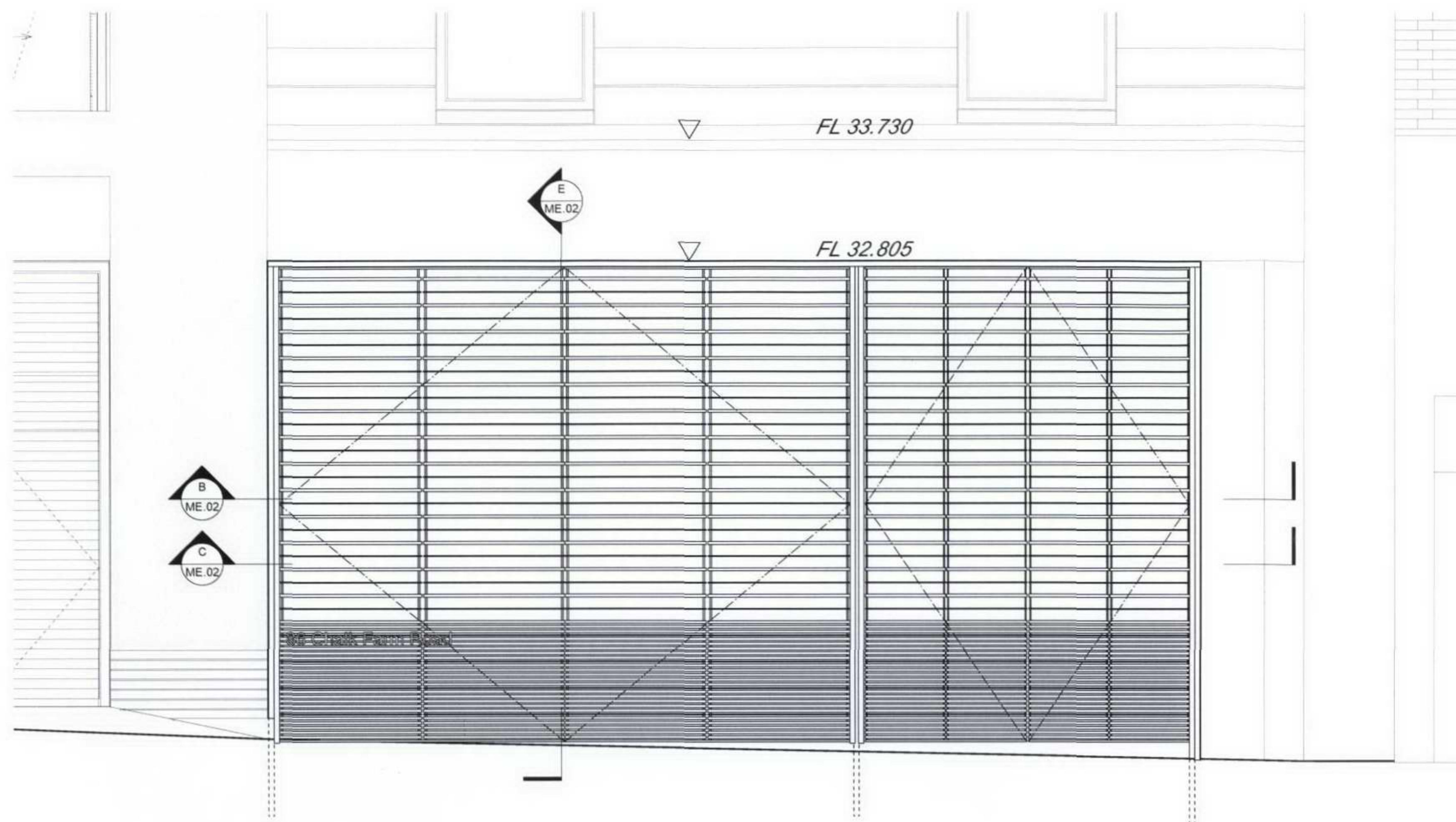
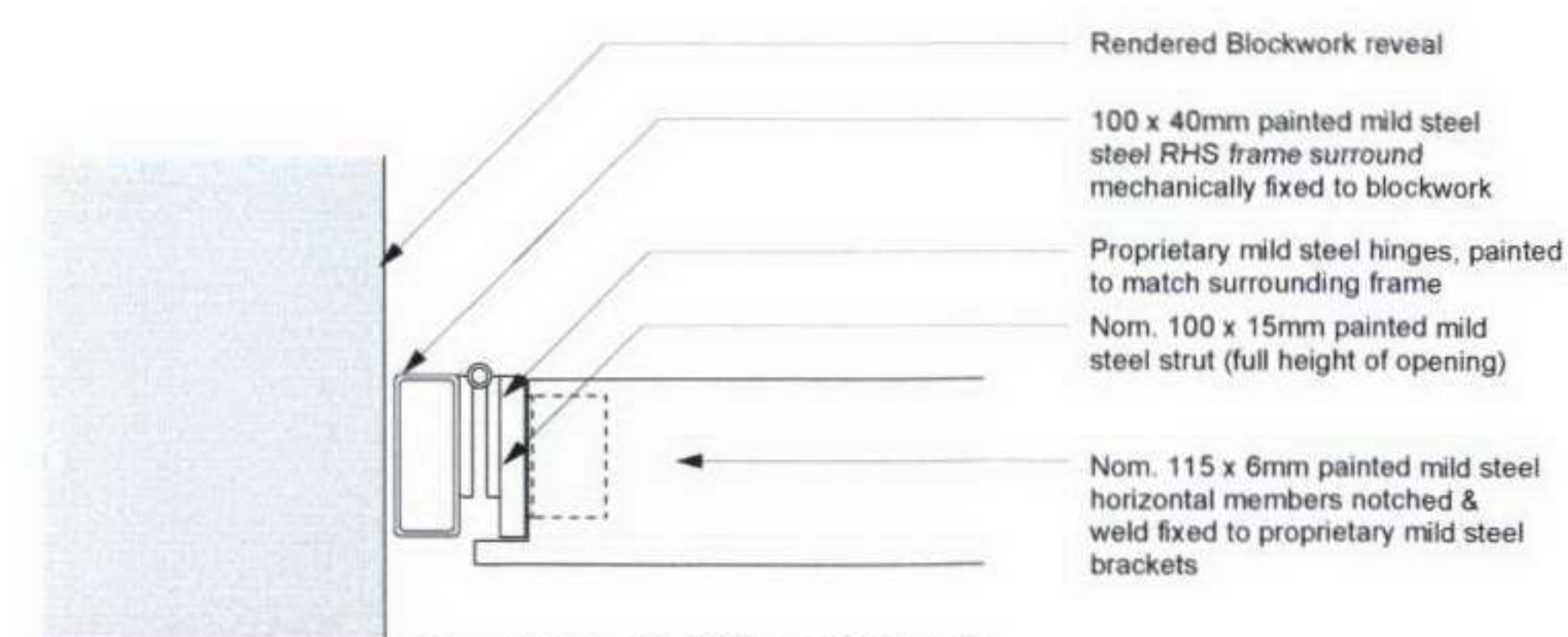




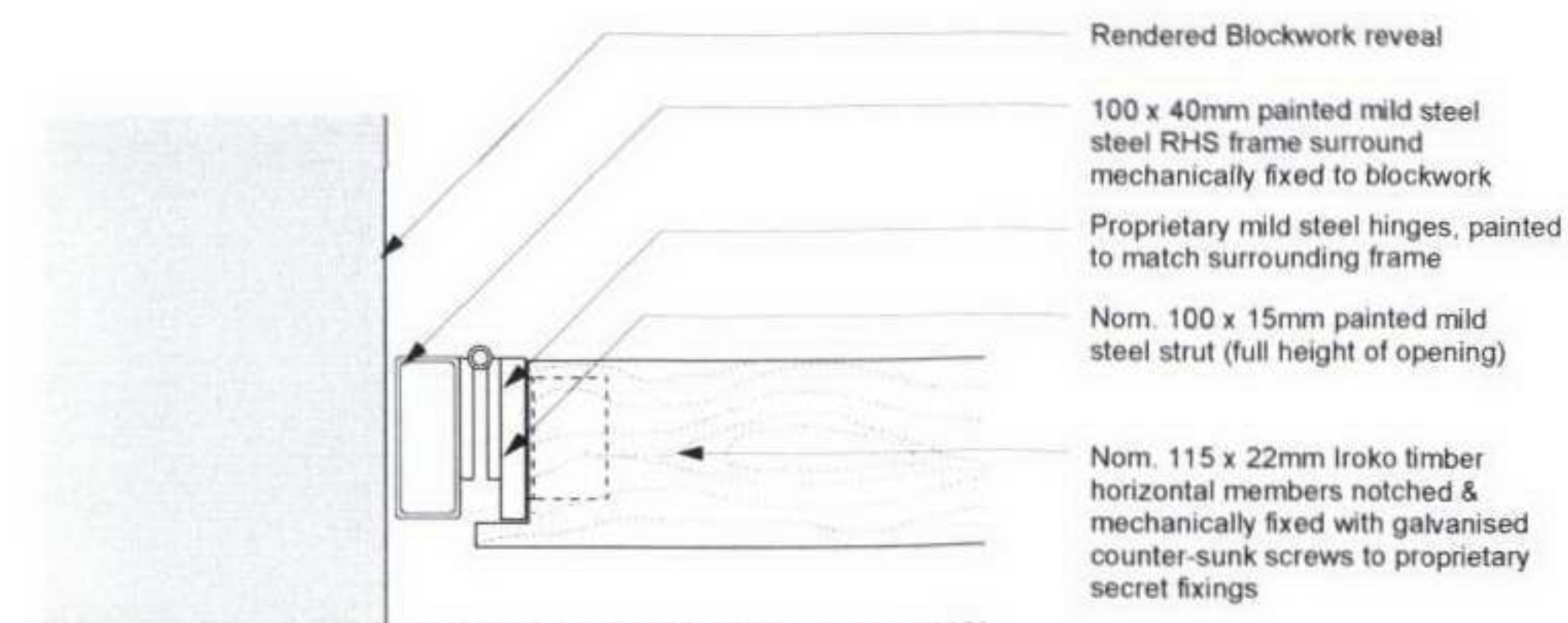
A Typical Main Entrance - Elevation
Scale A1 - 1:25, A3 - 1:50



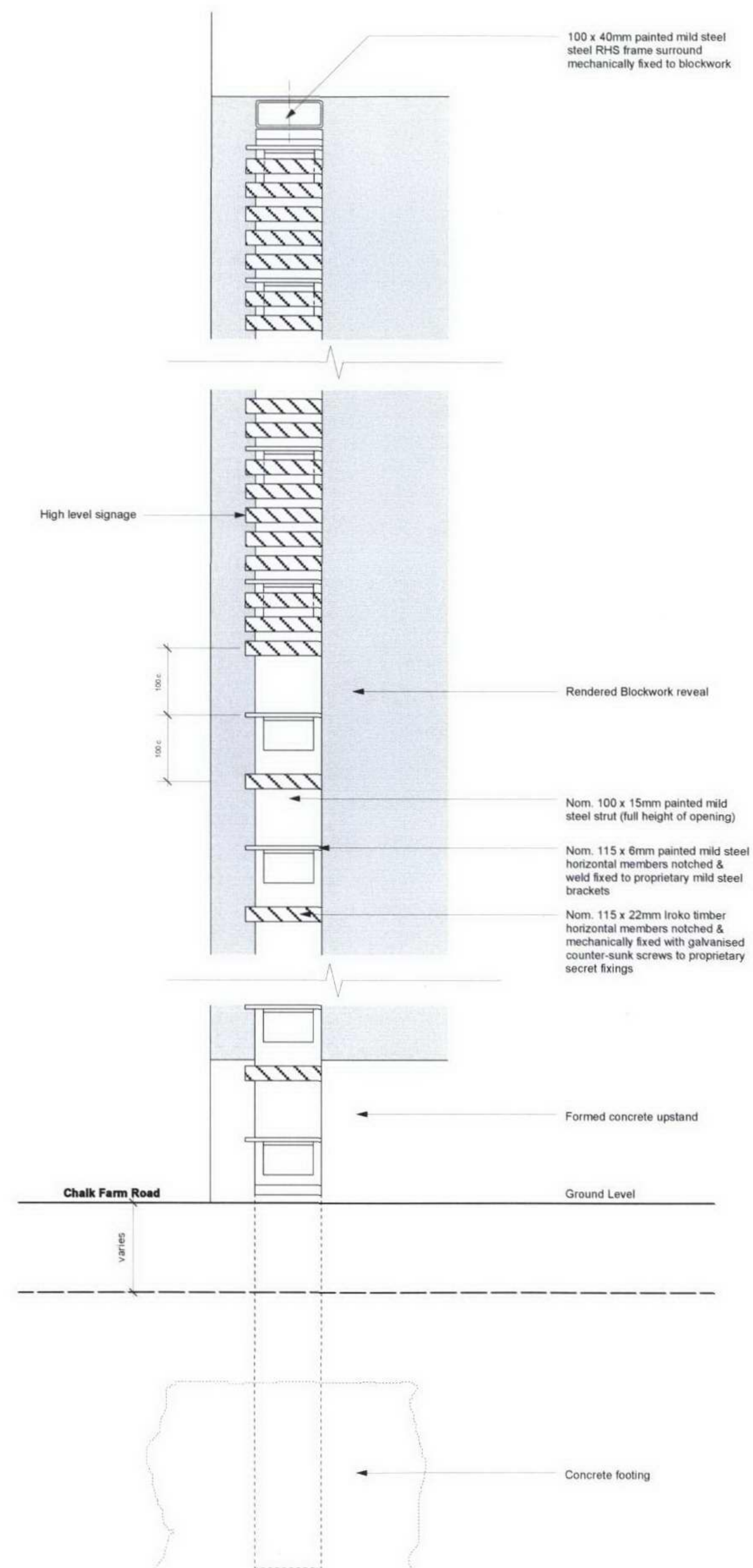
B Precedent Image of Entrance Gate
ME 02 NTS



C Main Entrance Gate - Typical Detail
ME 02 Scale A1 - 1:5, A3 - 1:10



D Main Entrance Gate - Typical Detail
ME 02 Scale A1 - 1:5, A3 - 1:10



E Main Entrance Gate - Typical Section
ME 02 Scale A1 - 1:5, A3 - 1:10

All setting out must be checked on site.
All levels must be checked on site and refer to:
Ordnance Datum level unless alternative Datum given.
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This drawing must not be used for land transfer purposes.
This drawing must not be used on site unless issued for construction.

