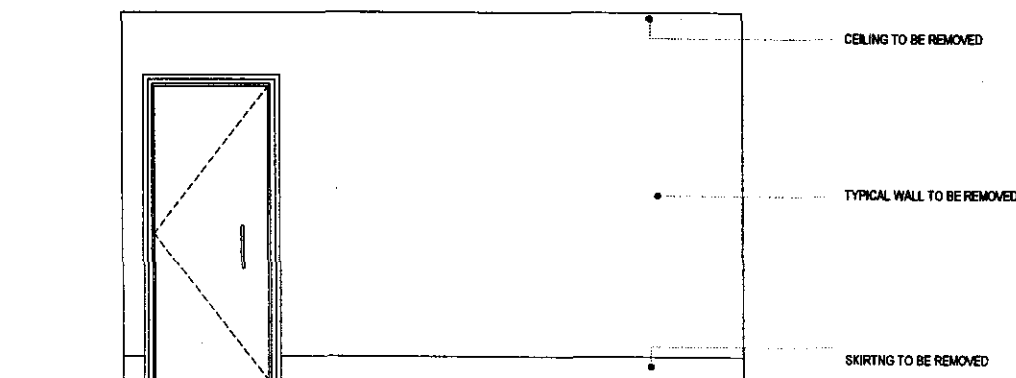
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1:200 @ A3	01/02/08	JB
drawing No	revision	status
0727-1203	A	P



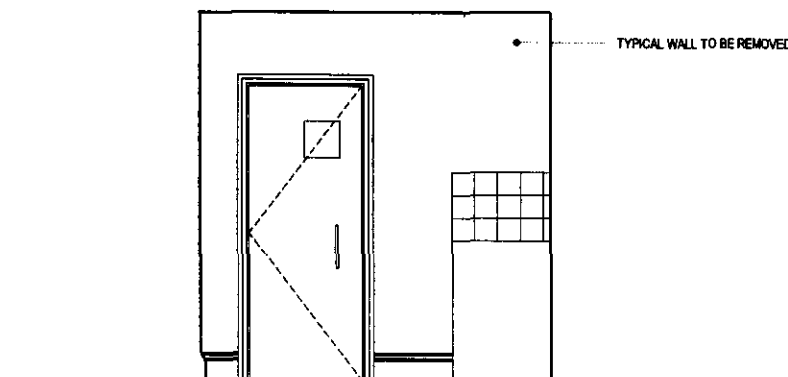
01
0440 ELEVATION 01
TYPICAL WALL FOR REFERENCE : TO BE REMOVED
REF PLAN : ALL SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED



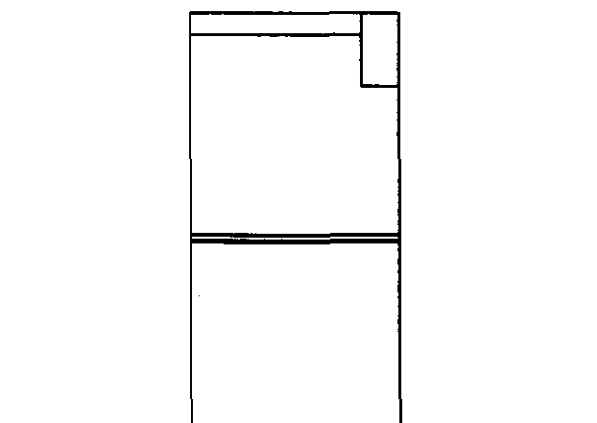
03
0440 ELEVATION 03
DOOR TO BE REMOVED



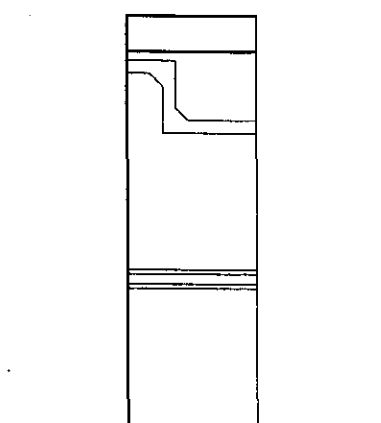
02
0440 ELEVATION 02
TYPICAL WALL FOR REFERENCE : TO BE REMOVED
REF PLAN : ALL SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED



