

8N° 100mm asbestos vent pipes run independantly to terminate 300mm above roof.
4N° connected to mech-vent unit serving bathrooms
4N° connected to vents in hall and running in space between floor & ceiling over bathrooms.

100mm plastic Se.V.P. in duct to terminate 500mm above roof finish.

Form duct to enclose Se.V.P. Vents of 38x38mm 6W framing covered with 2 layers 9.5mm plaster board with access panels as necessary.

Remove existing sash window, cill & lintel complete. Build up openings as necessary to match existing. Make openings for and supply and install 2.0m timber sash windows to match existing including all sills, lintels etc.

For windows and doors see schedules.

Remove existing fireplaces complete. Block up openings and build in plaster louvre at H/L in rooms 30 & 37.

Remove existing fittings, cupbs & partitions etc. not shown retained.

Remove existing fireplace complete in Room 28 & fit new gas fire with back boiler, with flue taken up lined chimney.

Airing cupboard: G.W.s tank at H/L. F&E tank below with H.W. cylinder on timber buffers on floor with 4N° heights of slatted shelving in N° 26 & 35.

New studwork partitions. Ce & S render to balance side, plasterboard, scime set elsewhere. Insulate bathroom with 50mm woodwool. Knock off plaster to existing partitions in bathroom and P & T. expanded metal lathing and render in cement and sand undercoat in plaster.

Remove c.w. tank from roof space over Store 31. Remove access door in flat roof over E/H in opening and re-roof.

Repair roof access hatch as necessary.

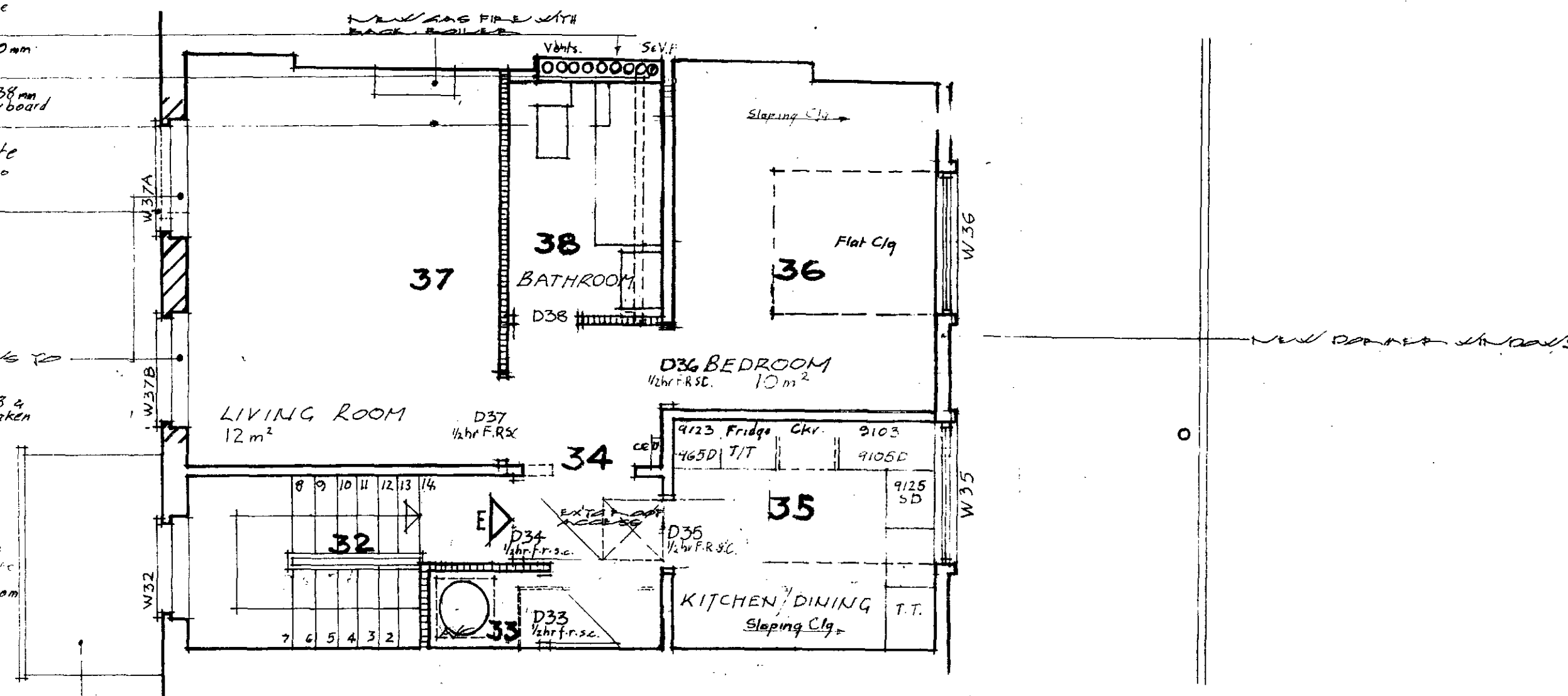
Rewire electrics as specified.