Notes

Fenestration as indicated to be used for gated entry to mews houses at rear of complex

- 06.02.08 Issued to Camden Development Control
- 10.12.07 Issued for information
- 07.08.07 Issued to Camden Development Control

Revisions

hd
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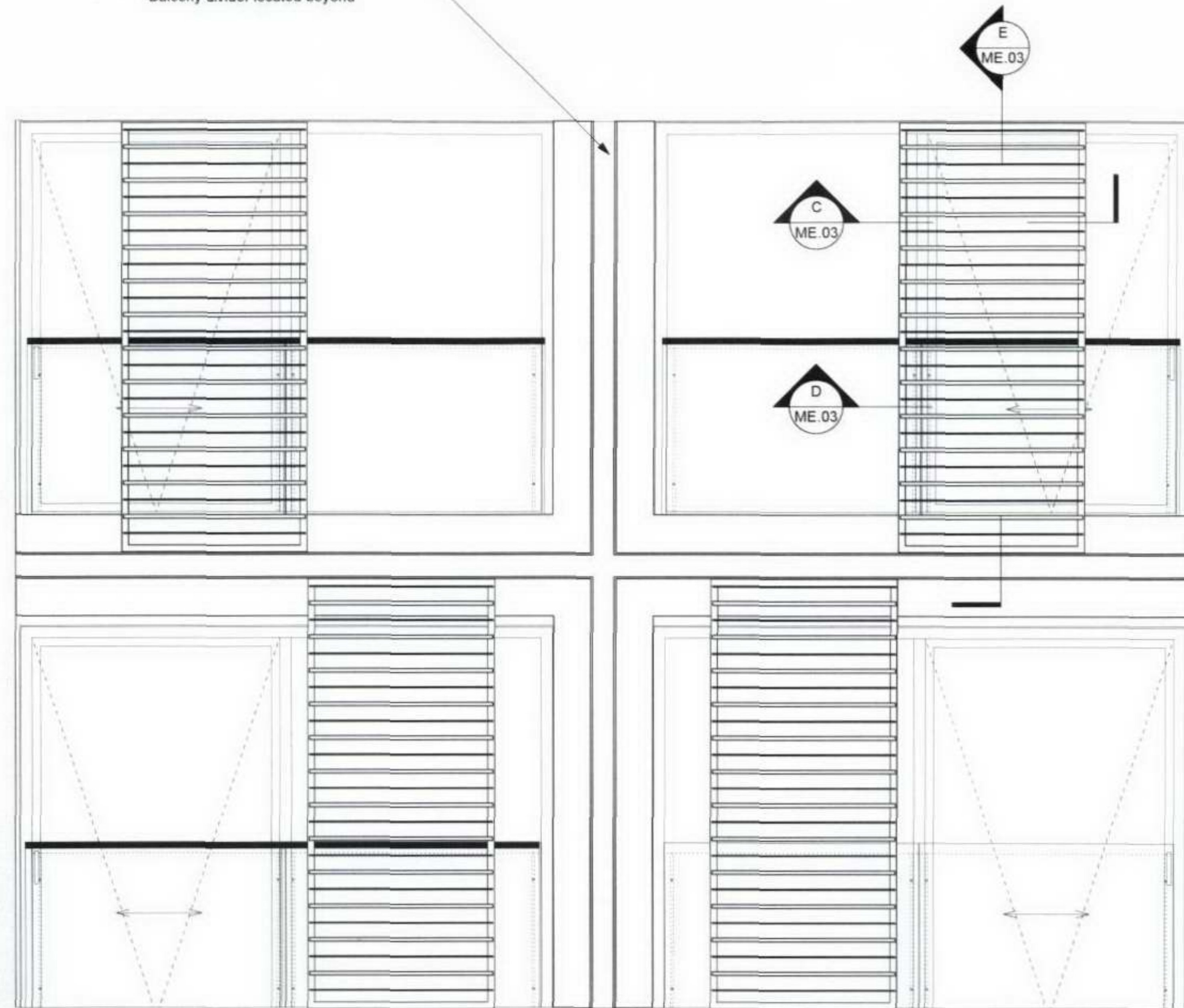
Client London and Regional
Project 86 Chalk Farm Road
London NW1 8AR

Drawing title Special Areas
Main Entrance Gate

Scale A1 - 1:25, A3 - 1:50 Draw No 417_ME_02
Date July 2007
Status ☒ Information ☐ Tender ☐ Construction ☐ Record

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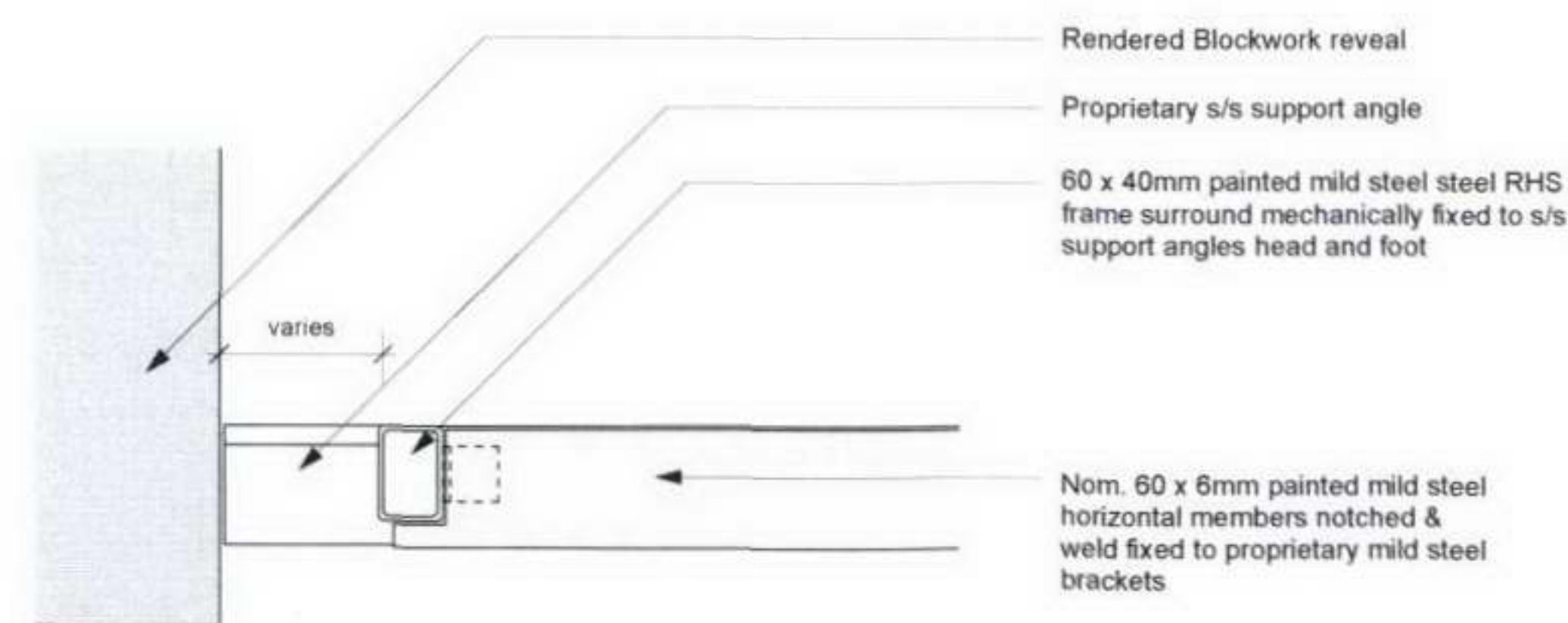
Mild Steel Single Unit Plate (H&V) with welded fillets
Balcony divider located beyond



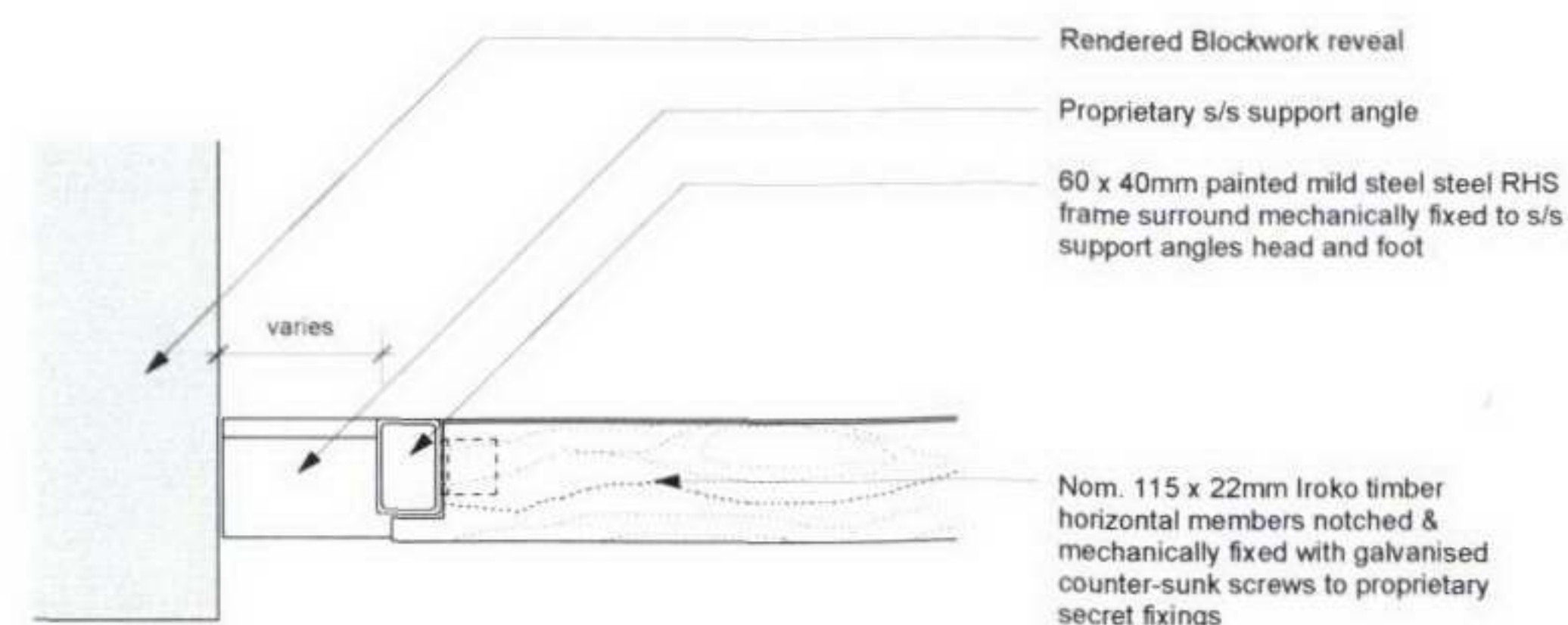
A Typical Front Elevation - Window Louvres
ME 03 Scale A1 - 1:25, A3 - 1:50



B Precedent Image - Window Louvres
ME 03 NTS

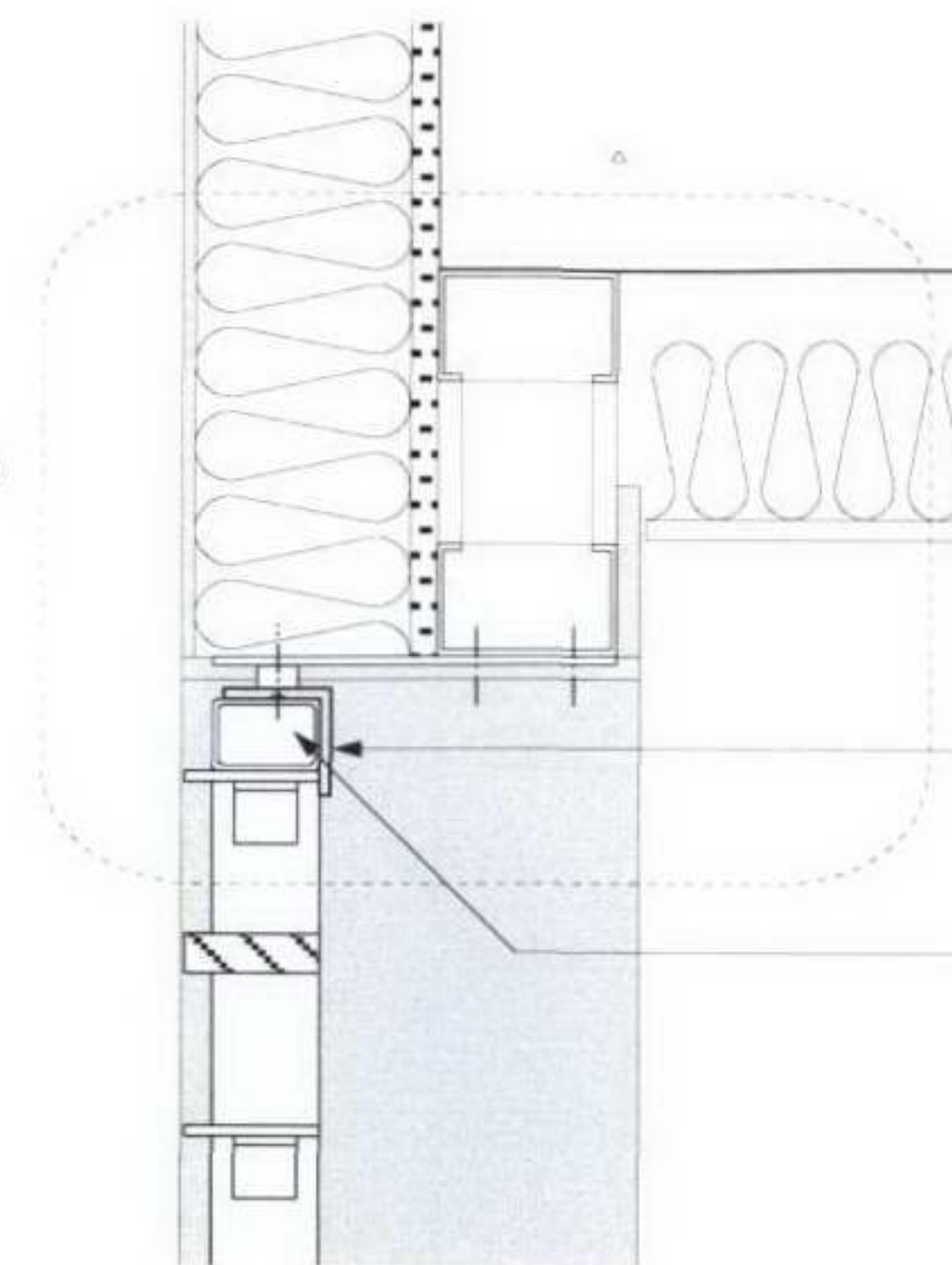


C Window Louvres - Typical Detail
ME 03 Scale A1 - 1:5, A3 - 1:10



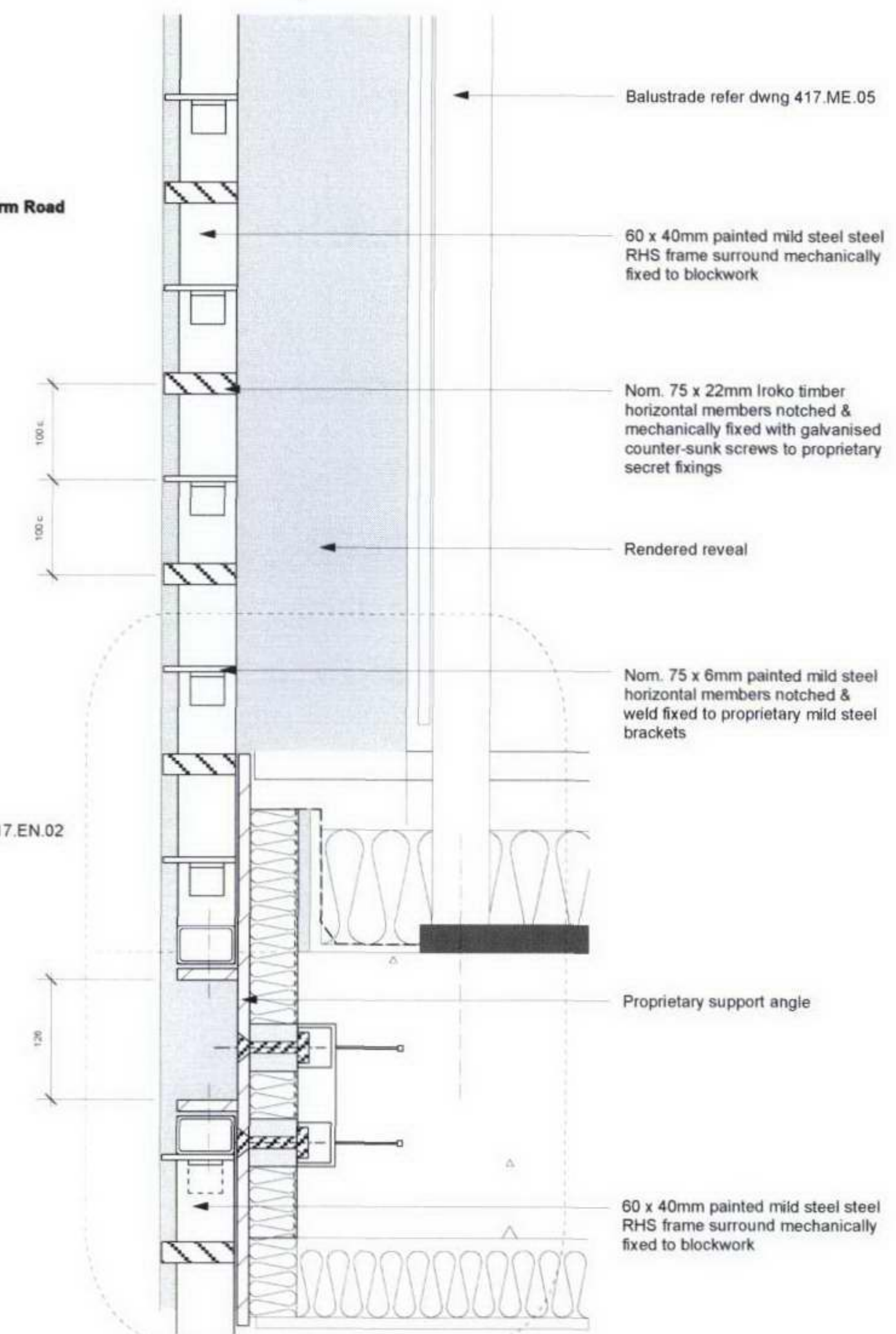
D Window Louvres - Typical Detail
ME 03 Scale A1 - 1:5, A3 - 1:10

Refx 417.EN.03



Chalk Farm Road

Refer dwng 417.EN.02



E Window Louvres - Typical Section
ME 03 Scale A1 - 1:5, A3 - 1:10

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Notes

A 06.02.08 Issued to Camden Development Control
A 10.12.07 Issued for Construction
modified connection detail
Issued for pricing