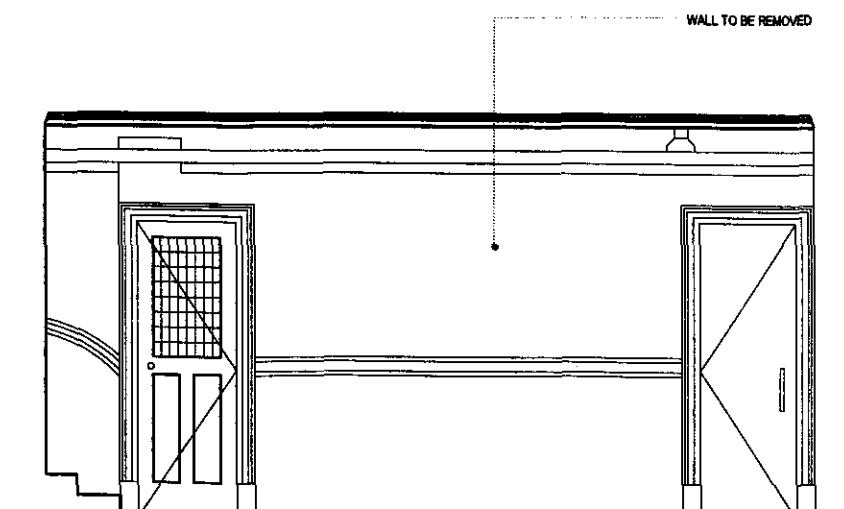
04
0440 ELEVATION 04
WALL TO BE REMOVED



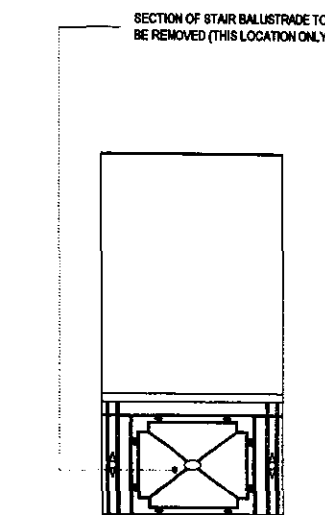
08
0440 ELEVATION 08
WALL TO BE REMOVED



07
0440 ELEVATION 07
WALL TO BE REMOVED



06
0440 ELEVATION 06
WALL TO BE REMOVED



05
0440 ELEVATION 05
WALL TO BE REMOVED

The areas on the drawing have been measured directly from a CAD drawing and have no tolerances added or subtracted

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- Design development
- Accurate site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances
- Local authority constraints

rev date description
A 01/02/08 ISSUED FOR PLANNING

NOTES:

SECOND FLOOR:

GENERALLY,

1. ALL CEILING TO BE REMOVED
2. ALL FLOOR COVERING TO BE REMOVED UNLESS NOTED OTHERWISE.
3. INTERNAL PARTITION WALLS IN OFFICE AREAS TO BE REMOVED AS INDICATED ON PLAN
4. ALL SANITARY FIXTURES PARTITIONS/ SCREENS/ TILING/FITTINGS TO BE REMOVED.