Remove floorboards, sound insulate with 25mm mineralwool quilt laid over joists and relay boards. Repair or re-place as necessary.

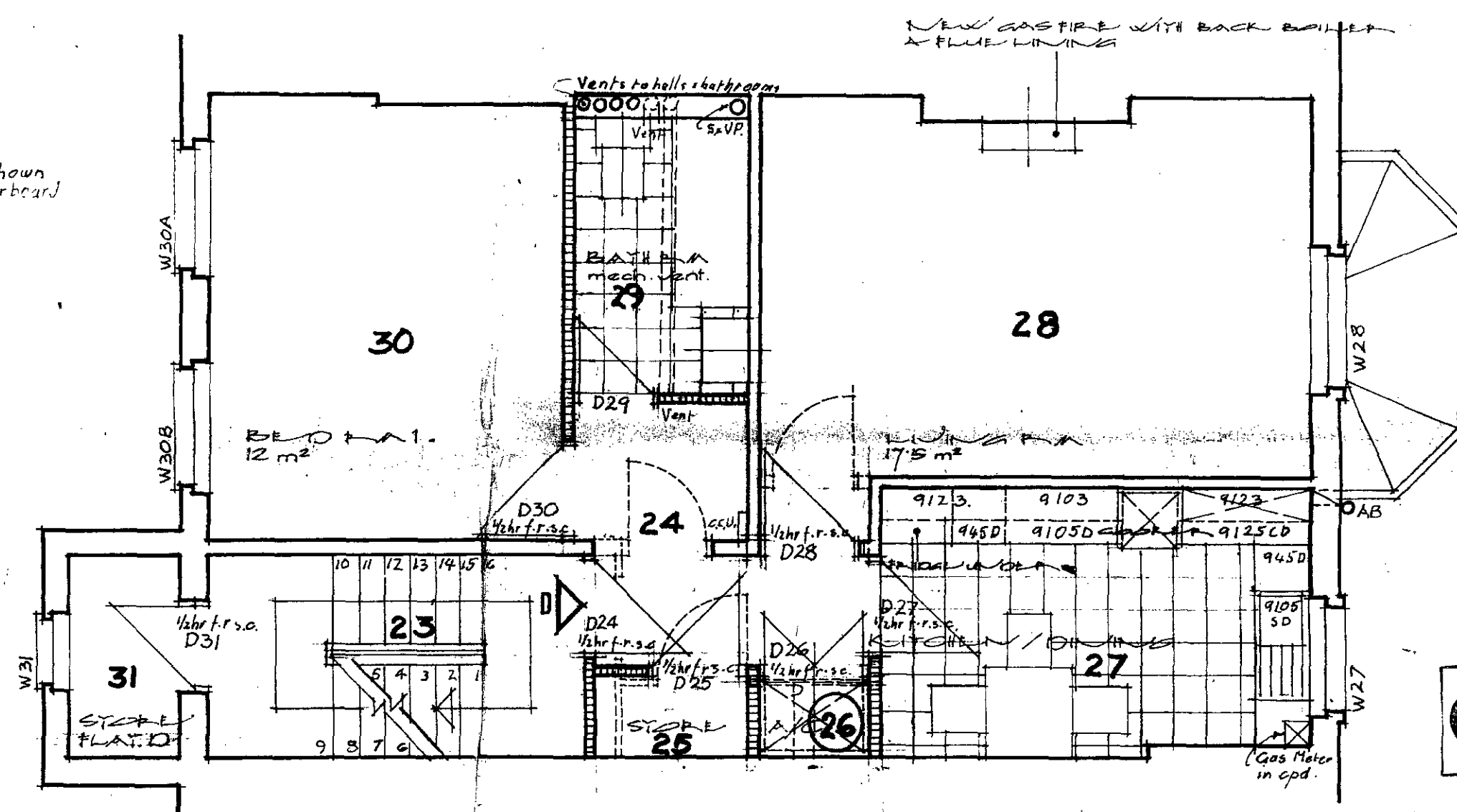
Lay 4.5mm ply wood on timber boards to kitchen and bathrooms and finish with vinyl tiles. Lay 3.2mm tempered hardboard to all other floors.