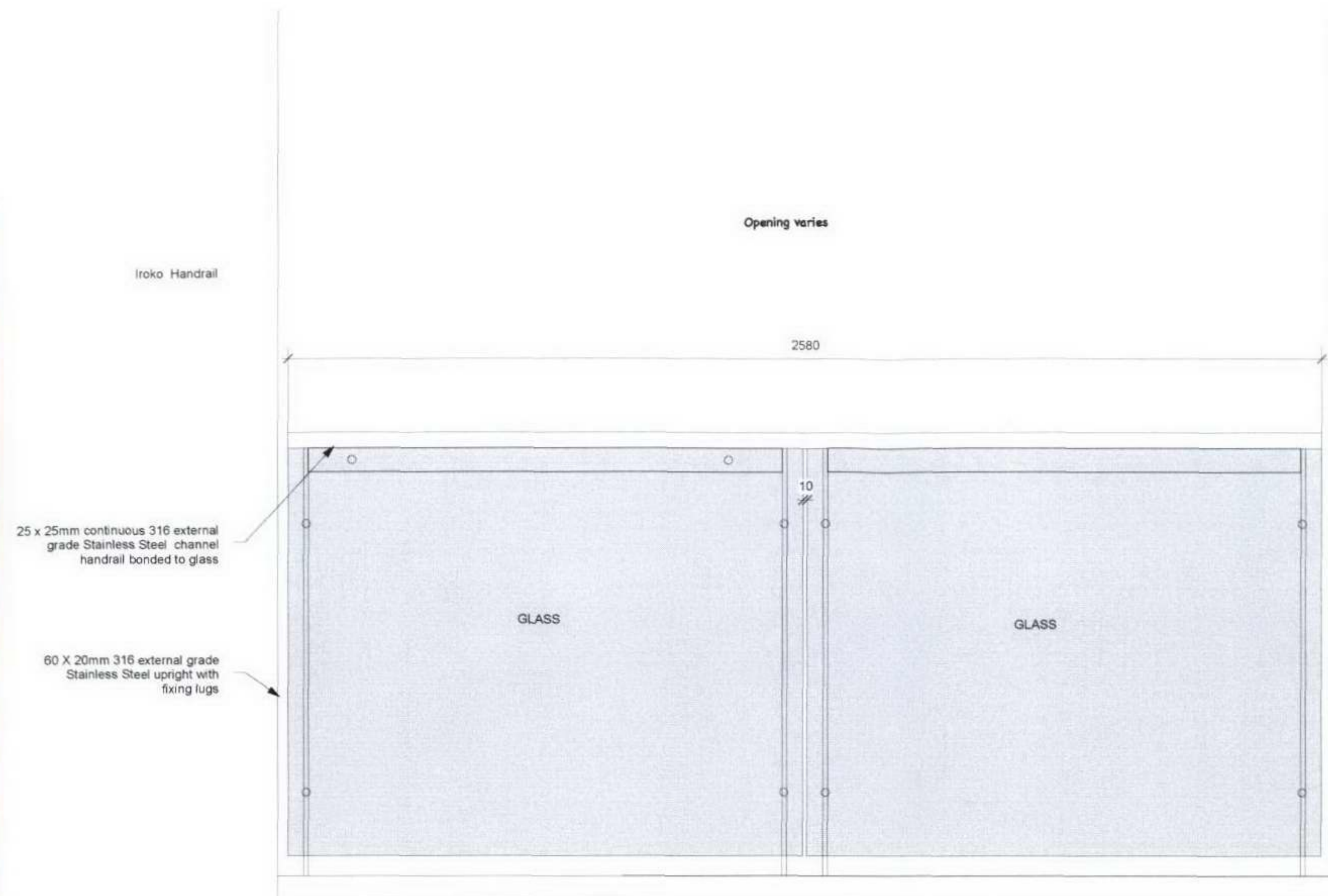
Revisions

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Client London and Regional
Project 86 Chalk Farm Road
London NW1 8AR
Drawing title Special Areas
Louvres - Front Elevation

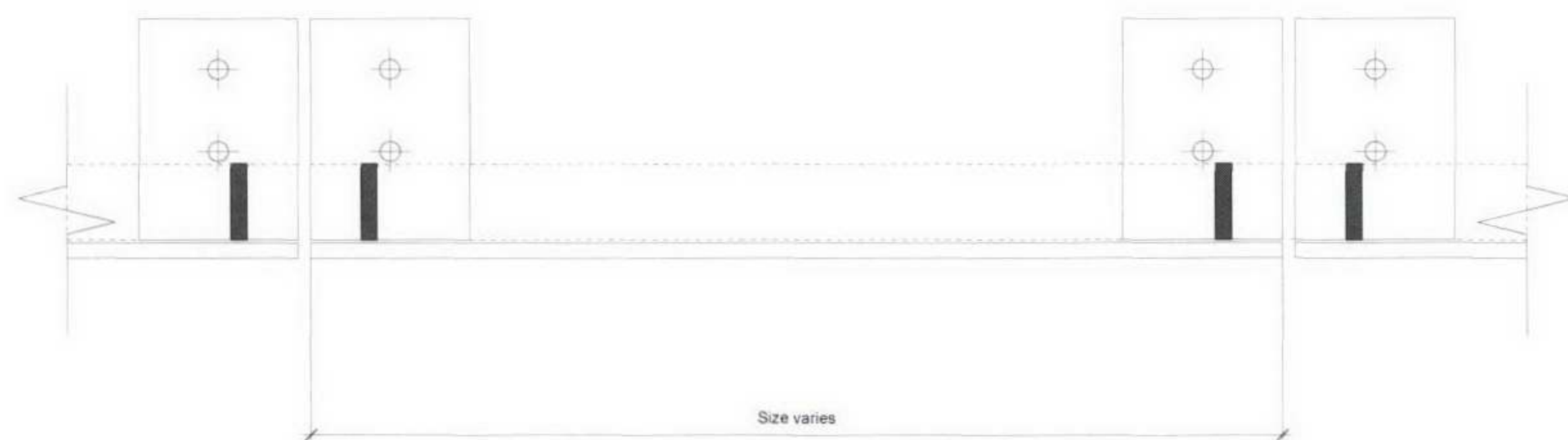
Scale A1 - 1:25, A3 - 1:50 Dwg No. 417_ME_03
Date July 2007
Status Information ☐ Tender ☐ Construction ☐ Record

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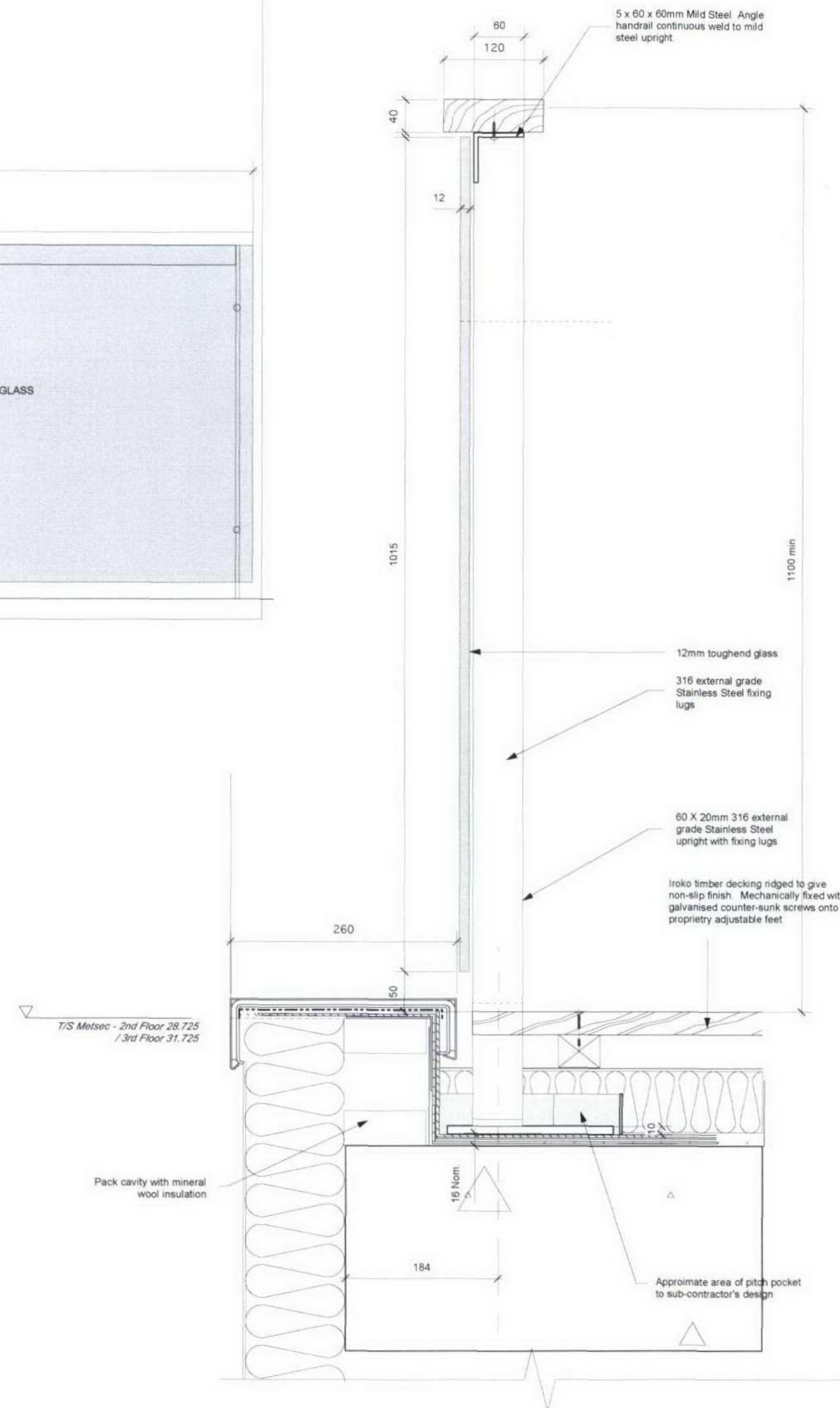


A
ME.05
1:10
Typ. Balustrade Elevation

D
ME.05
NTS
Precedent Image of Balustrade



C
ME.05
1:5
Plan Set Out



B
ME.05
1:5
Typical Handrail Detail

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A 05.02.08 issued to Planning
A 10.12.07 issued for Information
• 07.08.07 issued to Planning
• 16.07.07 issued for pricing

Revisions

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Client London and Regional Properties
Project 316 Essex Road, Islington, London, N1

Drawing title Typical Handrail Details

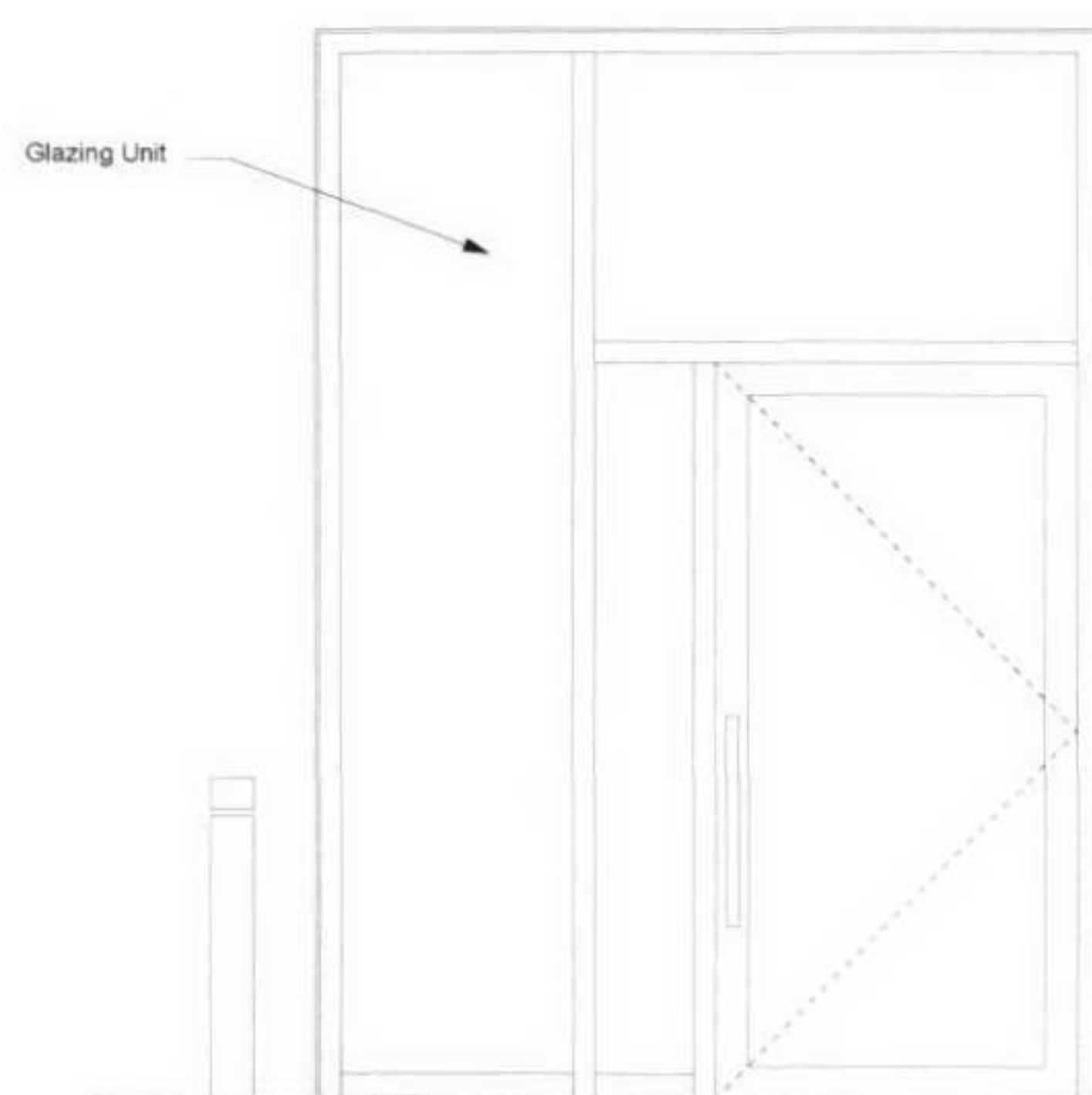
Scale A1 - 1:50, A3-1:100 Dwg. No. Rev.
Date July 2007 **417.ME.05**
Status ☒ Information ☐ Tender ☐ Construction ☐ Record
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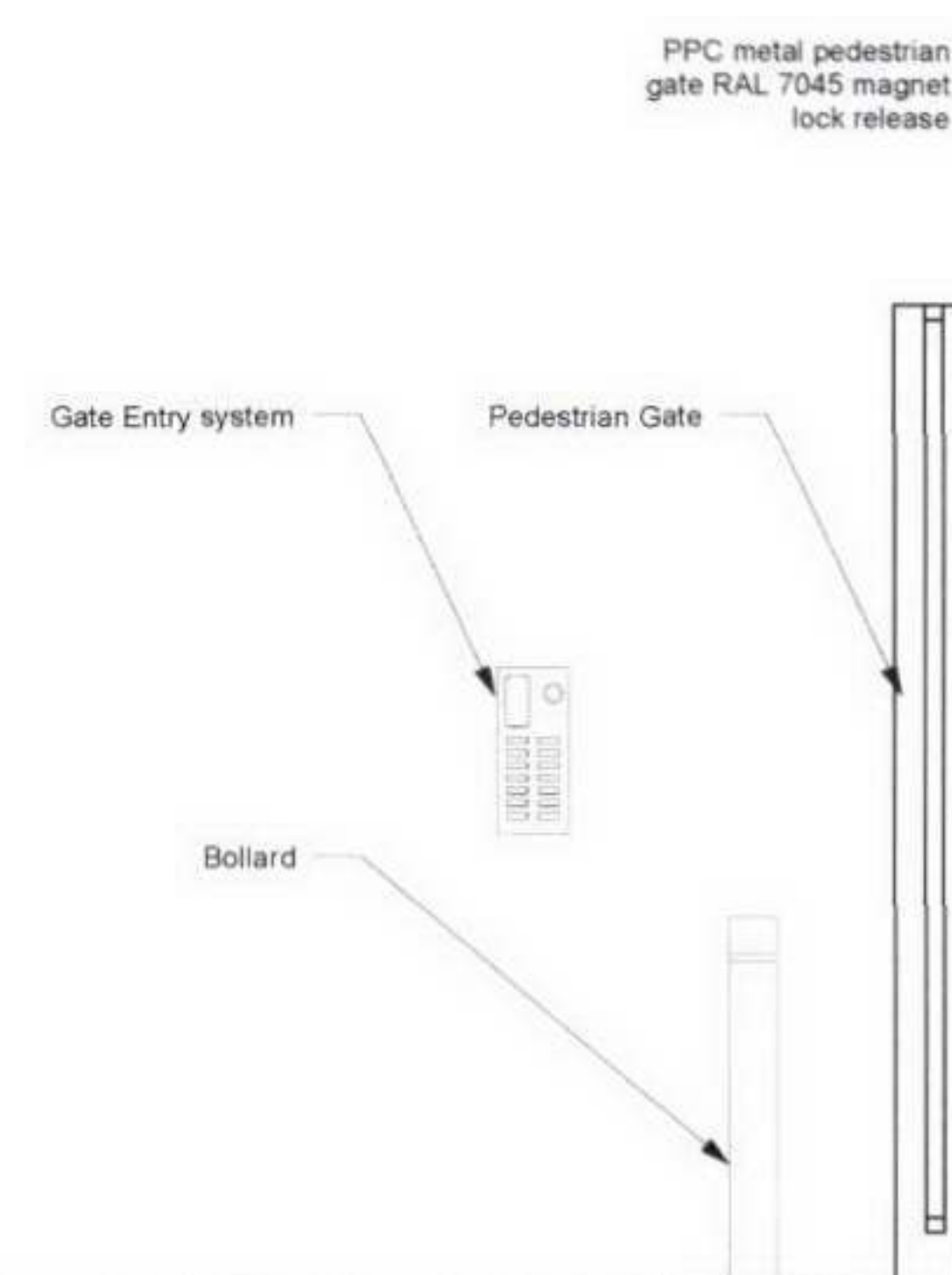
A Perspective view of open gates
NTS