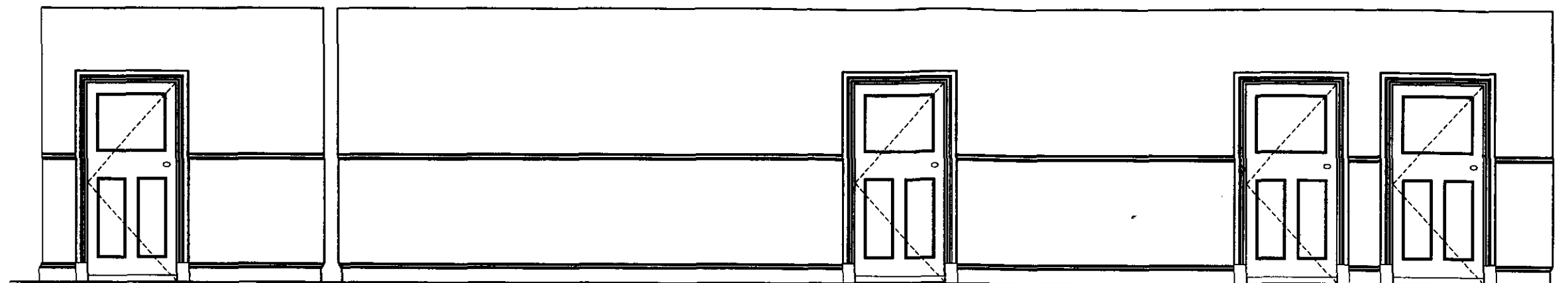
BRIMELOW Mc SWEENEY ARCHITECTS

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London WC2B 5SL
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email: admin@brimelow-architects.co.uk

