



1-7 Mill Lane, NW6 Hard Landscape Proposals - 1:200 @ A1 Cycle Store - metal enclosure with metal gate to architects details self-binding gravel path with tegula edging 2.2m high close boarded timber fence ---golden gravel path with timber edging for occasional access

Landscape Design Statement

The proposed Mill Lane development consists of 40 apartments as well as open amenity space, on land between the railway and the existing gardens of Fordwych Road. The landscape proposals for the development aim to create an appropriate setting for the new building, integrating it within the surrounding landscape, street scene and adjoining properties, and provide quality amenity space for the residents use with well defined areas of public, semi-private and private space.

The landscape proposals for the building area include the hard and soft frontage to Mill Lane, the boundary treatment with the existing gardens to the west, a paved walkway between buildings, and private patio gardens, and a communal garden to the rear of the building.

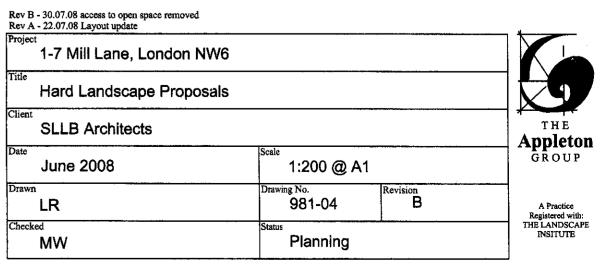
The landscape proposals along Mill Lane aim to create a strong frontage with fastigiate tree planting (hornbeam and crab apple) and hedge planting (pyracantha) along the boundary. There is a lawn behind the hedge and two areas of shrub planting for amenity interest. The paving proposed for the frontage access areas is grey PCC slabs, with herringbone concrete block paving for the driveway car access. The paving to the walkway is small scale setts, indicating the change from public to semi-private space. The private patio gardens to the rear are paved with natural colour PCC slabs, and are defined by 1.0m high vertical steel bar fencing for security. A 2.2m high vertical steel bar fence defines the boundary from the surrounding open space area, whilst the boundary to the west is 2.2m high close boarded timber fence. Against this boundary between existing rear gardens and the proposed building is to be planted a pyracantha hedge, and two conifer trees are proposed for the gap between existing trees to screen the building end wall. To the rear, within the communal garden, tree planting of ornamental pear, plum and crab apple will further screen the building from adjoining properties. The communal garden has a fluid informal character, with a gravel path and seating area. Low shrub and herbaceous planting provide year round visual interest.

KEY	
<i>y y</i>	Proposed Timber Fencing to Boundary with Existing Gardens - 2.2 metres high close boarded timber fencing
	Proposed Metal Fencing - mild steel vertical bar fencing powder coated in colour black 2.2m high to boundary with open space 1.0m high to define private patios
	Proposed Paving to Access Drive - Concrete block paving in herringbone pattern with single row soldier course to edges, colour brindle e.g Marshalls 'Keyblock' or equivalent approved
	Proposed Paving to Access Drive Margins- Small unit textured concrete sett paving, colour pennant grey e.g Marshalls 'Tegula' or equivalent approved
	Proposed Paving to Walkway- Small unit textured concrete sett paving, colour red/charcoal multi e.g Marshalls 'Tegula' or equivalent approved
	Proposed Paving to Frontage - 400x400x65mm thk textured PCC slabs, colour silver grey e.g. Marshalls 'Conservation' or equivalent approved
	Proposed Paving to Rear Areas - 400x400x50mm thk textured PCC slabs, colour natural e.g. Marshalls 'Saxon' or equivalent approved
	Proposed Gravel Paths to Communal Garden - self-binding gravel with tegula edging
	Proposed Gravel Path for Occasional Side Access - golden gravel with timber edging to occasional side access path
	Proposed Seating - 1.8m timber bench