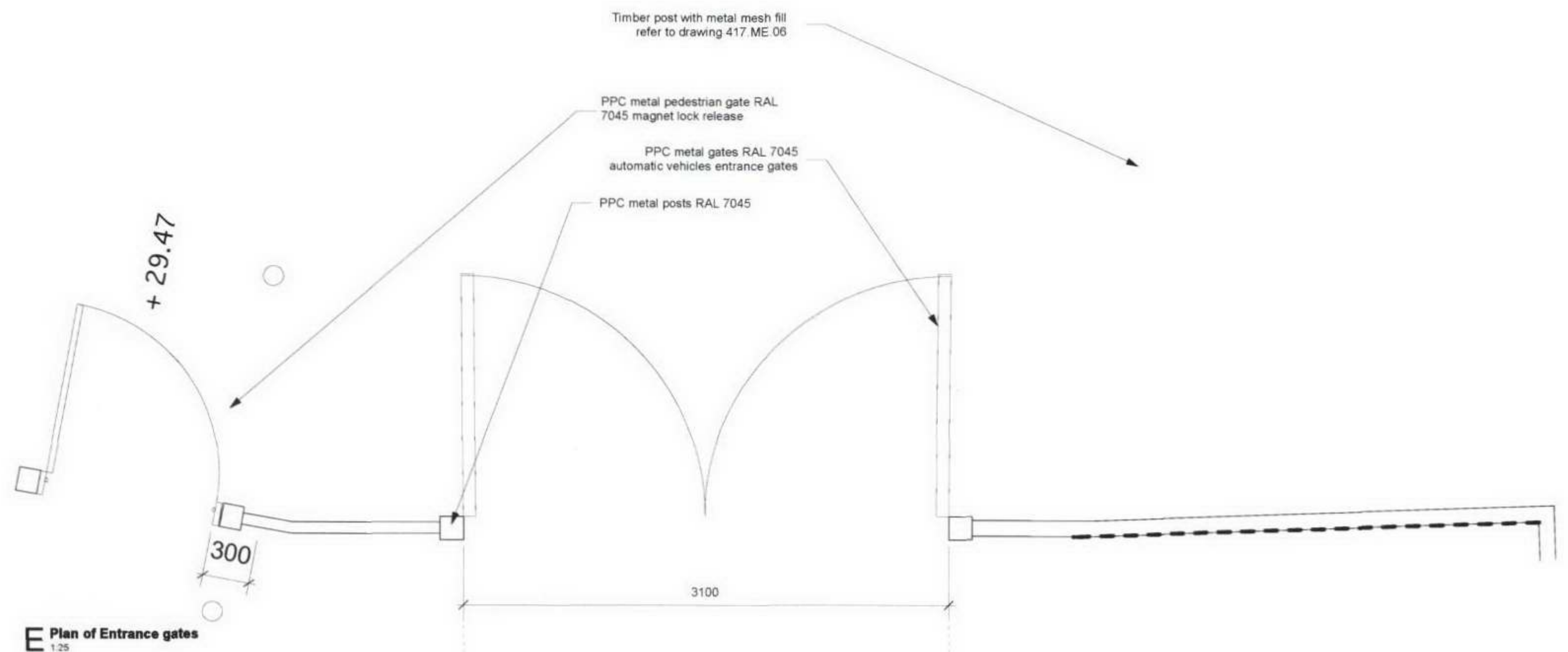
B Perspective view of closed gates
NTS



C Elevation of Apartment Entrance
1:25



D Elevation of Entrance gates
1:25



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Notes

+ 29.67

A Issued for Planning conditions 06/02/2008
/ Issued for Planning conditions 17/08/2007

Revisions

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Client London & Regional

Project 81-86 Chalk Farm Road

Drawing title Rear Entrance Gates

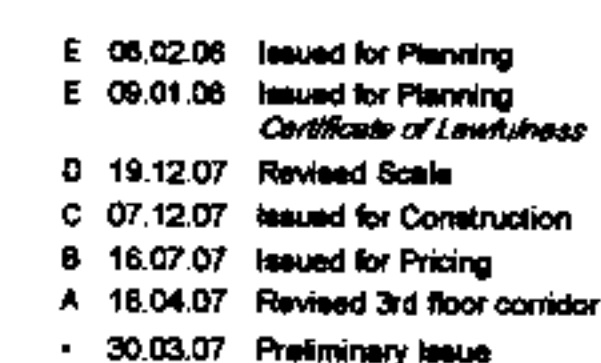
Scale A1 - 1:25, A3-1:50 Draw No

Date Day Month Year **417.ME.07** **A**

Status ☐ Information ☐ Tender ☐ Construction ☐ Record

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Note



h

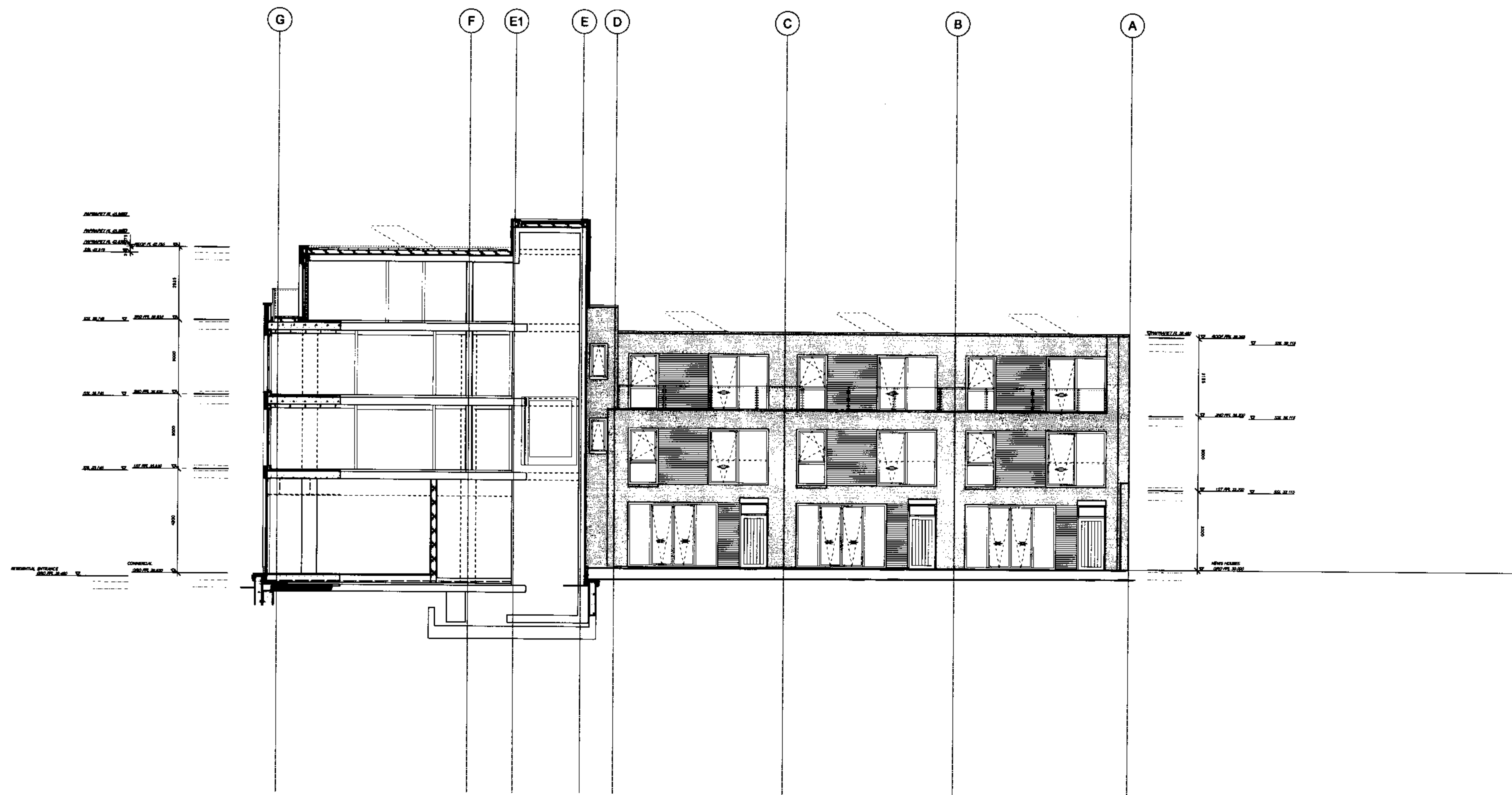
Drawing title General Elevation
Rear Elevation

R

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Notes



- F 06.02.06 issued for Planning
- E 06.01.06 issued for Planning
- D 19.12.07 Revised Scale
- C 07.12.07 issued for Construction
- B 13.11.07 Revised parapet detail
- A 16.07.07 issued for Pricing
- 30.03.07 Preliminary Issue

Revisions

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London NW1 5AR

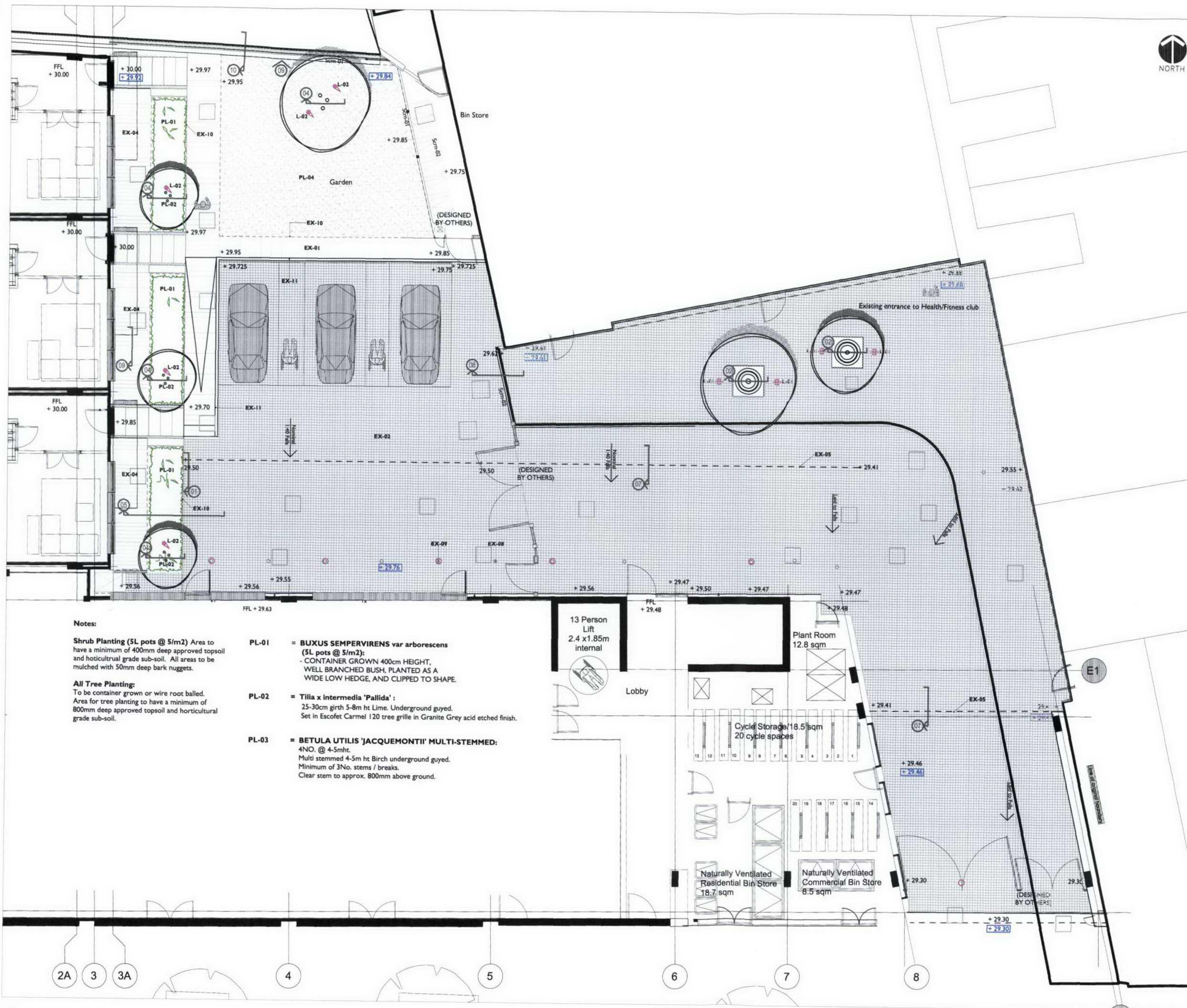
Drawing title General Section
Section 4

Scale A1 - 1:100 Draw. No. 417_GS_103 Rev

Date March 2007

Status ☒ Information ☐ Tender ☐ Construction ☐ Record

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- MATERIALS KEY:**
- Light Grey Granite Paviers (EX-01) 300 x 600mm (60mm thick) Flame textured finish, sawn edges, laid in staggered rows.
 - Light Grey Granite Setts (EX-02) 100 x 100 x 100mm sawn with fine picked surface
 - Coarse Buff Gravel (EX-03) 3-7mm size; river washed gravel, 300mm wide x 400mm deep adjacent to boundary wall.
 - Timber decking (EX-04) FSC Hardwood timber decking (150mm width x 25mm thick), ridged boards.
 - Drainage Channel (EX-05) Proprietary slot drain with internal falls to suit
 - Timber fence (EX-06) 2.5m ht timber screen fence. Horizontal FSC hardwood timber batons (50mm depth x 25mm width x 1.8m length) secured to pre-slotted, 5mm thick, galvanised 'T' section posts (@ 1.8m nominal centres) to screen existing boundary walls. Batons to finish 150mm above finish ground level and to be secured to posts with 25mm spacing between batons
 - Timber Screen Backed with Metal fence (EX-07) 2.5m ht screen fence (as EX-06) with galvanised 3.58 mesh secured to rear side.
 - Stainless Steel Bollard (EX-08) Im high bollard, brushed finish, Broxap (or similar approved)
 - Stainless Steel Illuminated Bollard (EX-09) Im high illuminated bollard, brushed finish, horizontal light band, Broxap (or similar approved)
 - Metal Edging to Planting & Lawns (EX-10) 70mm high, black painted edging.
 - Raised Pin kerb (EX-11) Marshall's silver grey conservation kerb (or similar approved).
 - Recessed Manhole Cover (EX-12) Recessed Manhole cover to take surface finishes. Jones of Oswestry or similar approved.
 - Uplighters (L-01) Laid flush with surrounding surfaces
 - Uplighters for Trees / Planting (L-02) Mounted to spike fitting to allow positioning among planting.
 - Shrub Planting (PL-01) Low level wide, evergreen hedge c.500mm ht
 - Tilia x intermedia 'Pallida' (PL-02) 25-30cm girth 5-8m ht Lime in Escofet Carmel 120 tree grille in Granite Grey acid etched finish. Underground guyed.
 - Betula jacquemontii (PL-03) Multi stemmed 4-5m ht Birch underground guyed. Minimum of 3No. stems / breaks. Clear stem to approx. 800mm above ground.
 - Lawn (PL-04) Turf laid with metal edging.
- + 29.55 Proposed Level
+ 29.55 Existing Level
- Landscaping Sections
For all sections please refer to drawing 3774.01.110 for further information

Rev C: 07.11.07 Levels updated, gas meters and gate layout revised
Rev B: 27.07.07 Lighting detail added