Remove existing doors and frames where shown and block up opening with studwork and plasterboard to line with existing finish.

Install gas meter in kitchen flment.



THIRD FLOOR PLAN.



SECOND FLOOR PLAN.

LONDON BOROUGH OF CAMDEN
TOWN AND COUNTRY PLANNING ACTS
30 JAN 1980
PLANS NOT APPROVED
ON BEHALF OF THE COUNCIL

CTP/G7/15/5/28646(A)

NOTES

1. Check dimensions on site before putting work in hand. Refer any uncertainty to architect. Design and drawing are copyright.

2.
FLAT D. 2 person
E. 1 person

B OCT '79 REVISION TO LAYOUT OF FLAT E WITH 2N° NEW DORMER WINDOWS

A APRIL KITCHEN & BATHROOM TO 3RD FL. FLAT REDUCED IN WIDTH

REVISIONS

TITLE
SECOND & THIRD FLOOR PLANS AS PROPOSED

SCALE 1:50 DRAWING NO 924/5 REV B

PROJECT
GLANCASTER GROVE N.W.3.

FOR
L.B.C

DATE JAN '79. SIGNATURE

pma

PEARLMAN MOIRET ASSOCIATES
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Chichester House Chichester Road
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3 No. 100mm asbestos vent pipes connected to mech. vent unit serving internal bathrooms, run independently to terminate 300mm above roof.

3 No. 100mm asbestos vent pipes connected to vent in halls, run independently to terminate above roof, run in ceiling/floor space above bathrooms.

Form duct of 38x38mm s.w. framing covered with 2 layers 9.5mm plaster board with access panels.

100mm plastic S.V.P. in duct to terminate 300mm above roof.

For windows and doors, see schedules.

Remove existing fireplace complete. Block up opening and build in plaster louvre at h/l in rooms 22 & 13.

Remove existing fireplace complete. Fit new gas fire with back boiler. Flue taken up lined chimney in rooms 20

New studwork partition, C&S render to bathroom side, plasterboard, scim and set elsewhere. Insulate bathrooms with 50mm woodwool. Hack of plaster to existing partitions in bathrooms and p.e. expanded metal lathing and render in elements sand and set in plaster.

Airing cupboard. C.W.S. tank at h/l. F&E tank below with F.W. cylinder on timber bearers on floor, with 4 No. heights of slatted shelving.

Remove existing fittings, cupboards, partitions etc not shown retained.

Repair staircases, balustrading etc as necessary.

Rewire electrics as specified.

Remove floorboards over flats below. Sound-insulate with 25mm mineral wool quilt laid over joists, and relay boards. Repair as necessary.

Lay 4.5mm plywood on timberboards to kitchen and bathrooms and finish with vinyl tiles. Lay 3.2mm tempered hardboard to all other flat floors.

Remove existing doors and frame: where shown and block up opening with studwork and plasterboard to line with existing finish.