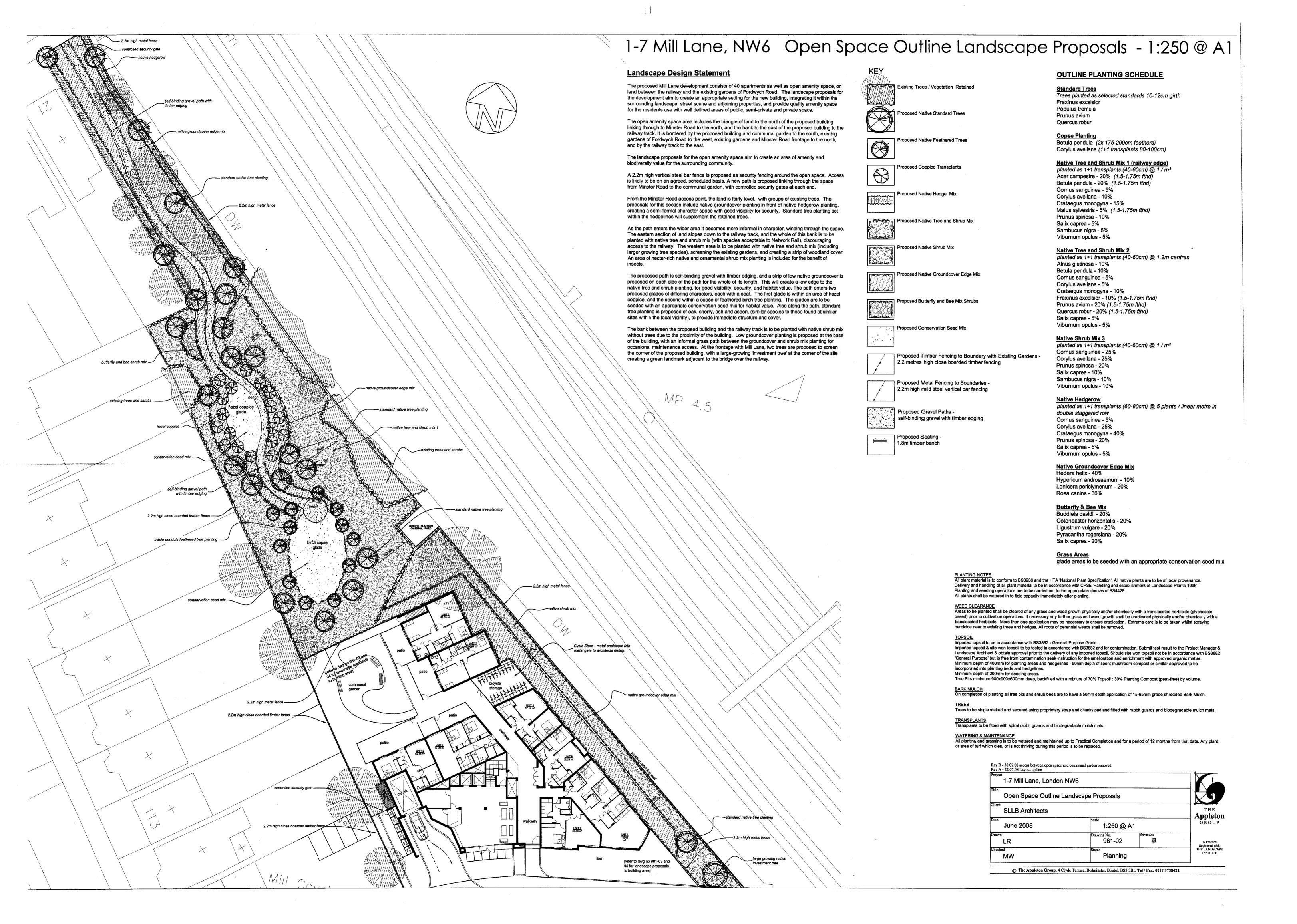
Drawing indicates surface finishes and fencing treatments only.