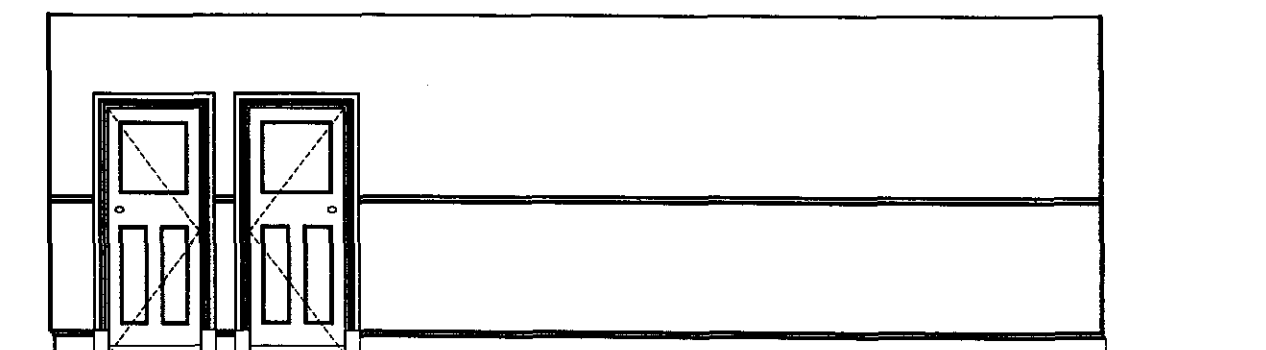
project
31 GREAT QUEEN STREET

title
PROPOSED ALTERATIONS TO INTERNAL
WALL ELEVATIONS : THIRD FLOOR PLAN
FOR PLANNING

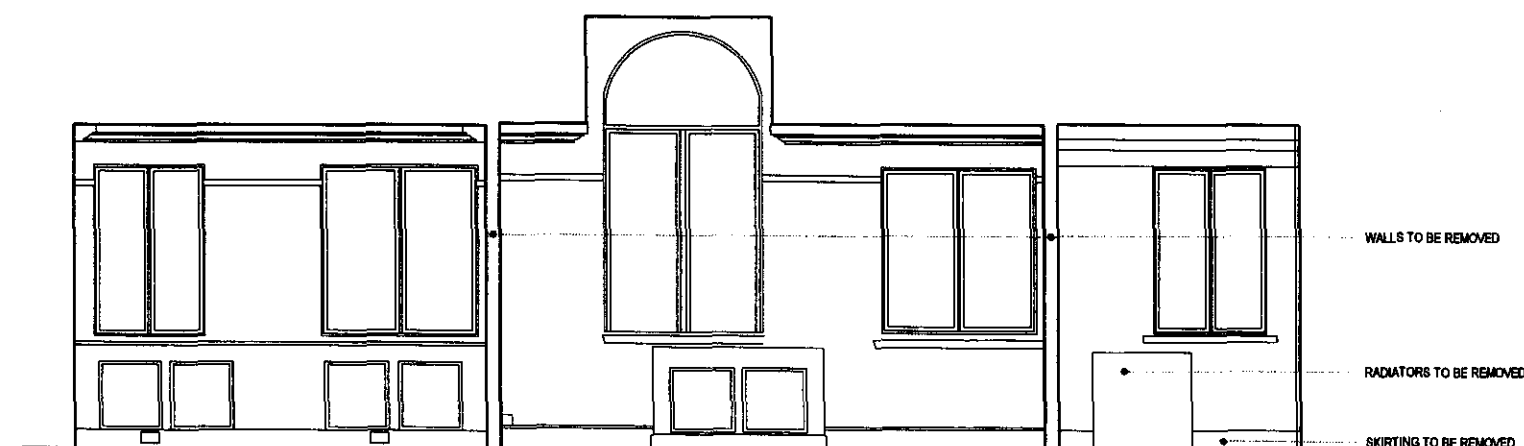
scale 1:50 @A3	date 01/02/08	drawn JB
drawing No 0727-0440	revision A	status P



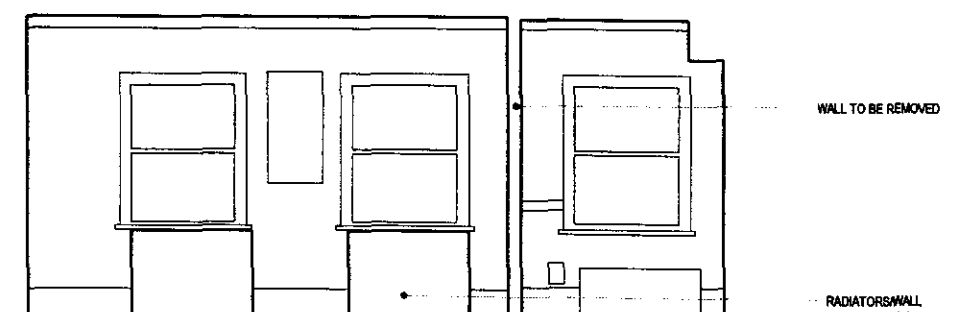
09
0441 **ELEVATION 09**
TYPICAL WALL FOR REFERENCE : TO BE REMOVED
REF PLAN : ALL SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED



10
0441 **ELEVATION 10**
TYPICAL WALL FOR REFERENCE : TO BE REMOVED
REF PLAN : ALL SIMILAR WALLS RUNNING PARALLEL TO BE REMOVED



11
0441 **ELEVATION 11**
WINDOWS FACING GT QUEEN ST



12
0441 **ELEVATION 12**
WINDOWS FACING GT QUEEN ST

The areas on the drawing have been measured directly from a CAD drawing and have no dimensions added or subtracted

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-Allowance for construction methods and building tolerances
-Local authority constraints

Rev date description
A 01/02/08 ISSUED FOR PLANNING

NOTES :

SECOND FLOOR :

GENERALLY,

- 1.ALL CEILING TO BE REMOVED
- 2.ALL FLOOR COVERING TO BE REMOVED UNLESS NOTED OTHERWISE.
- 3.INTERNAL PARTITION WALLS IN OFFICE AREAS TO BE REMOVED AS INDICATED ON PLAN
- 4.ALL SANITARY FIXTURES PARTITIONS/ SCREENS/ TILING/FITTINGS TO BE REMOVED.