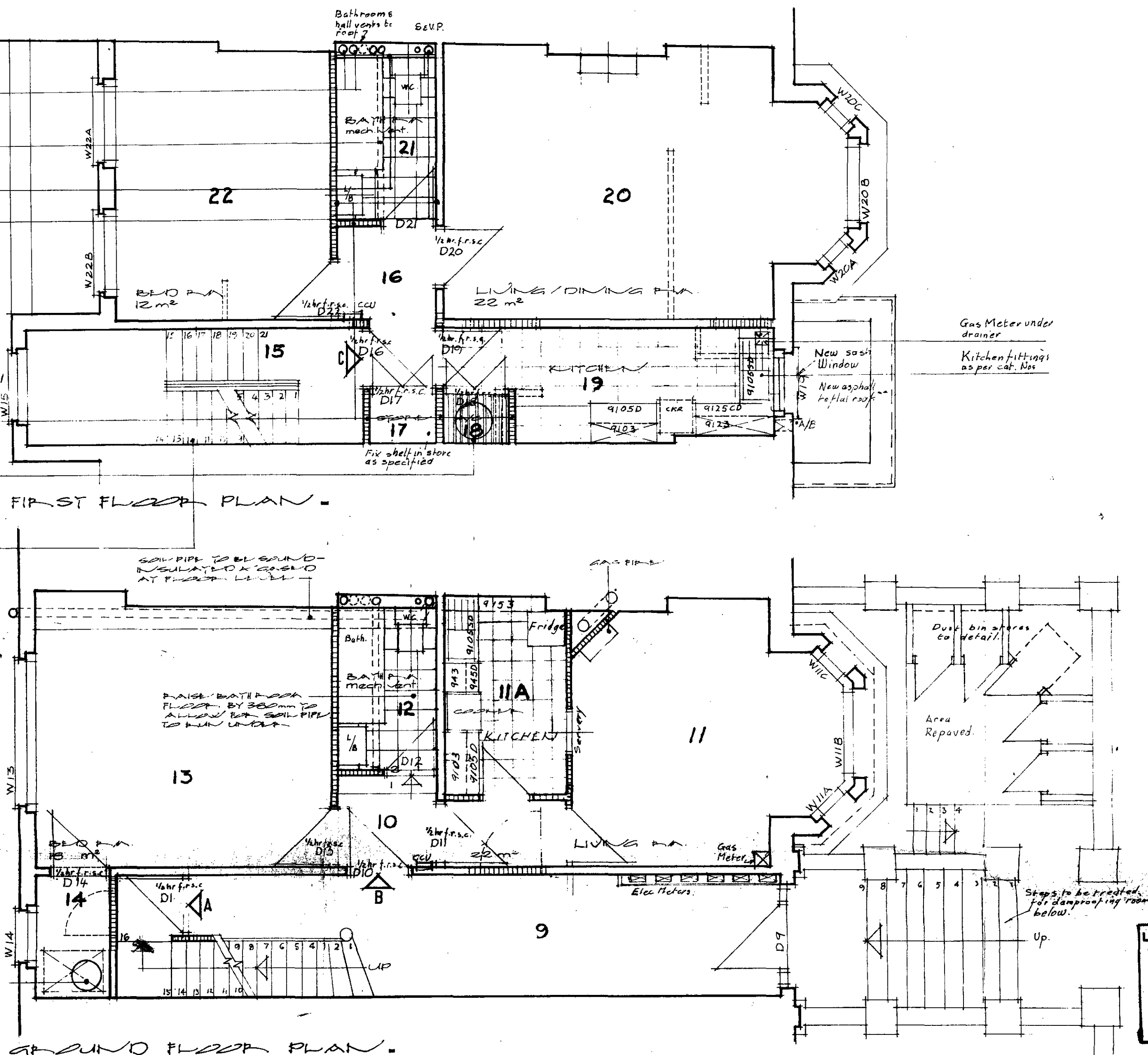
Construct f.r. cupboard at h/l in hall (9) for electric meters.

Install gas meter in kitchen, fitment, or construct f.r. cupboard as shown.

Replate front door (09) side panels and glazing as originally.

Elec. meter in F.R. Cupboard at h/l in Hall.

C.W.S. tank at h/l with Multi-storage gas water heater below vented to open air. H.W. cylinder on timber bearers on floor, 4 No. heights of slatted shelving.



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2.

FLAT B. 2 person

C. 2 person

D 7-11-79 ROOM 11 REVISED TO PROVIDE A SEPARATE KITCHEN (11A)
C 28-8-79 ROOM, DOOR, & WINDOW N°1 ADDED. CONSTRUCTION & FINISHING NOTES ADDED. DUSTBIN STORES ADDED
B 19-4-79 KITCHEN LAYOUT REVISED
A 21-3-79 MINOR REVISIONS MADE

REVISIONS

TITLE

GROUND & FIRST FLOOR PLANS AS PROPOSED

SCALE

1:50

DRAWING NO

924/4

REV

D

PROJECT

GLANCASTER ROAD N.W.3.

FOR

LONDON BOROUGH OF CAMDEN
TOWN AND COUNTRY PLANNING ACT 1978
30 JAN 1980
DATE
APPROVED
PLANS NOT APPROVED
ON BEHALF OF THE COUNCIL

SIGNATURE

SA

pma

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CTP/G7/15/5/28646(R)

ROOF ACCESS.
Repair as necessary.