Revisions

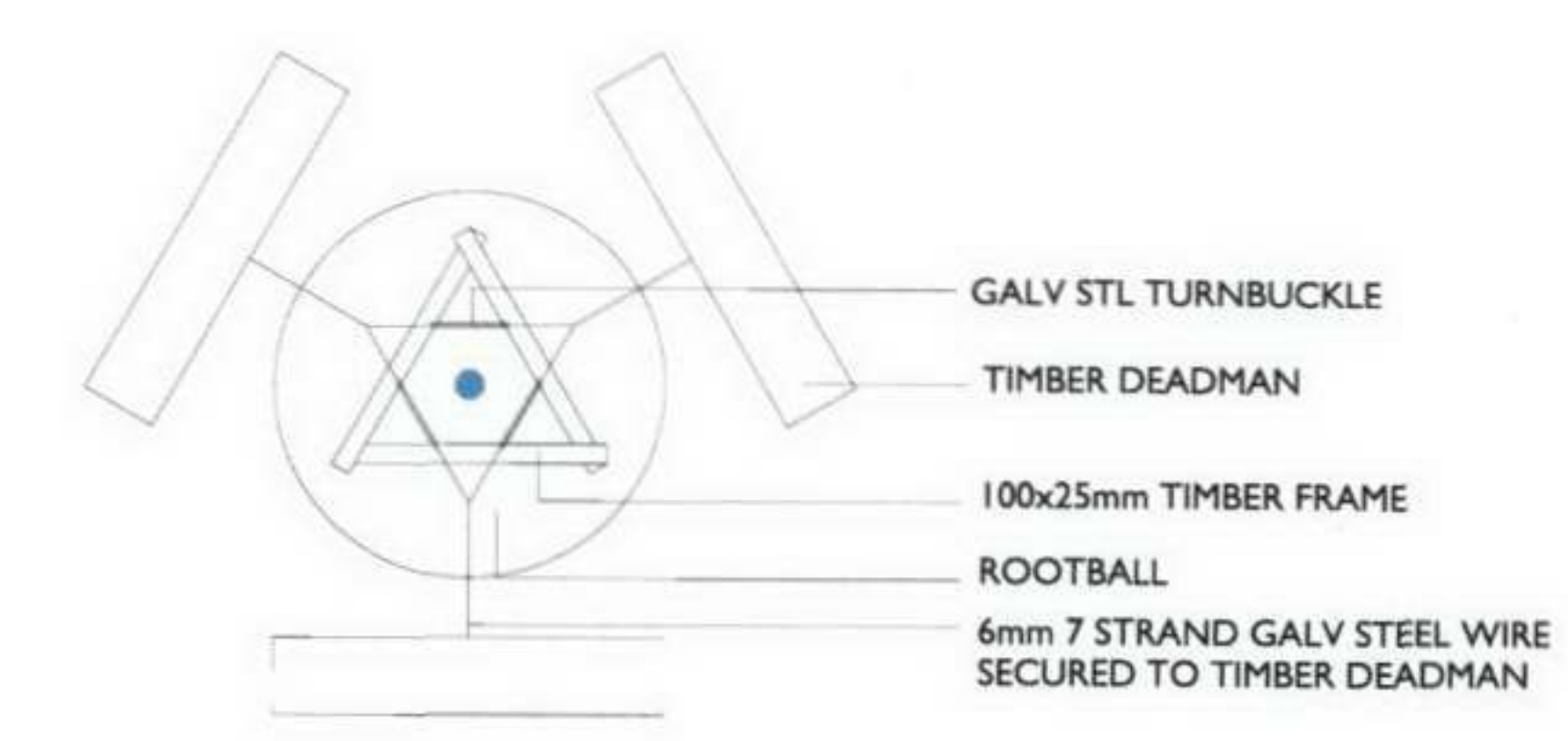
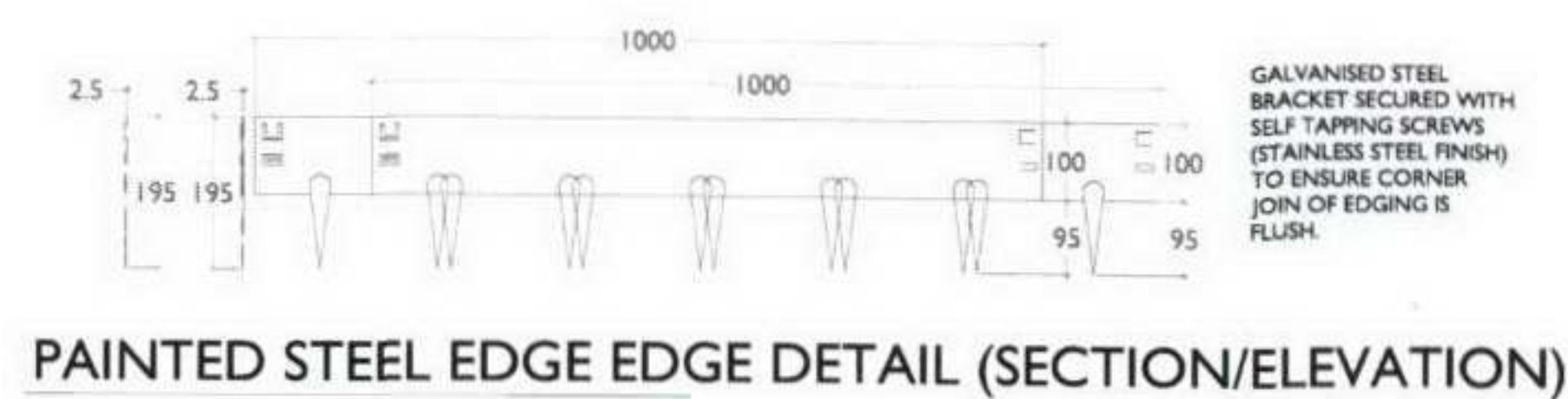
LAND USE CONSULTANTS
43 Chalton Street
LONDON NW1 1JD
Tel: 020 7383 5784 Fax: 020 7383 4798
email: luc@london.landuse.co.uk

Project
86 CHALK FARM ROAD

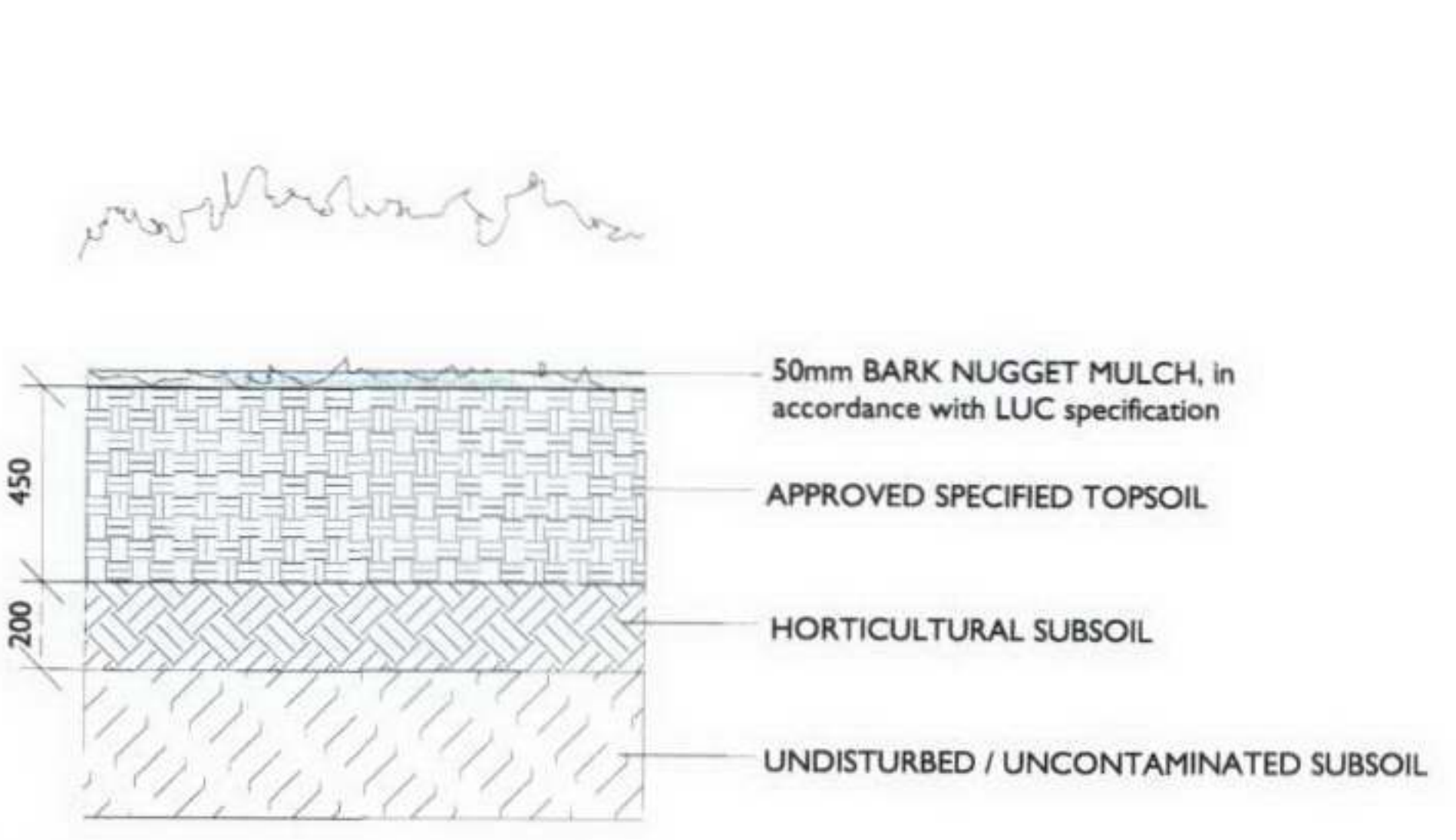
Client
LONDON & REGIONAL PROPERTIES

Title
LANDSCAPE LAYOUT

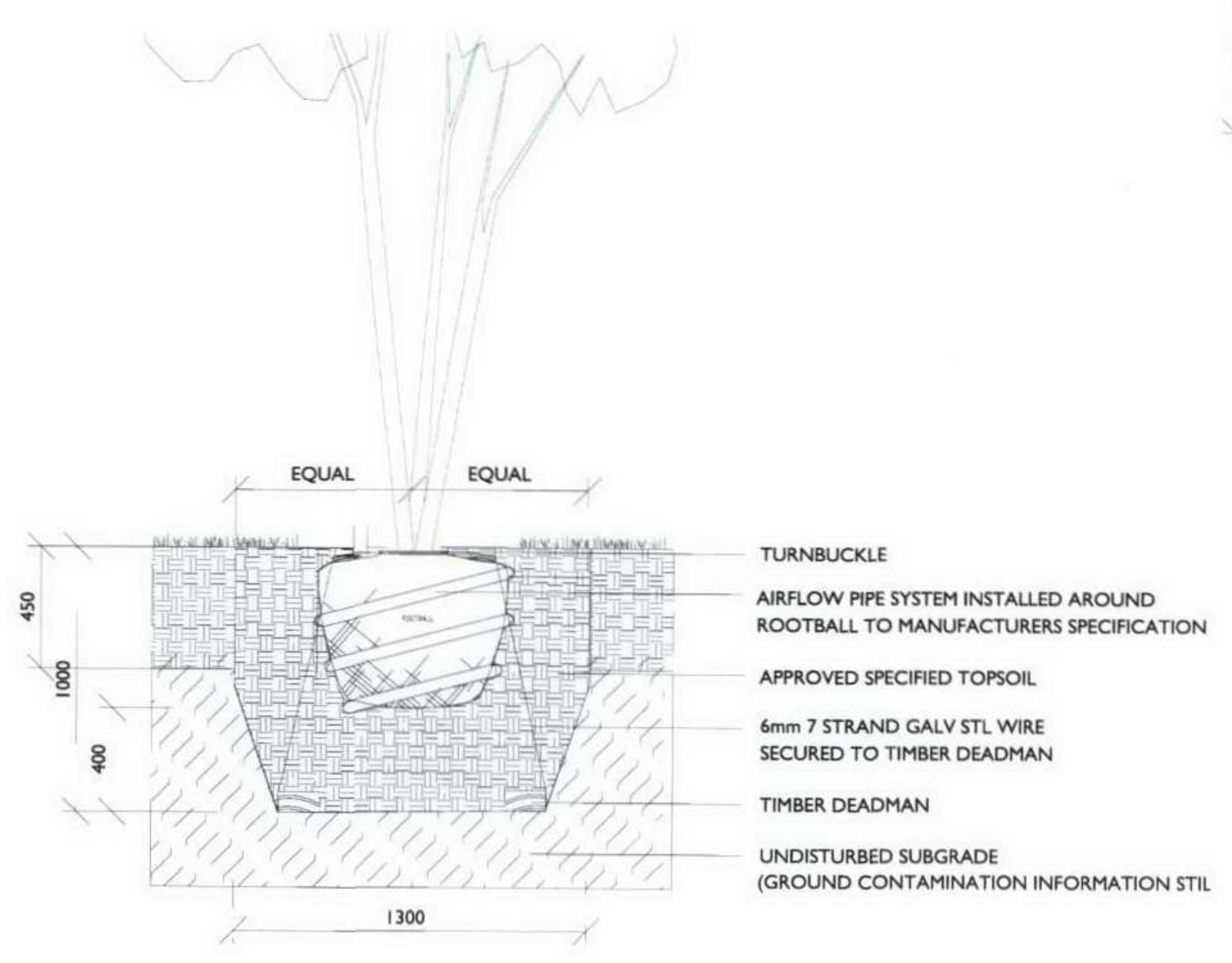
Drawn by MP Checked CG
Date 25.04.07 Scale 1:100@A2
Drawing Status: Sx Sketch Preliminary C Tender Contract Information
Project No. Phase Drawing No. Status Rev
3774 01 100 I C



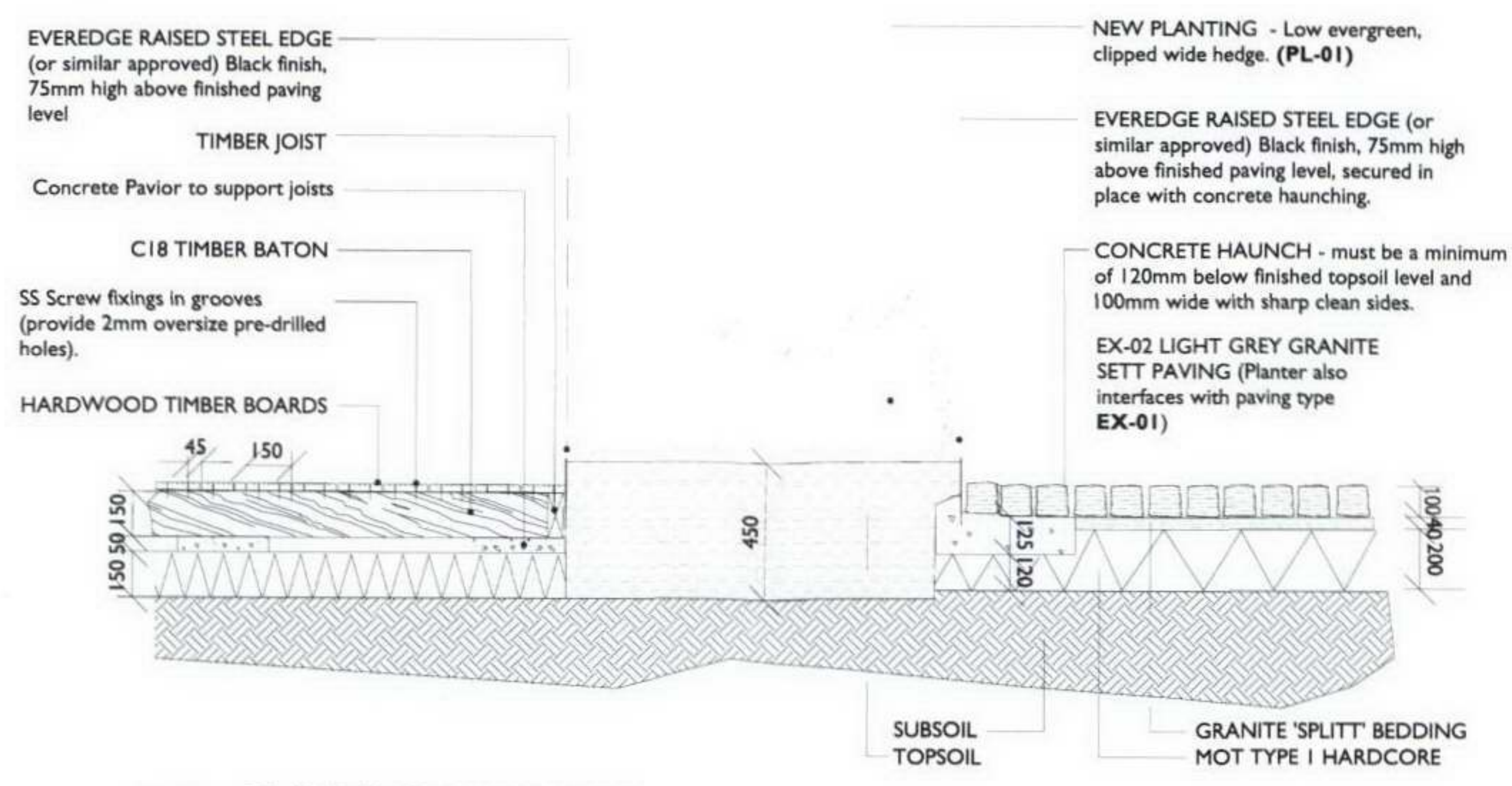
02 TREE GUYING SYSTEM (PLAN VIEW)