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project
31 GREAT QUEEN STREET

site
**PROPOSED ALTERATIONS TO INTERNAL
WALL ELEVATIONS : THIRD FLOOR PLAN
FOR PLANNING**

scale 1:50 @A3	date 01/02/08	drawn JS
drawing No 0727-0441	revision A	status P



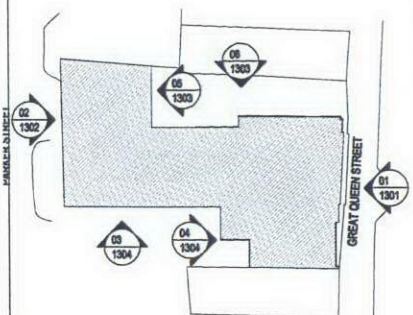
Notes: All windows to be retained and refurbished.
Replace Like for like where window is beyond repair.
Refer to Electrical Engineer Drawings for Proposed External Lighting Design.

The areas on the drawing have been measured directly from a CAD drawing and have no tolerances added or subtracted.

The areas have been calculated in accordance with the RICS/BSA Code of Measuring Practice, 4th Edition, 1985 using the stated options N/A, G/A, U/A. They are approximate and relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pro-bidding, lease agreements and the like, should make allowance for the following:

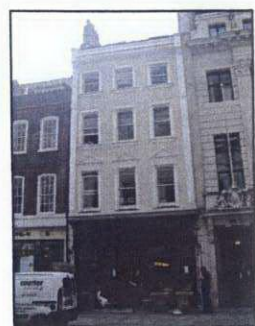
- Design development
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- Allowance for construction methods and building tolerances.
- Local authority consents

rev	date	description
A	01/02/08	ISSUED FOR PLANNING



REFERENCE KEY PLAN FOR ELEVATIONS

PROPOSED GREAT QUEEN STREET ELEVATION 01



Existing Photo's for reference



Existing Photo's for reference

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project
31-32 GREAT QUEEN STREET

title
PROPOSED
GREAT QUEEN STREET ELEVATION
FOR PLANNING

scale	date	drawn
1:100@A3	01/02/08	P/B/T/C
drawing No	revision	status
0727-1301	A	P

Existing Photo's for Reference



Glazed enclosure access to terrace from apartment
Glazed enclosed access to terrace from apartment
New louvered acoustic enclosure to house plant. Height and width to match existing, depth to be confirmed.
Proposed new balustrade
New roof deck at level to match existing. Timber joist with polystyrene insulation and ceramic tiles laid to falls. New lead flashings.
Extend mansard - tile to match existing



No 28

No 26

new entry door panel
refurbish door and glazing above
refurbish existing garage door

PROPOSED PARKER STREET ELEVATION 02



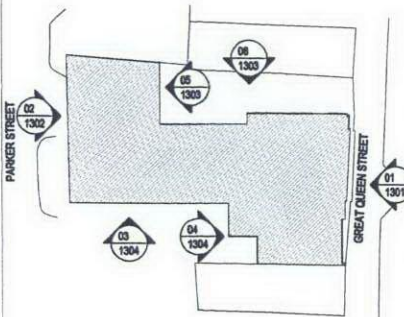
Notes: All windows to be retained and refurbished.
Replace Like for like where window is beyond repair.

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The areas have been calculated in accordance with the RICS/BSA Code of Measuring Practice, 4th Edition, 1993 using the stated options N/A, G/A, G/E. They are approximate and relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-testing, lease agreements and the like, should make allowance for the following:

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rev	date	description
A	01/02/08	ISSUED FOR PLANNING



