

General Notes:
It is the responsibility of the Contractor to undertake and complete the detail design of the proposed services installations including electrical, lighting, plumbing, drainage and ventilation, based on the proposed Architect's general arrangement drawings, to conform to current Statutory Building Regulations and British Standards.

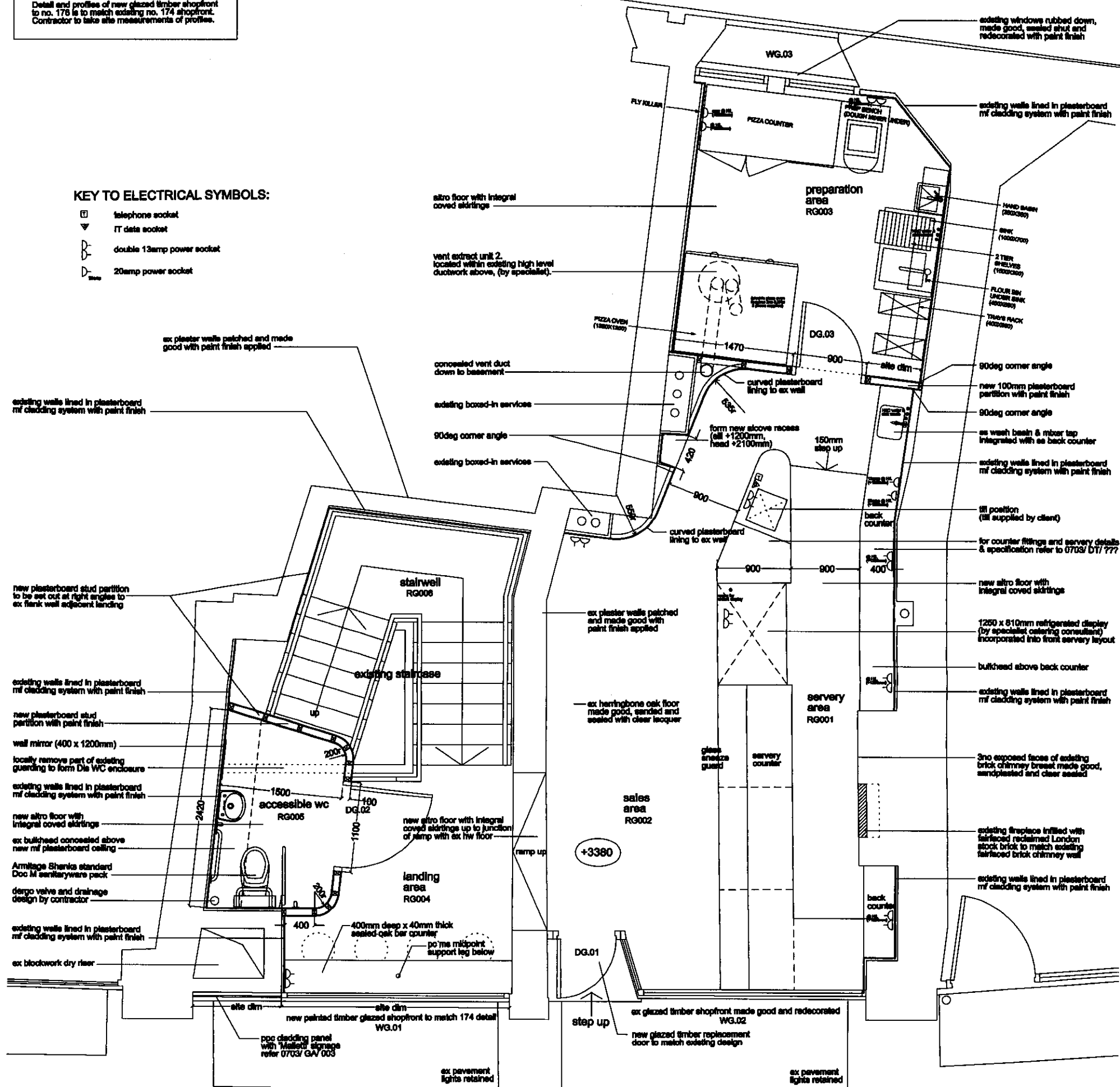
The proposed electrical installation work covered under Part P of the Building Regulations will be designed, installed, inspected and tested in accordance with the requirements of BS 7671 and all necessary overcurrents will be issued to the Client and Approved Building Inspector.

