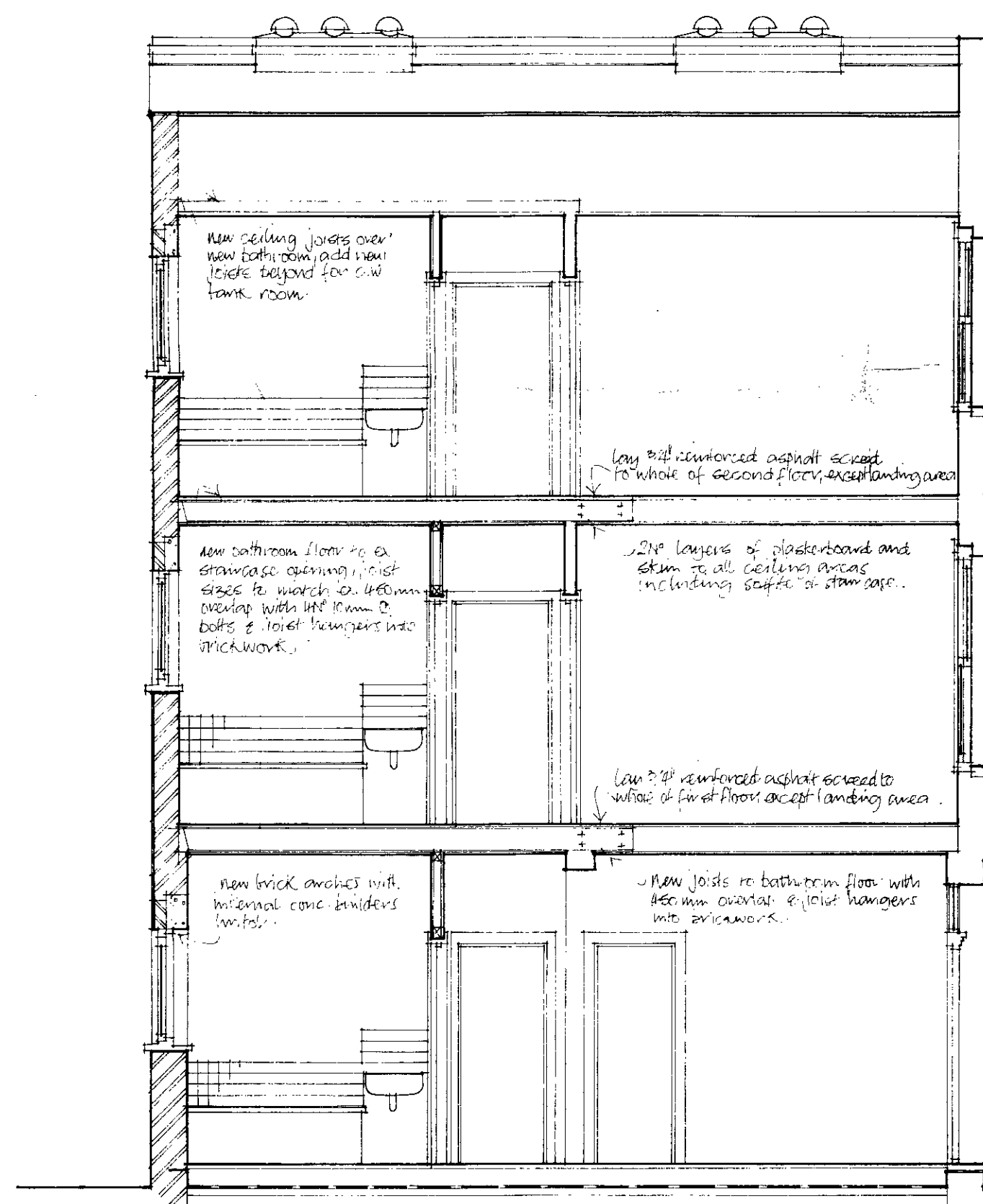


2



SECTION THRO' PROPERTY.

Ground Floor: Form new concrete receptacle slab to match to ground floor as shown.
Basement: Excavate on 150mm concrete over 1000 mm. (1/2\"/>