REFERENCE KEY PLAN FOR ELEVATIONS

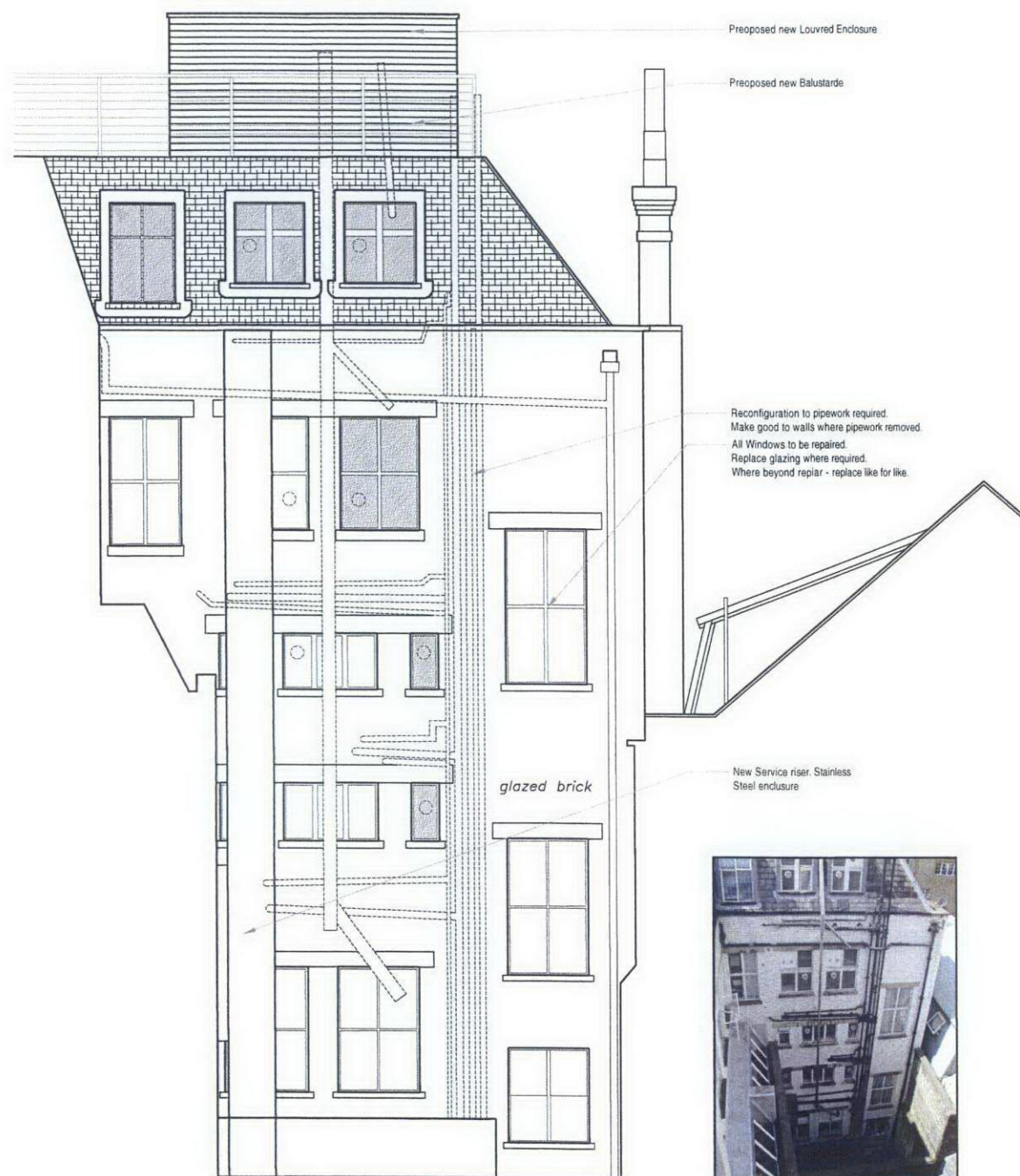
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project
31-32 GREAT QUEEN STREET

title
PROPOSED PARKER STREET ELEVATION
FOR PLANNING.

scale	date	drawn
1:100@A3	01/02/08	P/B/T/C
drawing No	revision	status
0727-1302	A	P