BALCONY ROOFS.
Strip off existing covering. Rescreed balcony over front porch with 50mm av. screed to fall. Lay new firings to fall to rear balconies. Fix 25mm s.w. f.g. boarding. Cover all balconies with paving grade asphalt.

HEATING AND VENTILATION.
Fix only gas fire and multi-point gas water heater to C.P.F. Fix only gas fire with back boiler and h.p. cylinder to upper floors. Supply and fix 50mm C.V. pipe to each flat. Provide mechanical vent to all internal bath rooms, with independent vent rising in duct through roof to open air. Examine void over lift flow, store floor. Remove any tank and spall off services. Remove access trap and seal off.

STAIRCASE.
Repair or replace any risers, treads or balusters found defective.

INTERNAL DOORS.
Remove existing doors complete where shown on plans and build up whole or part opening as required with softwood framing and plaster board as described elsewhere. Supply and fix new doors, frames, architraves, stops etc. as shown. Those shown f.r.s.c. to have Perko door closers.

CUPBOARD SHELVES.
Supply and fix in cupboards shelving as shown on detail drawings.

BOUNDARY WALLS.
Part demolish unsafe portions of brick wall and repair and repoint remainder.

KITCHEN AND BATHROOM FITTINGS.
Fix only, where shown, fittings to be supplied.

FIREPLACES.
Remove fireplace complete including surround and hearth.

SOUND PROOFING.
Take up floors to ground floor above flat 'A'. Fix new joists between joists, lay 25mm mineral wool gills draped over new joists. Lay 15mm t.g. flooring, gills skip and on 6mm rubber strips coated and sealed with polyurethane on existing joists. Refix flooring.

PARTY FIRESTOP WALL.
Part demolish unsafe portions, repair & render remainder.

CHIMNEYS.
Replace chimney pots, repair stack as necessary and render.

ROOF.
Remove existing slates. Renew roof timbers as necessary. Retile with asbestos slates on 38 x 19mm battens on one layer. Unsealable roofing felt secured to rafters.

EAVES.
Replace extg. gutter with Marley black 100mm half round gutter discharging into 50mm black downpipes. Repair eaves, as necessary, and paint to match existing.

DORMER WINDOW.
Remove extg. dormer window complete. Enlarge opening for new dormer window including existing rafters etc. and reframe up to new eaves. Supply and fix 25mm standard steel casement windows. Cover gap with 3 layer felt roofing on 25mm t.g. boarding on 75 x 38mm joists with 50mm mineral wool insulation. Cover details with slates to match roof on battens, felt, framing, and insulation as far roof.

SASH WINDOWS.
Remove upper window at rear complete including sill, linels etc. Build up opening as necessary to match existing. Supply and fix 25mm standard steel casement windows where shown including re. lintel internally with 150mm bearing each end and 150mm (min) steel lintel with soldier course externally, comp. all externally and timber window board into. Repair or replace defective parts or make of timber sashes or frames, as necessary to other windows including cills, all to match existing.

FLOORS.
Finishes - kitchens and bathrooms vinyl asbestos tiles and 5mm plywood. All other floors 3mm hardboard on existing timber floor or replace s.w. boards. Sound insulation of party floors - erect new suspended ceiling, 25mm below extg. ceiling finish with 25mm layers, 75mm plasterb'd and acm (except to flat 'A'). Structure - remove defective joists, treat all joists with preservative, replace floor boards as necessary.

PARTITIONS.
75 x 50mm studs with 12.5mm plb'd and acm to each side except to bathrooms where inner face is 6.5 render as a.c. with 50mm wood wool insulation between stud members. Where new partitions run parallel with floor joists, joists to be doubled up below partitions. Repair or replace defective parts or make of timber sashes or frames, as necessary to other windows including cills, all to match existing.

BRICKWORK & RENDERING.
Repair defective brickwork, replace where necessary and repoint. Back of all defective rendering, rake out, patch, render and render in c/s. to match extg.