Detail and profiles of new glazed timber shopfront to no. 176 is to match existing no. 174 shopfront. Contractor to take site measurements of profiles.

nb. all catering equipment & loose fittings, etc, supplied by catering specialist

KEY TO ELECTRICAL SYMBOLS:

- ☐ telephone socket
- ▽ IT data socket
- ⌚ double 13amp power socket
- ⌚ 20amp power socket



8.2.08 Rev B - Ex 174 shopfront retained and 176 design revised following Planner's comments.
5.12.07 Rev A - Door DG03 added and serving revised following BCO comments.

Job title:
Proposed Malletti Pizza Bar
174-176 Clerkenwell Road, EC1.
Client:
Mr Nicholas Basden

Drawing Title: **Proposed Ground Floor Plan**

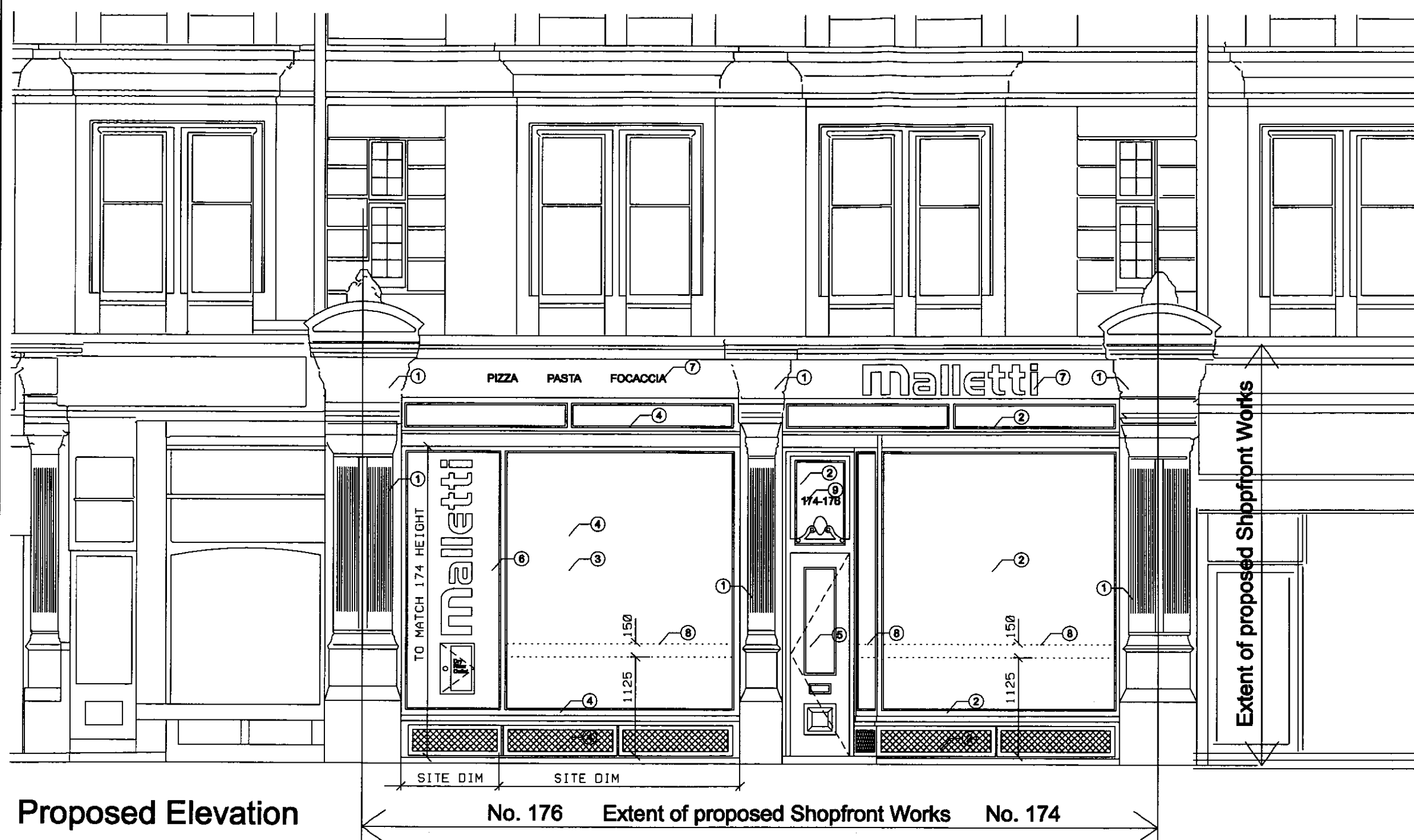
date: 10.04.07 scale: 1:50@A3
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Job no. 0703 drawing no. GA002 rev. B