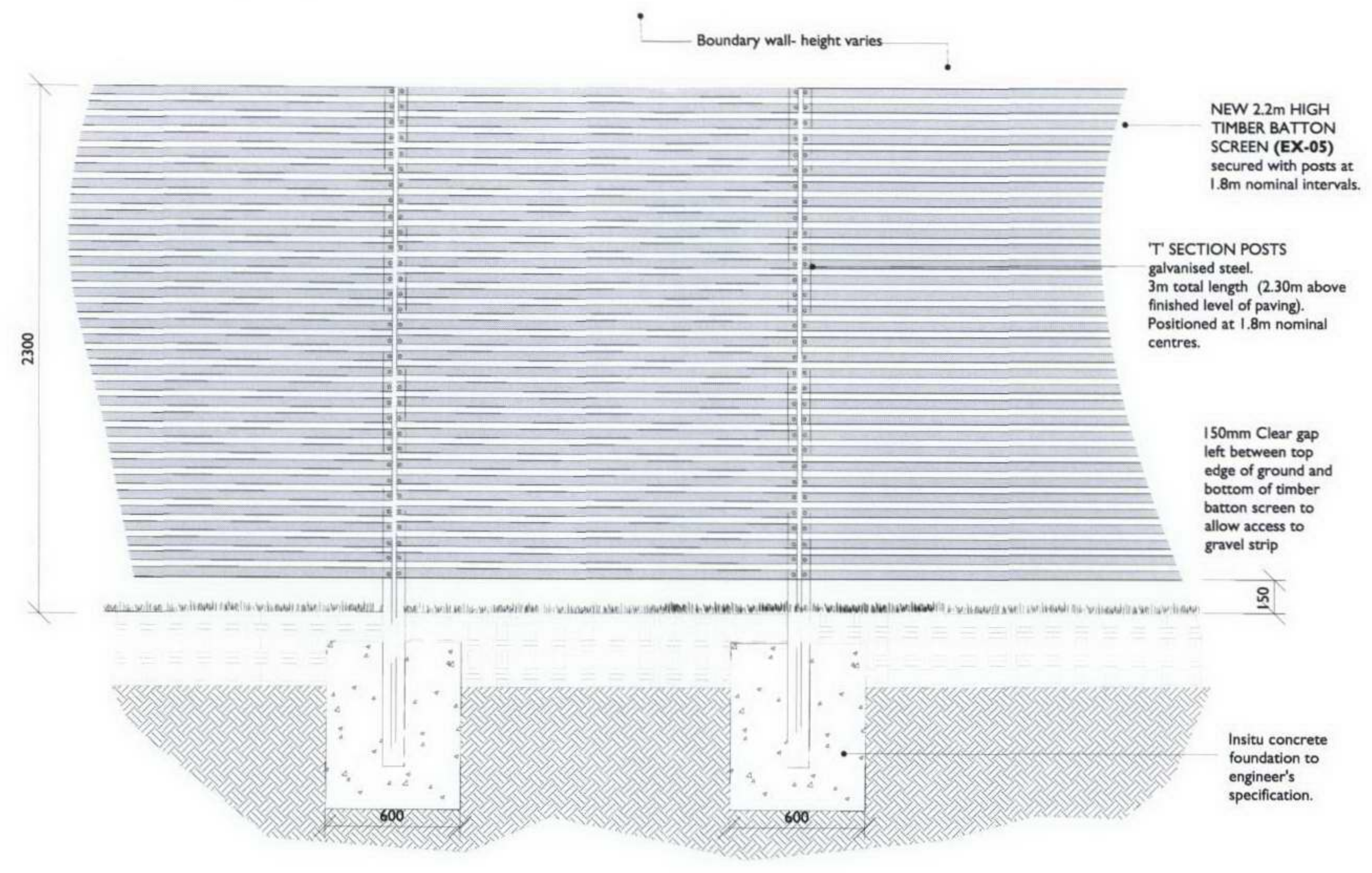
03 SHRUB PLANTING DETAIL



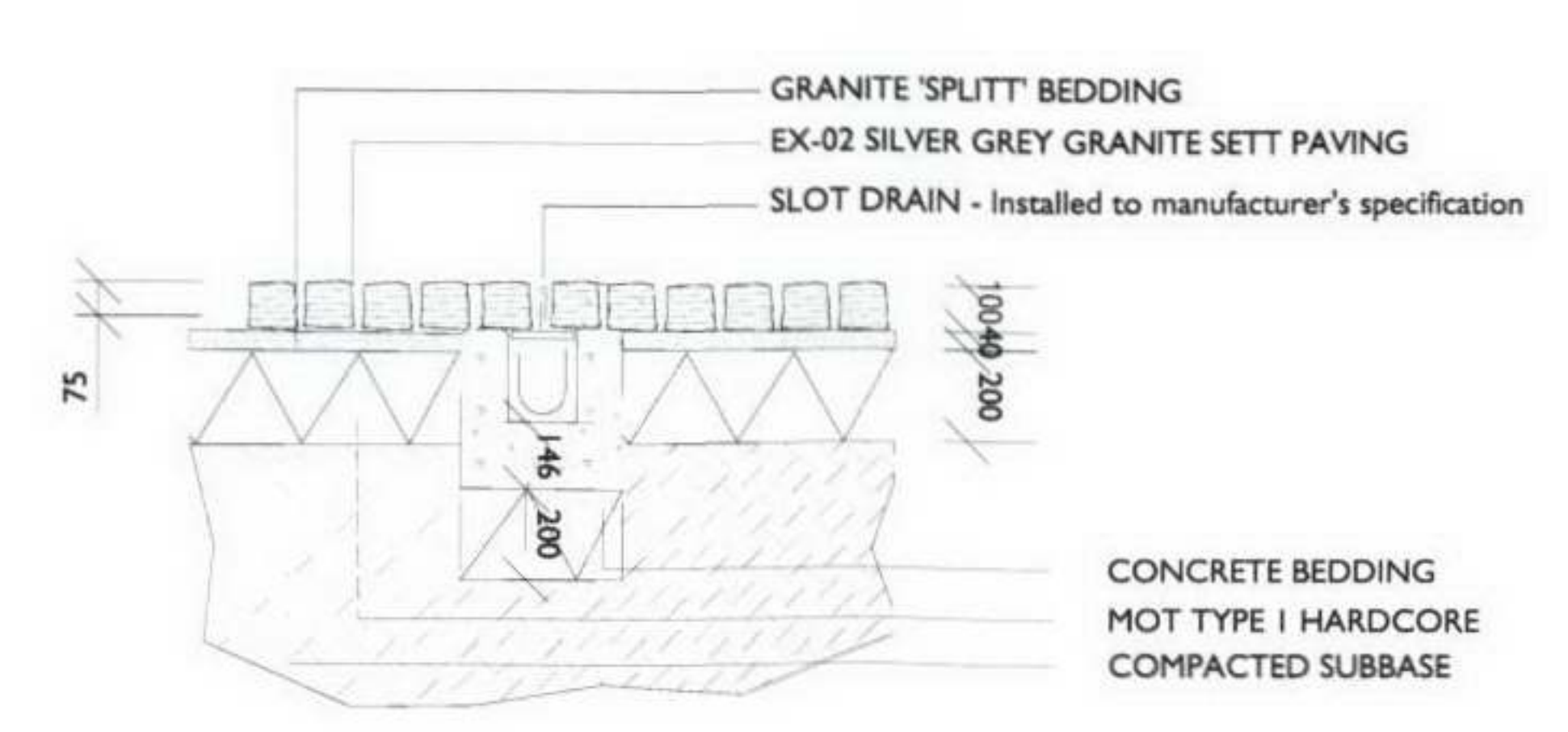
04 TREE PLANTING DETAIL (PL-02)



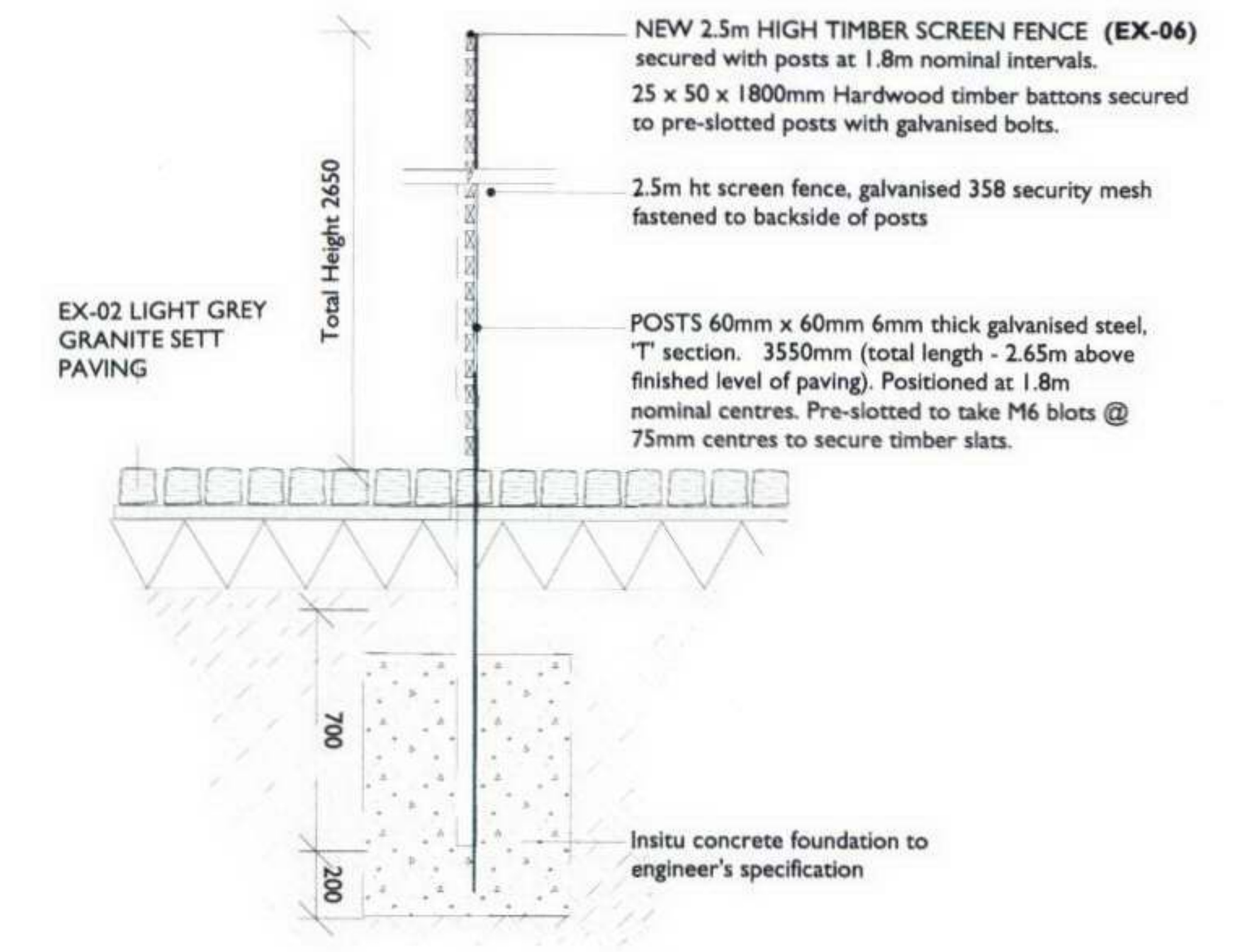
05 PLANTING INTERFACE



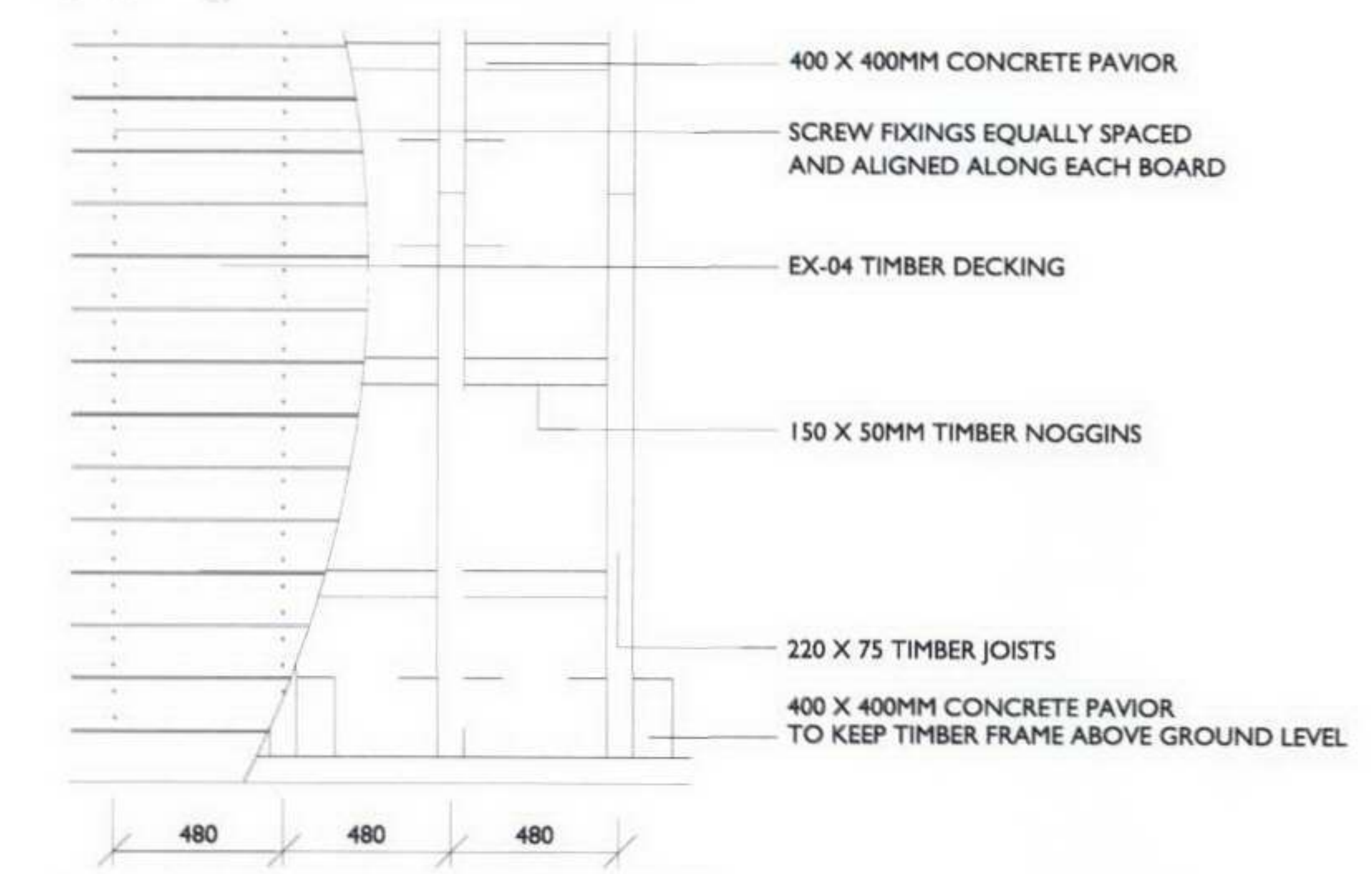
06 TIMBER BATON SCREEN (ELEVATION)