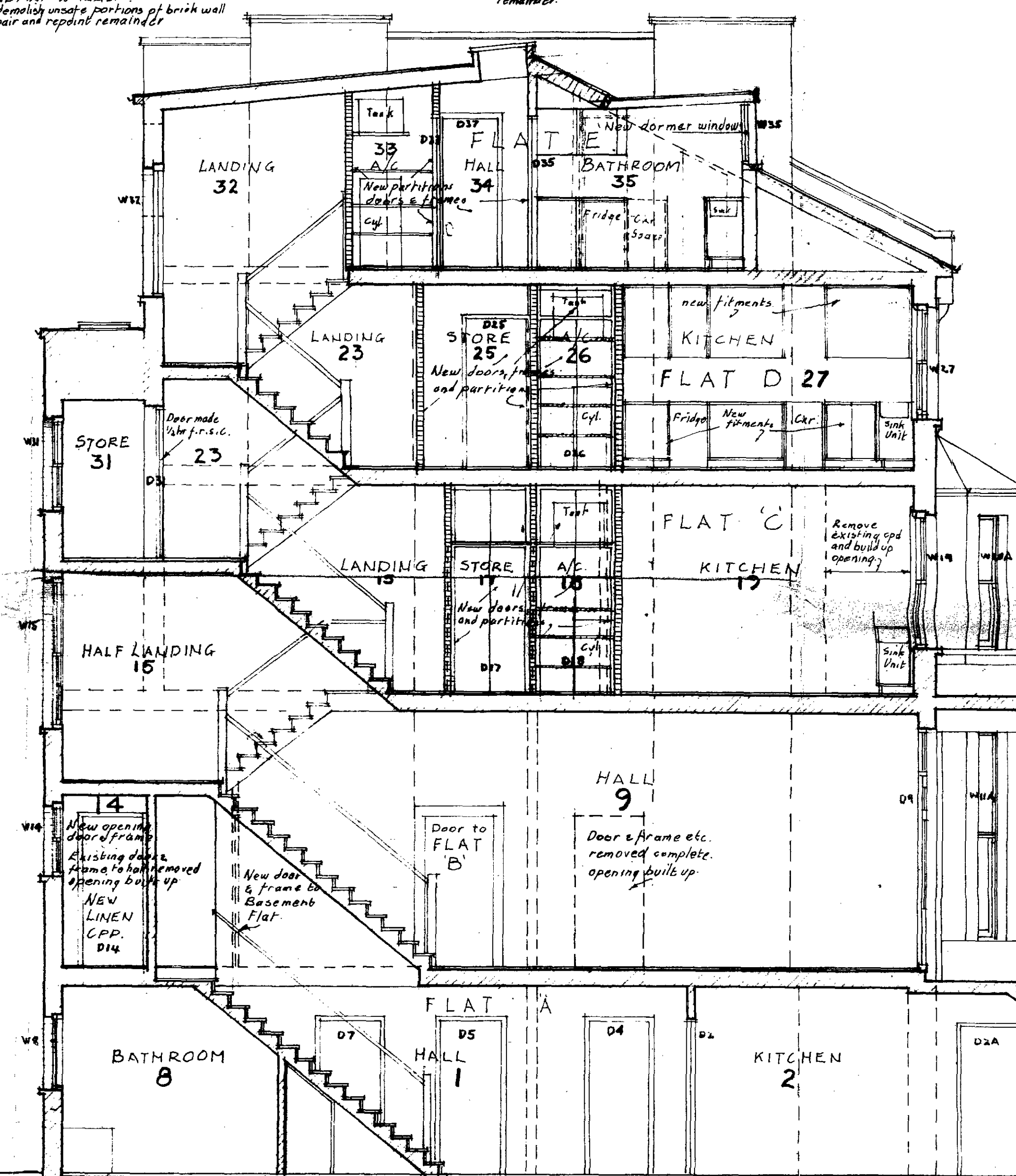
SKIRTINGS.
Supply new 100 x 19mm s.w. skirting to all new partitions.

FRONT AREA.
Remove extg. finish and lay 38mm conc paving slabs on sand base on 100mm hardcore, laid to falls. Break up and reform steps to basement area. Repair front wall.