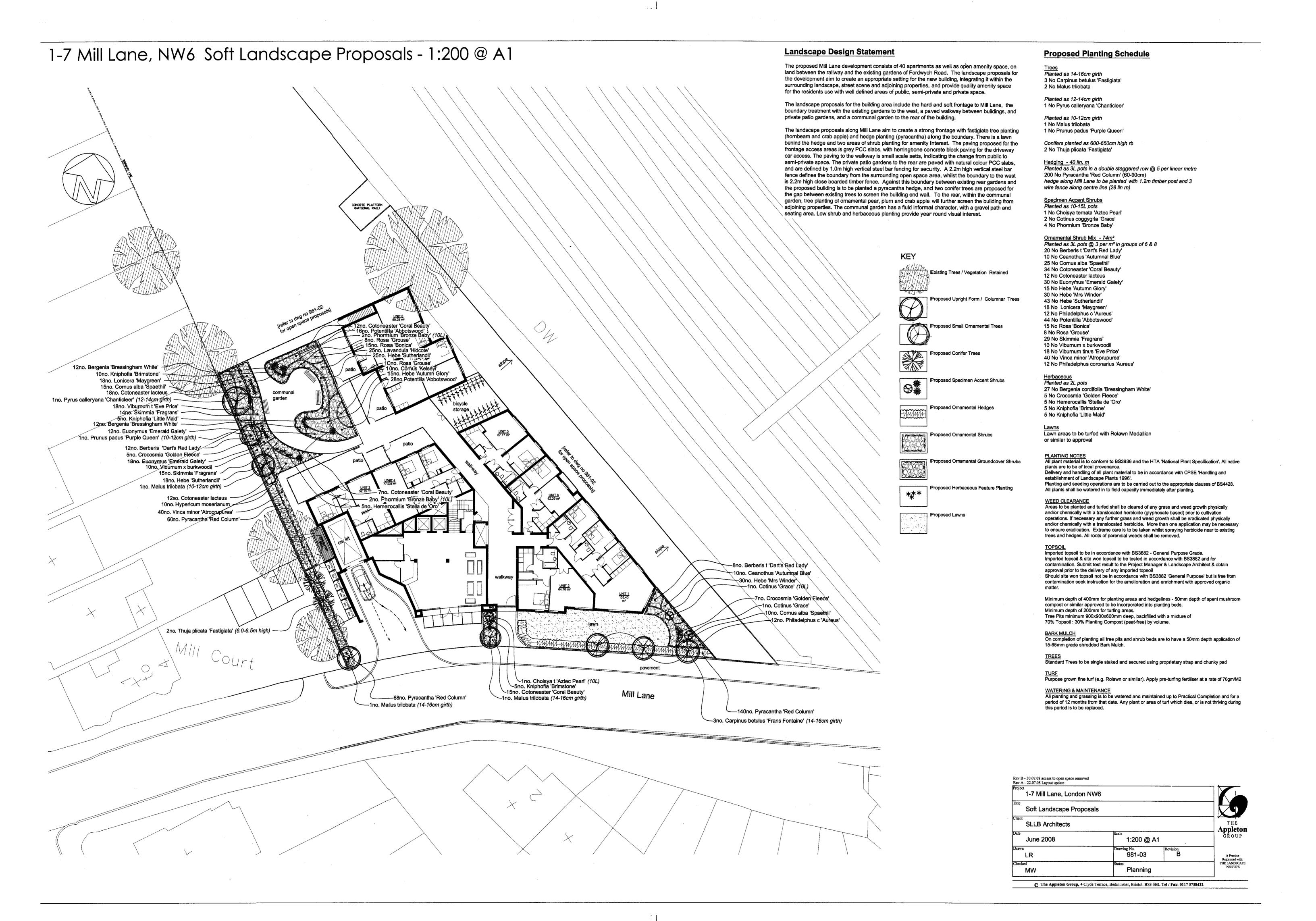
Refer to dwg no 981-03 for soft landscape proposals