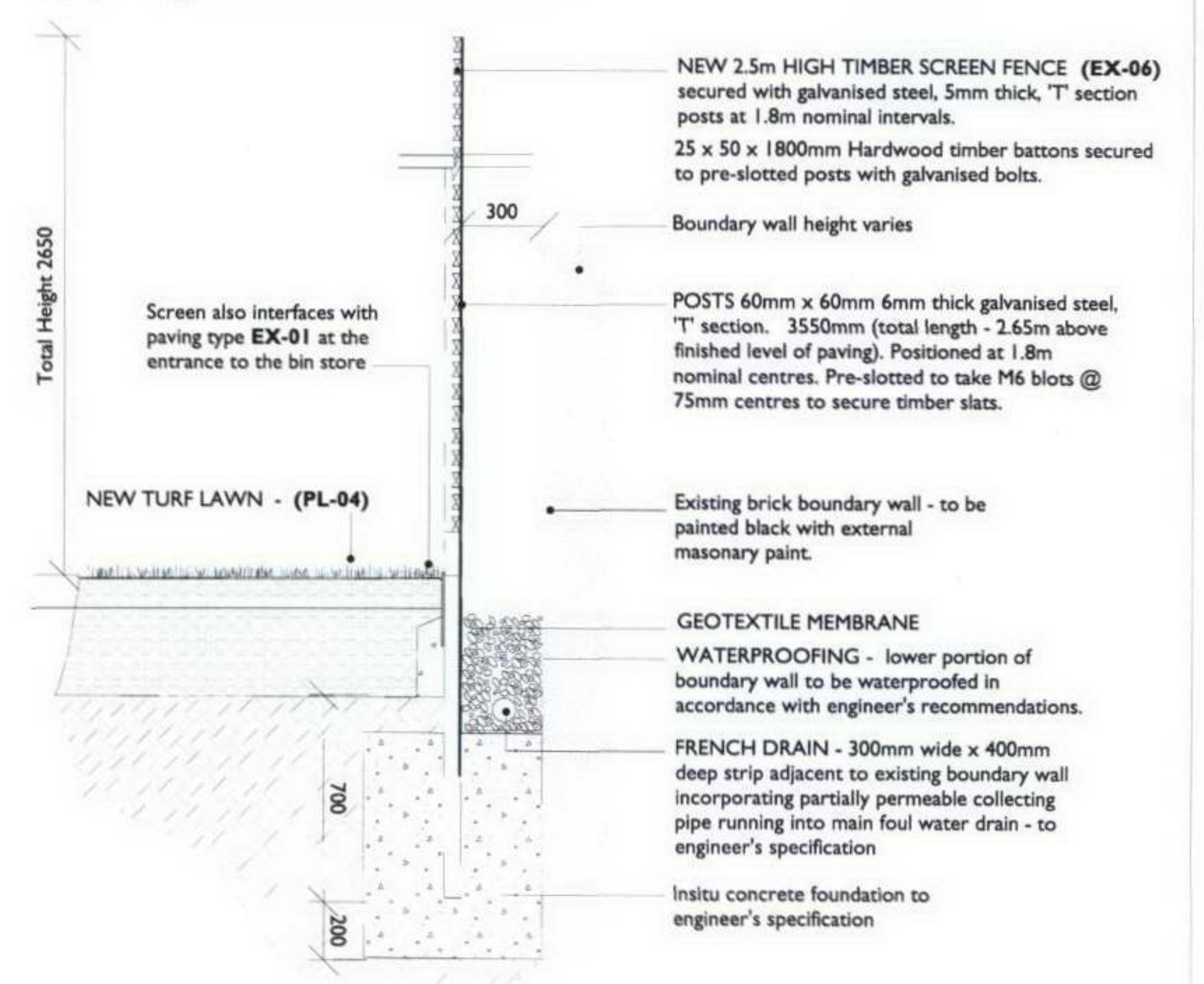
07 SLOT DRAIN/PAVING INTERFACE



08 TIMBER FENCE BACKED WITH MESH



09 TIMBER DECK (PLAN VIEW)



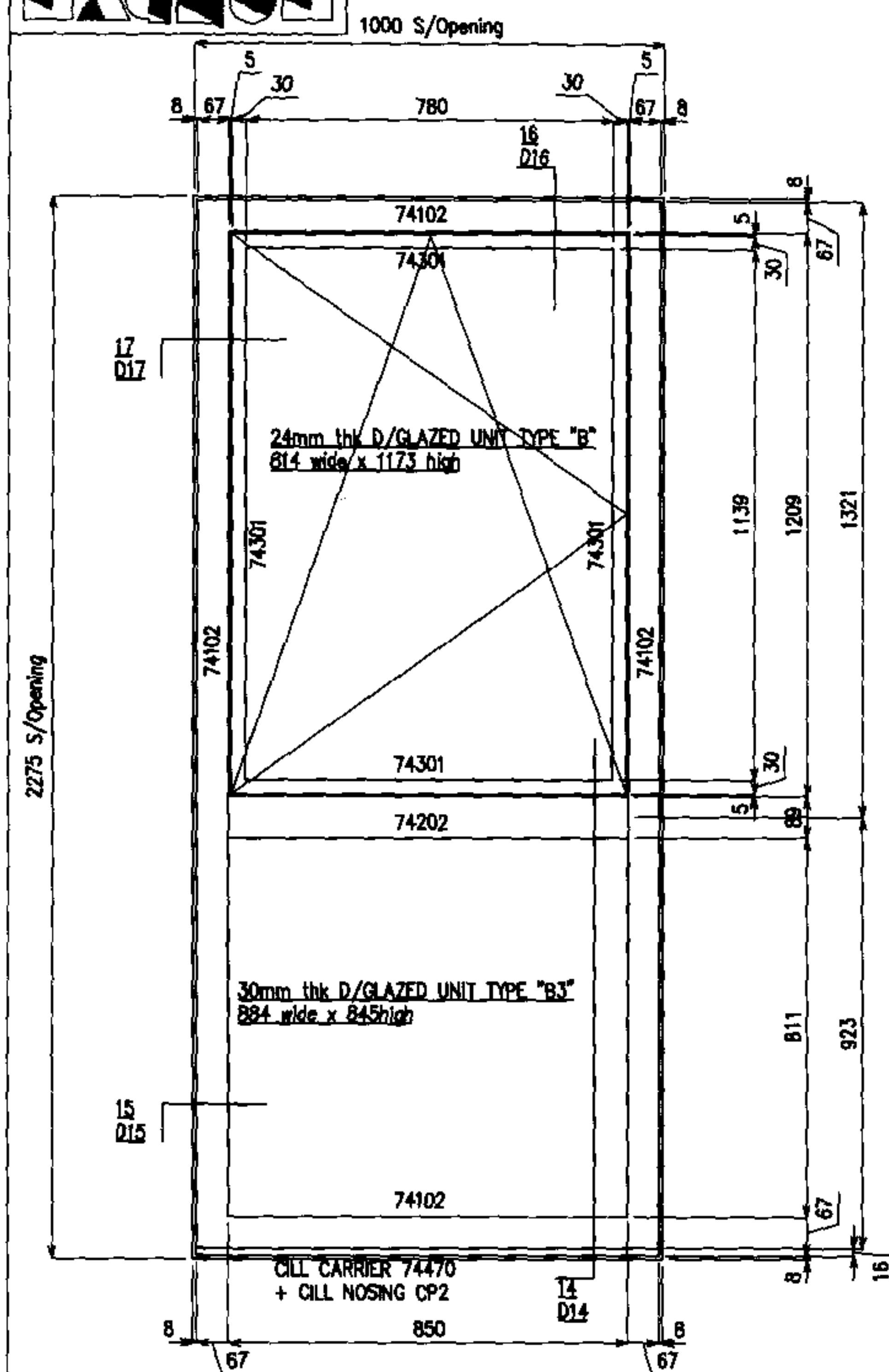
10 LAWN/ GRAVEL EDGE INTERFACE

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If in doubt, ask the Contract Administrator.

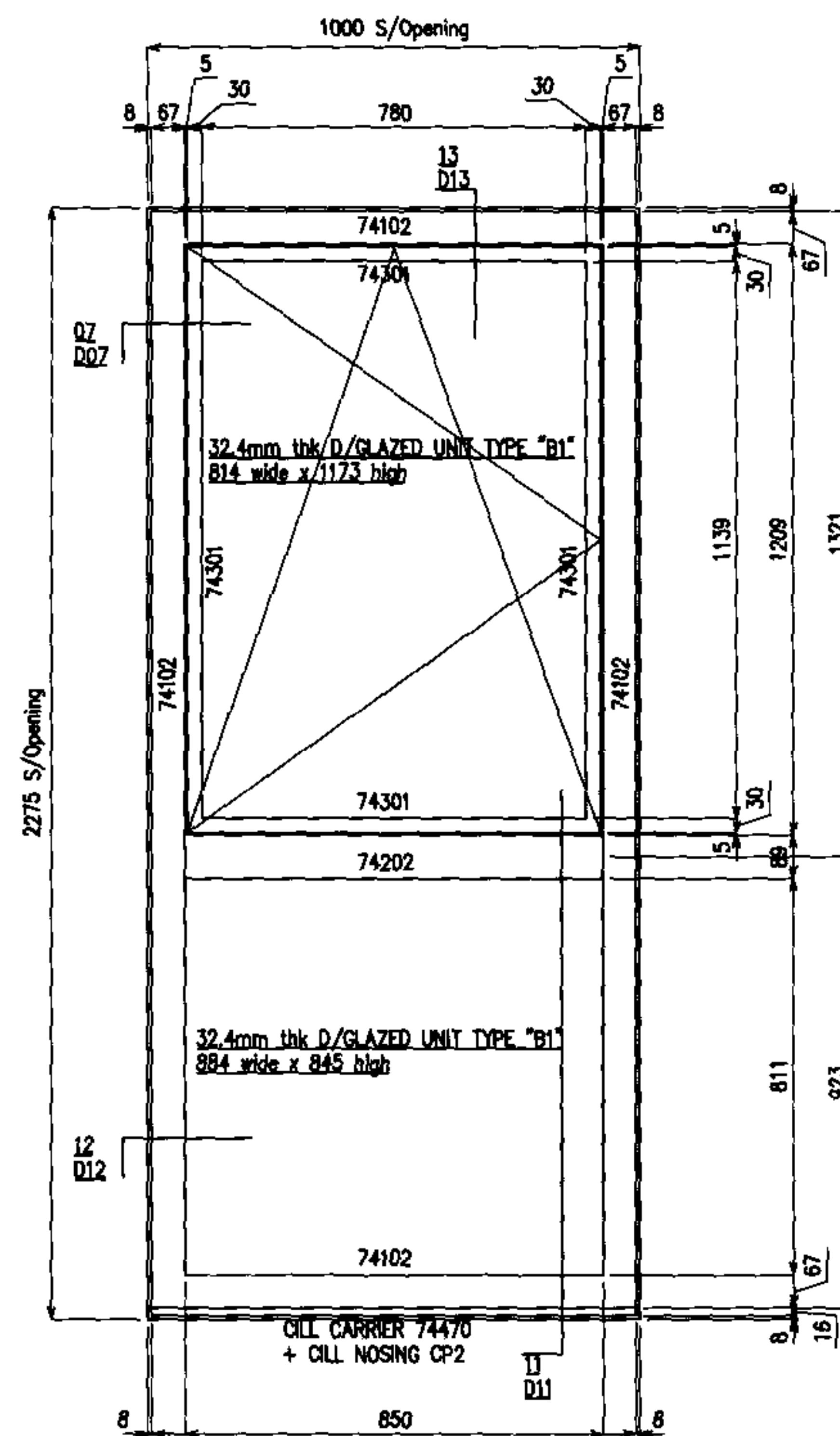
REVISIONS:	REV:	DATE:	DESCRIPTION:	DRAWN:	CHECKED:

Project: 04/18		Client: LONDON & REGIONAL PROPERTIES	
Site: 88 CHALK FARM ROAD		Drawing No: 3774 01 11 0	
Title: INDICATIVE LANDSCAPE SECTIONS		Drawn by: GT	
Date: 08-11-2017		Check: GD	
Scale: VARIOUS SCALES		Project No: 3774 01	
Drawn by: GT		Check: GD	
Date: 08-11-2017		Project No: 3774 01	
Scale: VARIOUS SCALES		Project No: 3774 01	