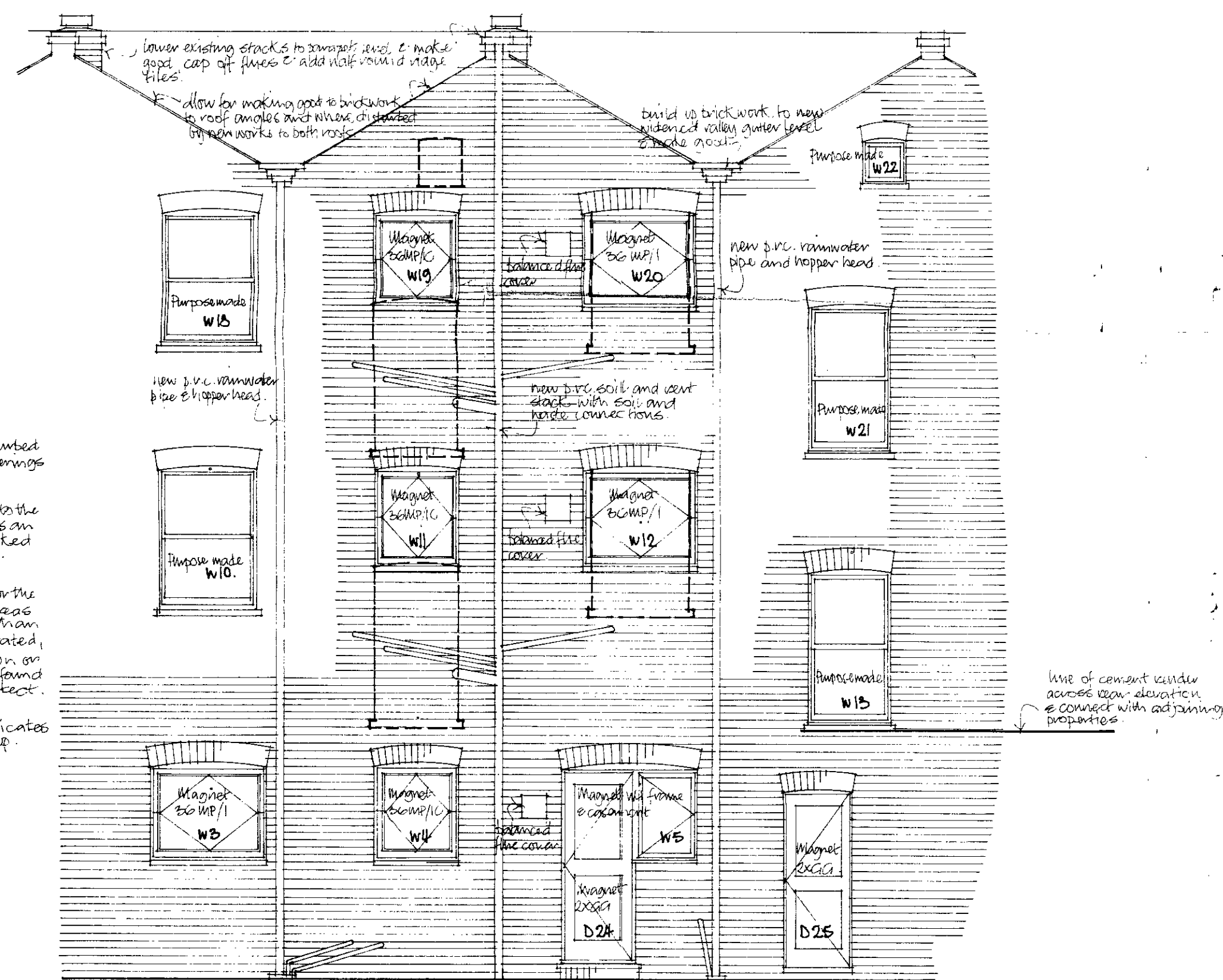
GENERAL NOTE:

The Contractor is to strip back disturbed brickwork and block up existing openings with matching bricks & bond.

The brick coursing is not a guide to the number of courses required, it is an indication of the areas to be stripped back and made good.

The Contractor should also allow for the cutting out and replacement of areas of defective brickwork other than those areas indicated and noted, which may appear in demolition or new work & of which may be found after inspection by the Architect.

Thick black dotted lines indicate existing openings to be bricked up.



REAR ELEVATION.

FRONT ELEVATION

Allow for the replacement of 80% of existing soft low frame windows (to match existing) and allow for overhauling existing bay doors and make, replacing damaged sills and make, add new gullies, heads and sink work, replacing where necessary. Overhaul, repaint, make good all stone work areas, including sills, reveals and heads to windows and doors. Allow for the abutting down of brickwork and repair to any damaged brickwork areas. Allow for the removal of existing main entrance door or for the complete overhaul as to be directed.

REAR ELEVATION

Allow for the replacement of all windows and doors. Alter, adapt existing and make new openings where indicated to take windows and doors. Form new brick arches with internal concrete blocks where indicated and bricking in matching studs redundant window / door openings. Clean down brickwork and allow for approximately 70% repainting after new work. Allow for 2 No. 1/2\"/>

ROOF

Allow for the replacement of approx. 60% of all roof slates. Form new widened zinc valley gutters to fall to rear of property. Add new soffits over existing felt and restate using as many of the existing slates as possible. Insulate the whole of the roof space with glass fibre insulation. Add all new necessary flashings. Add new top course on the and new brick on edge coping to party parapet walls. Cap off flues with half round ridge tiles bedded to top of old main chimney stacks. Repaint and make good parapet and chimney stacks. Reform roof light and add new opening light for roof access.



FRONT ELEVATION.

g11/25/A/24747.

Rothermel Cooke

Architects Planners Designers
27 Ovington Square
London SW3 1LJ
01-581 2986-9

JOB TITLE
21 & 22 GRAFTON CRESCENT, NW1.
DRAWING TITLE
ELEVATIONS & SECTION
SCALE 1:50 DATE MAY 1977
JOB No. 528 DRAWING No. 3 REVISION No.

WILLES ROAD HEALEY STREET G I A