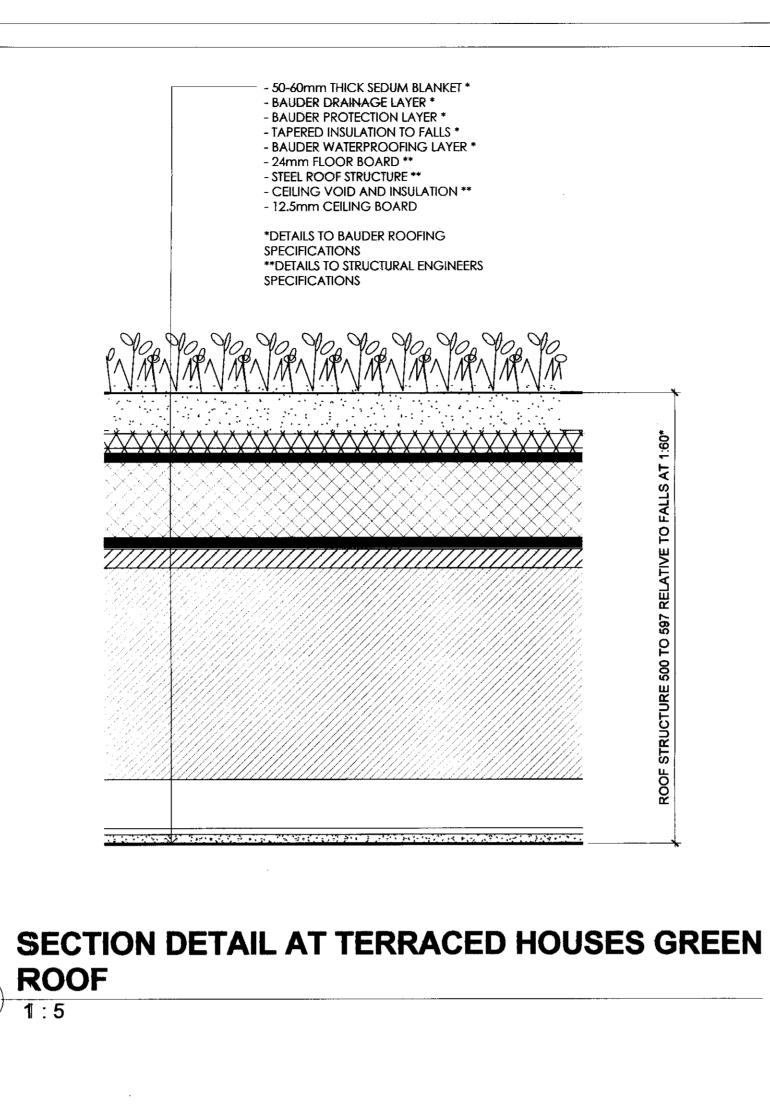
All levels, surface drainage, kerbing, tactile features, and fixings by others.



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FIFTH FLOOR

| FIFTH FLOOR | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450 | 15450

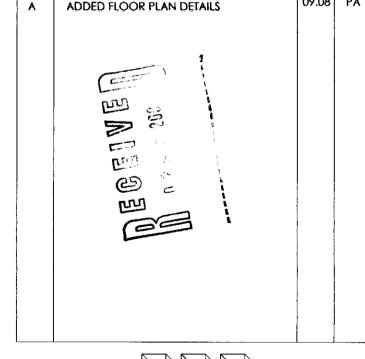
SECTION DETAIL AT FOURTH FLOOR BROWN ROOF

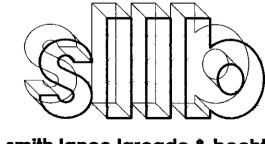
1:5

- 50-60mm THICK SELECTED STONE AND MEDIUM * - BAUDER DRAINAGE LAYER * - BAUDER PROTECTION LAYER * - TAPERED INSULATION TO FALLS * - BAUDER WATERPROOFING LAYER * - 24mm FLOOR BOARD ** - STEEL ROOF STRUCTURE ** - CEILING VOID AND INSULATION ** - 12.5mm CEILING BOARD *DETAILS TO BAUDER ROOFING **SPECIFICATIONS** **DETAILS TO STRUCTURAL ENGINEERS **SPECIFICATIONS** TOP OF ROOF ROOF 18450

2 SECTION DETAIL AT FIFTH FLOOR BROWN ROOF

NOTES No. DESCRIPTION Do not scale off drawings. Use figured dimesions only. All dimensions to be verified on site and any discrepancies to be brought to the Architects's attention immediately. 3. This drawing is to be read in conjunction with all other relevant contract documents. 4. All structural works are to be carried out in accordance with the consultant structural engineer's drawings and specifications. 5. All mechanical and electrical work is to be carried out in accordance with the consultant mechanical and electrical engineer's drawings and specification. 6. For detailed Landscaping proposals, please refer to The Appleton Group drawings; 981-02 and 981-04. Please refer to sheet A206, Detail Elevations for details on external finishes. REVISIONS No. DESCRIPTION A ADDED FLOOR PLAN DETAILS





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1-7 MILL LANE LONDON NW6

GREEN ROOF AND
BROWN ROOF DETAILS

1:100 @ A1 PA/AW

DATE SEP 08 CHECKED BY DS

JOB No. DWG No. REV. A501 A

STAGE PLANNING