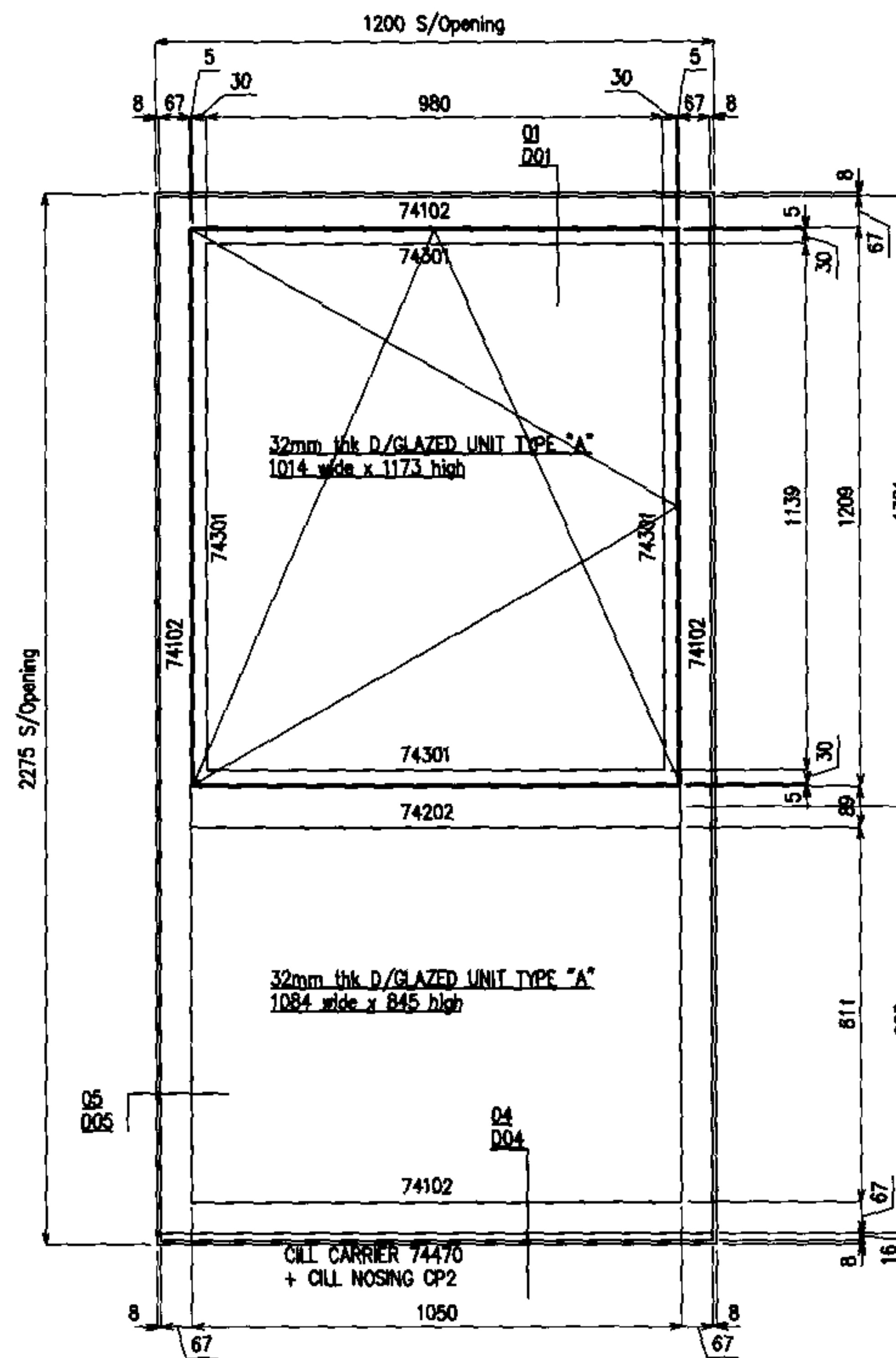




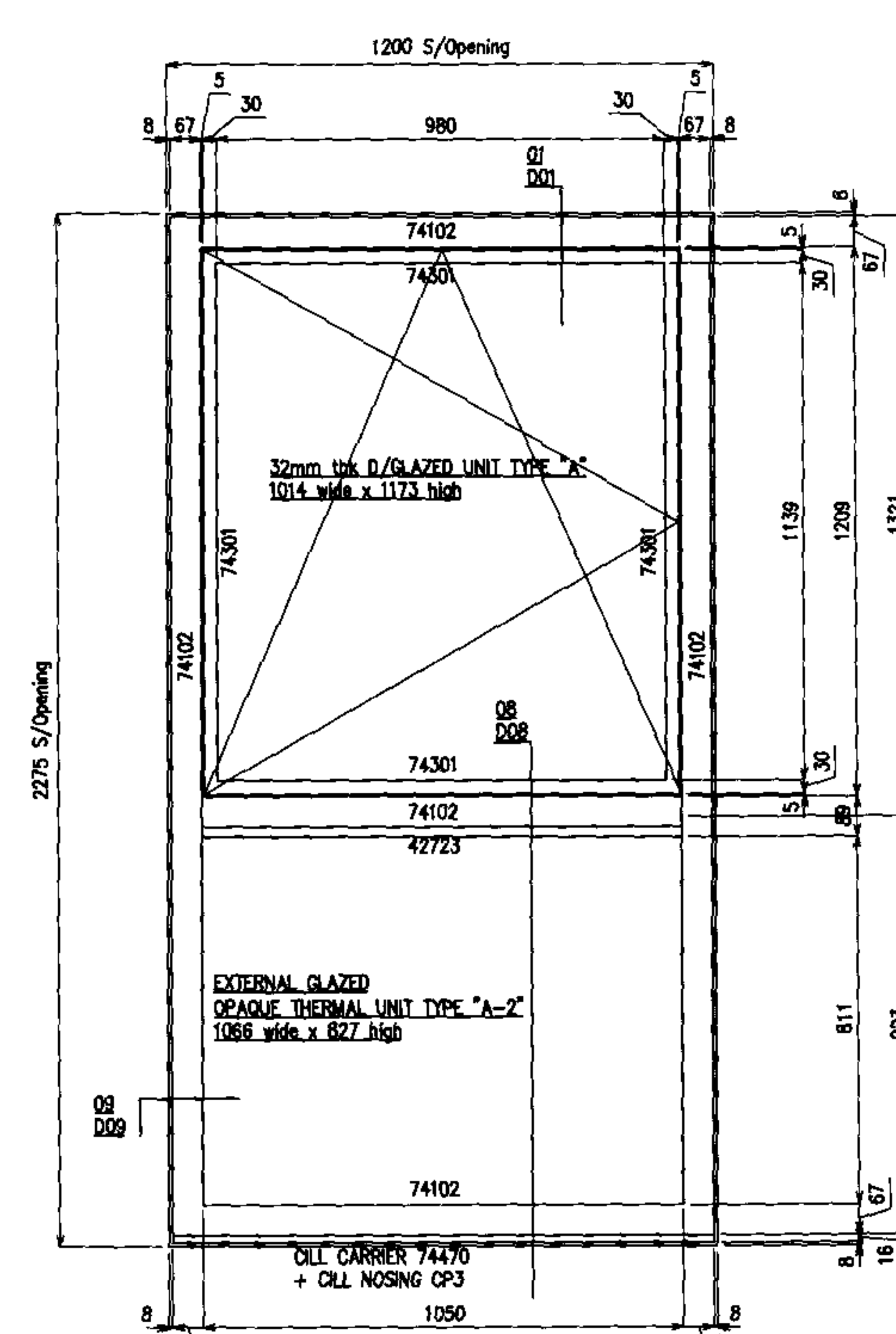
No. 3 : WINDOWS TYPE B3 REQUIRED



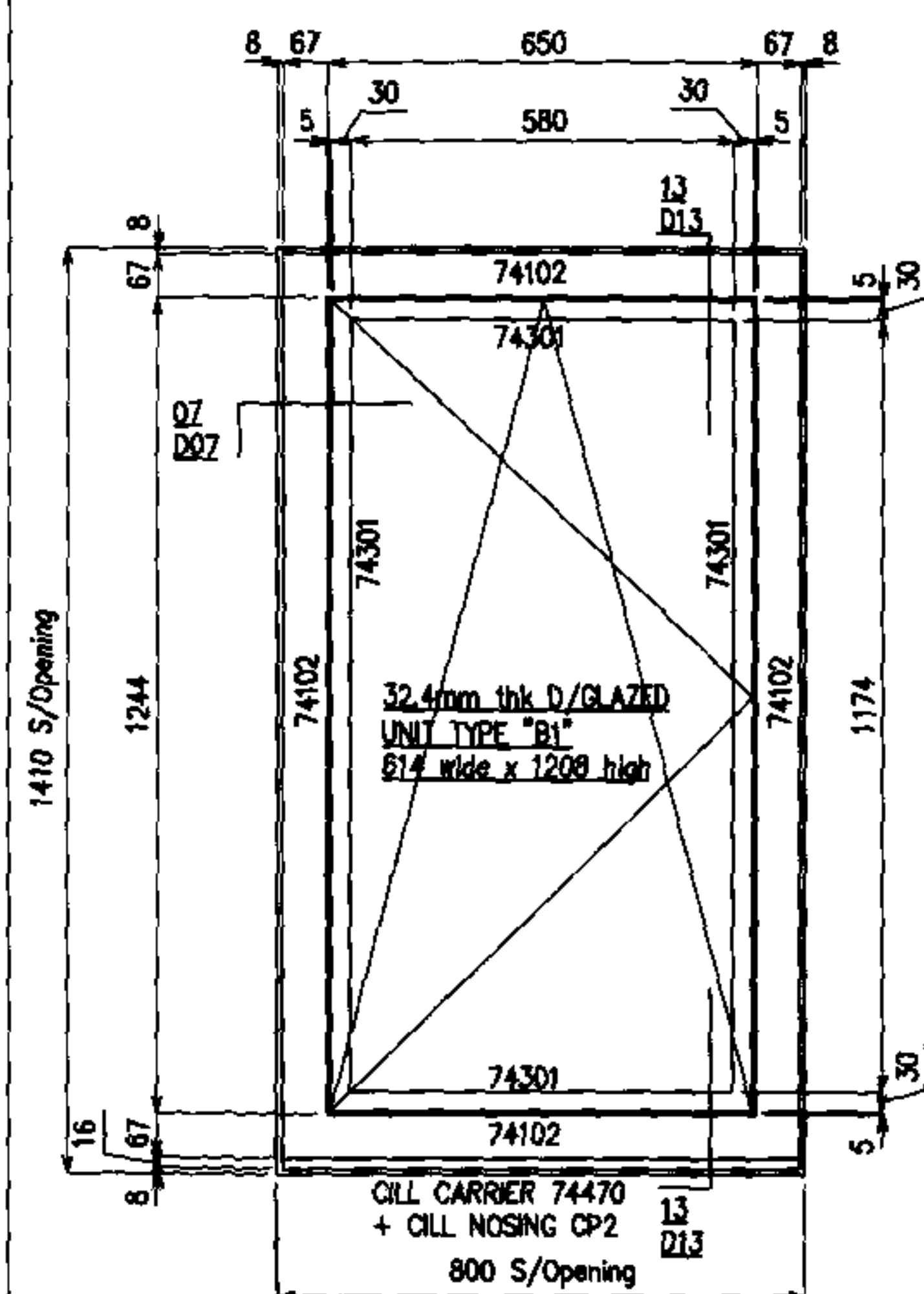
No. 3 : WINDOWS TYPE B3-1 REQUIRED



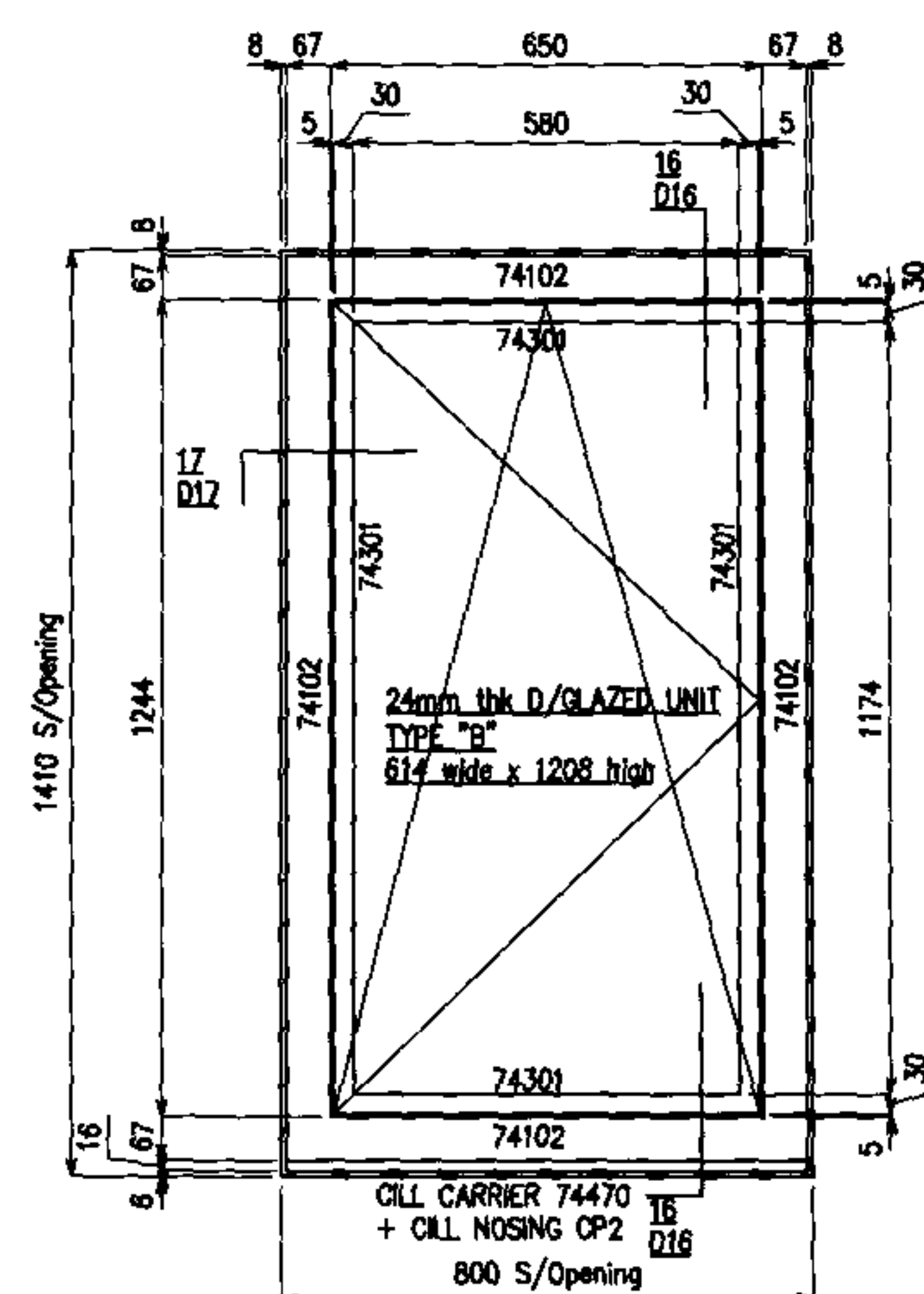
No. 3 : WINDOWS TYPE G REQUIRED



No. 3 : WINDOWS TYPE G1 REQUIRED



No. 4 : WINDOWS TYPE H1-1 REQUIRED



No. 4 : WINDOWS TYPE H1 REQUIRED

SPECIFICATION

FRAME:-
"SAP" ALUMINIUM SECTIONS, POLYAMIDE THERMALLY BROKEN,
POLYESTER POWDER COATED.
COLOUR- INTERNAL & EXTERNAL - RAL 7045 matt

OPENING LIGHTS (Tilt-Turn Open In):-
ALUMINIUM SECTIONS, THERMALLY BROKEN,
POLYESTER POWDER COATED.
COLOUR- INTERNAL & EXTERNAL - RAL 7045 matt

GLAZING:-
TYPE A:- Thermal Acoustic
HERMETICALLY SEALED DOUBLE GLAZED UNITS,
32mm O/A THICKNESS CONSISTING OF
- 6mm CLEAR FLOAT TOUGHENED GLASS OUTER PANE
- 16mm BOX ARGON GAS FILLED CAVITY
- 10mm CLEAR FLOAT TOUGHENED GLASS INNER PANE WITH
A LOW-EMISSIVITY SOFT COAT (E=0.04) TO CAVITY FACE.

TYPE A1:- Thermal Acoustic Security
HERMETICALLY SEALED DOUBLE GLAZED UNITS,
32.4mm O/A THICKNESS CONSISTING OF
- 6.4mm CLEAR FLOAT LAMINATED GLASS OUTER PANE
- 16mm BOX ARGON GAS FILLED CAVITY
- 10mm CLEAR FLOAT TOUGHENED GLASS INNER PANE WITH
A LOW-EMISSIVITY SOFT COAT (E=0.04) TO CAVITY FACE.

TYPE B:- Thermal - Thermal
OPAQUE SINGLE INSULATED ENAMELLED GLASS SPANDREL PANEL
- 6mm CLEAR FLOAT TOUGHENED GLASS OUTER PANE WITH A COLOURED
CERAMIC ENAMEL PAINT COATING FIRED TO THE REVERSE SURFACE COLOUR RAL
9018 POLAR WHITE
- 50mm CPC-FREE/ZERO COP RIGID URETHANE INSULATION BONDED TO THE
REAR PAINTED SURFACE OF THE GLASS, WITH AN ALUMINIUM FOIL BACKING TO
THE INTERNAL FACE.
- 26mm REBATE CLEARANCE, FROM GLASS EDGE TO INSULATION, AT 26mm GLAZING
CHANNEL PERIMETER OF GLAZED-EDGES.

TYPE B1:- Thermal - Thermal
HERMETICALLY SEALED DOUBLE GLAZED UNITS,
24mm O/A THICKNESS CONSISTING OF
- 4mm CLEAR FLOAT, OPAQUE TEXTURED TRANSLUCENT GLASS OUTER PANE
(EMBOSSED "STYREX" PATTERNEDED FACE TO CAVITY SIDE OF UNIT- FACE 2)
- 16mm BOX ARGON GAS FILLED CAVITY
- 4mm CLEAR FLOAT GLASS INNER PANE WITH
A LOW-EMISSIVITY SOFT COAT (E=0.04) TO CAVITY FACE.

TYPE B11:- Thermal - Thermal
HERMETICALLY SEALED DOUBLE GLAZED UNITS,
32.4mm O/A THICKNESS CONSISTING OF
- 6.4mm CLEAR LAMINATED, OPAQUE TEXTURED TRANSLUCENT GLASS OUT
(EMBOSSED "STYREX" PATTERNEDED FACE TO CAVITY SIDE OF UNIT- FACE 2)
- 16mm BOX ARGON GAS FILLED CAVITY
- 10mm CLEAR FLOAT TOUGHENED GLASS INNER PANE WITH
A LOW-EMISSIVITY SOFT COAT (E=0.04) TO CAVITY FACE.

IRONMONGERY:- Tilt-Turn
"SOUND CHORD" TILT/TURN GEAR,
RESTRICTED BOTTOM HUNG TILT-IN FIRST FOR VENTILATION,
WITH SIDE HUNG OPEN-IN HINGES FOR CLEANING & EGRESS.

PARALLEL TILT-SLIDE DOORS

FRAME:-
ALUMINIUM SECTIONS, THERMALLY BROKEN,
POLYESTER POWDER COATED.
COLOUR- INTERNAL & EXTERNAL - RAL 7045 Matt (Mid Gray)

OPENING LIGHTS (Parallel Tilt-Slide Door):-
ALUMINIUM SECTIONS, THERMALLY BROKEN,
POLYESTER POWDER COATED.
COLOUR- INTERNAL & EXTERNAL - RAL 7045 Matt (Mid Gray)

IRONMONGERY:- Parallel Tilt-Slide
"SERENNA" PSK-PORAL 1M TILT/SLIDE GEAR,
LOCKABLE RESTRICTED TILT POSITION
FOR SECURE VENTILATION.

CONCEALED MULTI-POINT FASTENING, OPERATED BY
3 POSITION ESPAGNOLETTE HANDLE, WITH BACK PLATES.
COLOUR- SAA

"SERENNA" 880-14 (50-50 SAA) EURO-PROFILE DOUBLE CYLINDER TO
BS EN 1303 GRADE 3 SECURITY WITH ADDITIONAL ANTI-DRILL & ANTI PICK RESISTANCE.

NOTE:-
ALL GROUND FLOOR & ACCESSIBLE FIRST FLOOR WINDOWS TO HAVE
"SOUND CHORD" SAFE TILT GEAR, FOR ENHANCED SECURITY.
CONCEALED MULTI-POINT FASTENING, OPERATED BY
ESPAGNOLETTE HANDLE, WITH AN INTERNAL
CYLINDER DEADLOCK & REMOVABLE KEY (LOOKS KEYS ALIKE)
COLOUR- SAA
ADDITIONAL WINDOW STAY SAFETY RESTRICTOR FITTED TO SIDE OF VENT,
TO RESTRICT FULL OPENING OF SASH, BUT ALLOW CLEANING FROM INSIDE.

Rev	Date	Description	By
C	7.12.09	WINDOWS H & H-1 Now OFF INCREASED TO 4 IN LIEU OF 3	PM
B	4.12.09	WINDOW H1 GLAZING UPDATED	PM
A	30.01.09	WINDOWS UPDATED AS AGENTS COMMENTS	PM
P2	21.01.09	UPDATED	PM
P1	11.01.09	FOR APPROVAL	PM

MAGNUM ALUMINIUM PRODUCTS (1993) Ltd

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Rainham, Essex, RM13 8AU

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e-mail:- paulmatthews@magnumaluminium.co.uk

TITLE:-

WINDOW SCHEDULE MEWS HOUSES

PROJECT:- 88 CHALK FARM ROAD
PRIMROSE HILL
LONDON NW1 8AR

Drawn:- PM Date:- 11-01-08 Scale:- 1:50

DRAWING No:- J8941-S-01 Rev C