PROPOSED EAST COURTYARD ELEVATION 05



Photo Elevation 05

PROPOSED
GREAT QUEEN STREET ELEVATION



PROPOSED EAST COURTYARD ELEVATION 06



Photo Elevation 06

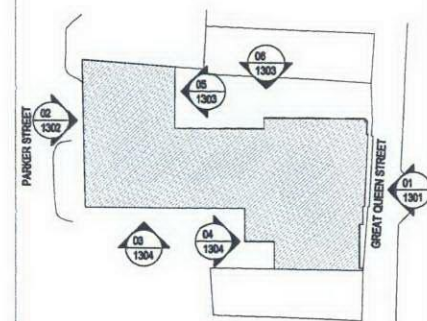
Notes: All windows to be retained and refurbished.
Replace Like for like where window is beyond repair.
Refer to Electrical Engineer Drawings for Proposed External Lighting Design.
Gt Queen St Facade Only.

The areas on the drawing have been measured directly from a CAD drawing and have no tolerance added or subtracted.

The areas have been calculated in accordance with the RICS/BSA Code of Measuring Practice, 4th Edition, 1983 using the stated options NA, GA, GEA. They are approximate and relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-bidding, lease agreements and the like, should make allowance for the following:

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-Local authority consents

rev	date	description
A	01/02/08	ISSUED FOR PLANNING



REFERENCE KEY PLAN FOR ELEVATIONS

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31-32 GREAT QUEEN STREET

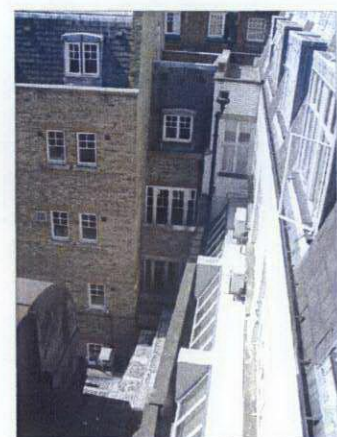
title
PROPOSED EAST COURTYARD ELEVATIONS
FOR PLANNING

scale	date	drawn
1:100@A3	01/02/08	P/B/T/C

drawing No	revision	status
0727-1303	A	P



PROPOSED WEST COURTYARD ELEVATION 03



Photos Elevation 03



Photos Elevation 04



Proposed new roof balustrade

Proposed new roof surface.
New Lead Flashings to perimeter.
Repair lead flashings to third floor
dormer windows as required.

Notes: All windows to be retained and refurbished.
Replace Like for like where window is beyond repair.

Refer to Electrical Engineer Drawings for Proposed External Lighting Design.
G1 Queen St Facade only

Proposed new Mechanical
plant to sit on existing
roof deck

Existing AHU units to be removed.
Proposed new air intake units.
Size to be confirmed.

Existing Riser to
be removed.

Existing Riser to
be removed.

Proposed new painted steel fire
escape stair. Design
subject to fire strategy

Condensor unit to
sit on new plant
deck in foreground

New Proposed plant deck
at level 2.
Steel frame, apen grill deck

Plant to be
reconfigured.

Existing Plant
Deck at First Floor level
retained.

brick

New door
opening

New door
opening

New door
opening

Infill opening as
required to match
existing

Stair to be removed

New door
opening

Area not Surveyed below plant deck

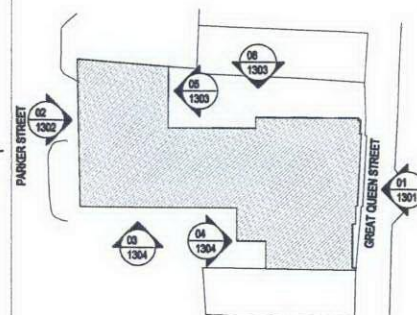
PROPOSED WEST COURTYARD ELEVATION 04

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rev date description
A 01/02/08 ISSUED FOR PLANNING



REFERENCE KEY PLAN FOR ELEVATIONS

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project
31-32 GREAT QUEEN STREET

title
PROPOSED WEST COURTYARD ELEVATIONS
FOR PLANNING

scale date drawn
1:100@A3 01/02/08 P/B/T/C

drawing no revision status
0727-1304 A P