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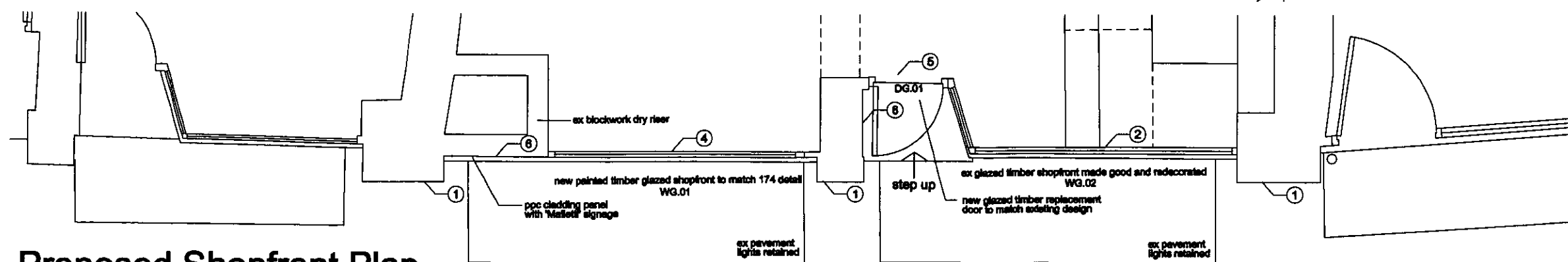
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Proposed Elevation

No. 176 Extent of proposed Shopfront Works No. 174



Proposed Shopfront Plan

FINISHES NOTES:

1. Existing original shopfront features, (pilasters, capitals & cornices) to both no. 174 and 176 to be rubbed down, filled and generally made good, primed and repainted with two coats of Dulux weathershield in gloss black.
2. Existing original Victorian timber glazed shopfront to no. 174, including staircase, low level fretwork panelling, entrance door fanlight, and high level panelling, to be made good and redecorated with two coats of Dulux weathershield in gloss black.
3. Existing glazed shopfront to no. 176, including low level panelling, signage and retractable canopy awning to be carefully stripped and disposed of.
4. 1no. new glazed timber shopfront with clear toughened and laminated single glazed fixed units to be constructed for unit no 176. All details and profiles to match existing no. 174, including staircases, low level fretwork panels and high level panelling. Primed and painted with two coats of Dulux weathershield in gloss black.
5. 1no. painted timber glazed panellied outward opening entrance door to replace badly damaged existing door, including all associated locks and ironmongery and door closer, (max closing force of 20kN). All details and profiles to match existing door. Paint finish in two coats of Dulux weathershield gloss black.
6. 2no. vertical insulated ppc aluminium spandrel panels in yellow (RAL 1018), with 'malletti' logo in black adhesive vinyl lettering, (detailed artwork to follow), incorporated into new shopfront. 1no to conceal existing blockwork wall, plus 1no in recess adjacent to entrance doorway. Existing dry inlet rear access door panel to be repainted in yellow to match spandrel panel colour.
7. 2no. high level horizontal ppc aluminium spandrel panels in yellow (RAL 1018), located above glazed shopfronts, with 1no. 'malletti' logo and 1no small 'pizza pasta focaccia' lettering in raised black (RAL 9005) ppc individual aluminium letters, (detailed artwork to follow), with black ppc spacers.
8. Horizontal low level adhesive etched effect manifestation strip (50% semi transparent) to inside face of glazed shopfronts to meet DDA requirements.
9. New adhesive etched effect signage numbers to inside face of existing glazed entrance door fanlight (50% semi transparent) to read '174-176'.
10. Removable entrance ramp constructed in painted wbp ply and timber framing with grooved rubber facing to provide temporary local DDA disabled access.