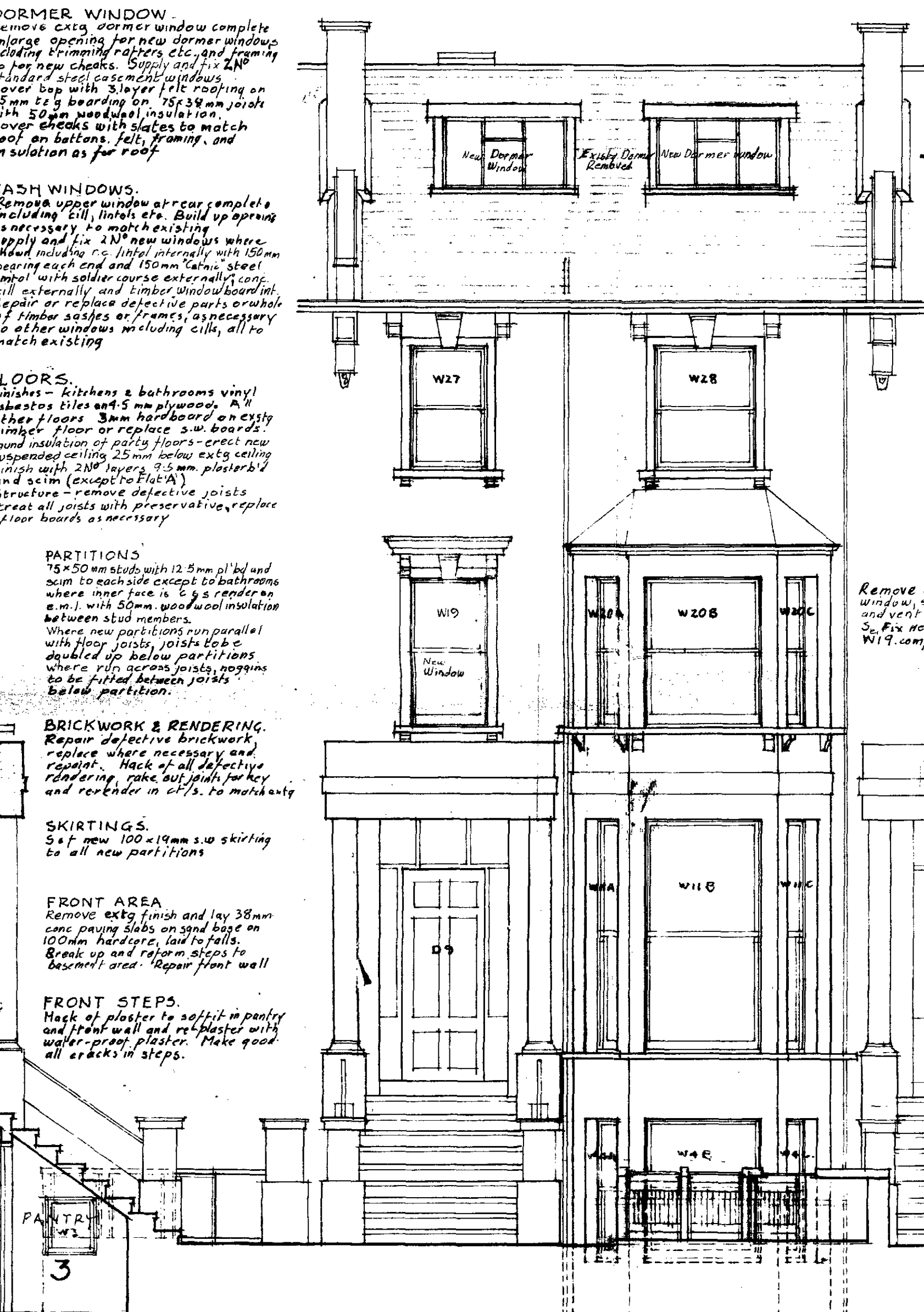
FRONT STEPS.
Hack off plaster to soffit in pantry and front wall and re-plaster with water-proof plaster. Make good all cracks in steps.



REAR ELEVATION



SECTION



FRONT ELEVATION

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CTP/67/15/5/28646(M)

A Oct 79 Dormer windows revised. W19 replaced. Bin stores added.

REVISIONS

TITLE
ELEVATIONS & SECTIONS
AS PROPOSED

SCALE 1-50 DRAWING NO 924/6 REV A

PROJECT
NO 6 LANCASTER GROVE NW3.

FOR
LONDON BOROUGH OF CAMDEN

DATE March 1979 SIGNATURE [Signature]

LONDON BOROUGH OF CAMDEN
TOWN AND COUNTRY PLANNING ACTS
30 JAN 1980
PLANS APPROVED
ON BEHALF OF THE COUNCIL

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