NOTES:
1. Do not scale from this drawing.
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3. This drawing is to be read with all relevant Consultants' drawings, specifications and schedules.
4. This drawing is copyright and must not be reproduced without the prior written agreement of the Architect.
5. All dimensions are in millimetres unless otherwise stated.

revisions:
Rev A 10.11.07 PPC shopfront and spandrel panel colours revised following client comments.
Rev B 11.2.08 Existing no. 174 shopfront retained and refurbished and no. 176 shopfront design revised following receipt of Planner's comments.

notes:

job title:

MALLETTI
174-176 CLERKENWELL ROAD, EC1
client: **Mr N. BASDEN**

drawing title: **PROPOSED SHOPFRONT ELEVATION**

date: **JULY 07**

scale: **1:50 @ A3**

job no.

drawing no.

rev:

0703

GA/ 003

B

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nb. all catering equipment & loose fittings, etc., supplied by catering specialist.

General Notes:
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vent plant to specialist's specification & detail

for new shopfront & signage details refer 0703/ GA003

— painted plasterboard m/f ceiling
— ex timber window rubbed down, made good, sealed and repainted
— all ex walls to preparation area lined in vitro whiterock cladding system
preparation area
RB003

— painted plasterboard partition with vitro whiterock cladding to preparation area face
— all catering equipment by specialist consultant

— fill (supplied by client)

sales area
RB002

1000mm long refrigerated display (supplied by catering consultant), incorporated into front servery unit

low level counter

— servery fascia panel to unit front by contractor (take site template)
— ex herringbone hw floor made good, sanded and sealed with clear lacquer

— painted plasterboard m/f ceiling

feature pendant lights over servery

new painted timber glazed shopfront (details and profiles to match existing) refer 0703/ GA003

— glass sneeze guard

— for counter fittings and servery details & specification refer to 0703/ DT1 001

— painted plasterboard m/f ceiling

— ex timber window rubbed down, made good, sealed and repainted
— existing fireplace/ chimney breast filled with brick and lined in vitro whiterock cladding system

— all ex walls to kitchen area lined in vitro whiterock cladding system
— all catering equipment by specialist consultant
kitchen
RB007

— integrated skirting
— vitro finish on wpb ply floor laid to false (to gully) on treated sw battens

— as floor gully connected to existing drainage system (drainage design by contractor to)

— painted plasterboard bulkhead with recessed downlights
— existing walls lined in plasterboard m/f cladding system with paint finish

restaurant area
RB006

— painted mdf skirting
— vitro finish on wpb ply floor on treated sw levelling battens

— painted plasterboard ceiling bulkhead around perimeter of retained ex pavement lights

— existing walls lined with plasterboard m/f cladding system with paint finish

admin office
RB005

— painted mdf skirting

— painted mdf lockable ckd doors

storage vault
RB003

— make good, patch plaster, rub down and redecorate walls and ceiling vault
— vitro finish on wpb ply sub floor on treated sw battens
— coved vitro skirting

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28 FEB 2008

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revision:

5.12.07 Rev A - Servery counter amended following BCO comments.
14.2.08 Rev B - Servery revised to suit shorter cold display unit, ex no 174 shopfront retained and preparation room partition thickened to suit vertical duct dim.

notes:

job title:

MALLETI
174-176 CLERKENWELL ROAD, EC1
client: **Mr N. BASDEN**

drawing title: **PROPOSED SECTION B-B (towards servery)**

date: **OCTOBER 07** scale: **1:30@A3**

job no. **0703** drawing no. **GA/ 005** rev: **B**

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