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CONSTRUCTION DETAILS. DO NOT SCALE



LONDON BOROUGH OF CAMDEN
TOWN AND COUNTRY PLANNING ACTS
19 FEB 1986
PLANS APPROVED
NOT APPROVED
ON BEHALF OF THE COUNCIL

TP 8502094

folly investments ltd	
Alterations to 7-9 Langland Gardens LONDON NW3 Mr B. Woolcott	PROPOSED Rear Elevation
Tony Hucklesby RIBA Architect	Scale 1/50 Date MAR 84 Drawing 70-25
The SYCAMORES Kneesworth Street ROYSTON Herts SG8 5AF (0763) 41078	

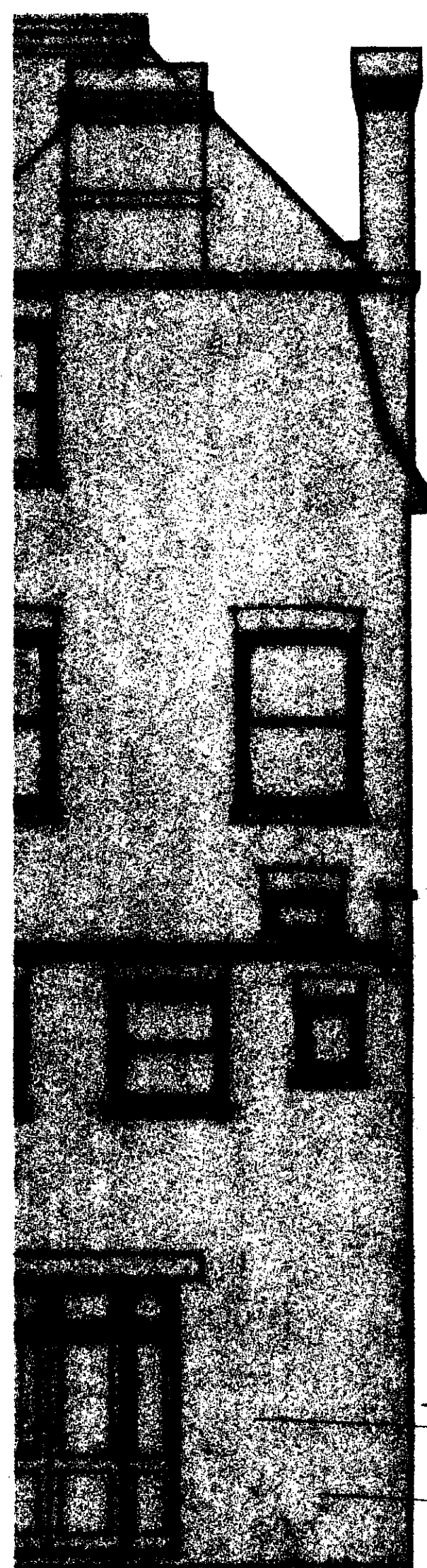


EAST ELEVATION

LONDON BOROUGH OF CAMDEN
TOWN AND COUNTRY PLANNING ACTS
19 FEB 1986
APPROVED
PLANS NOT REVISED
ON BEHALF OF THE COUNCIL

TP 8502094





WEST ELEVATION

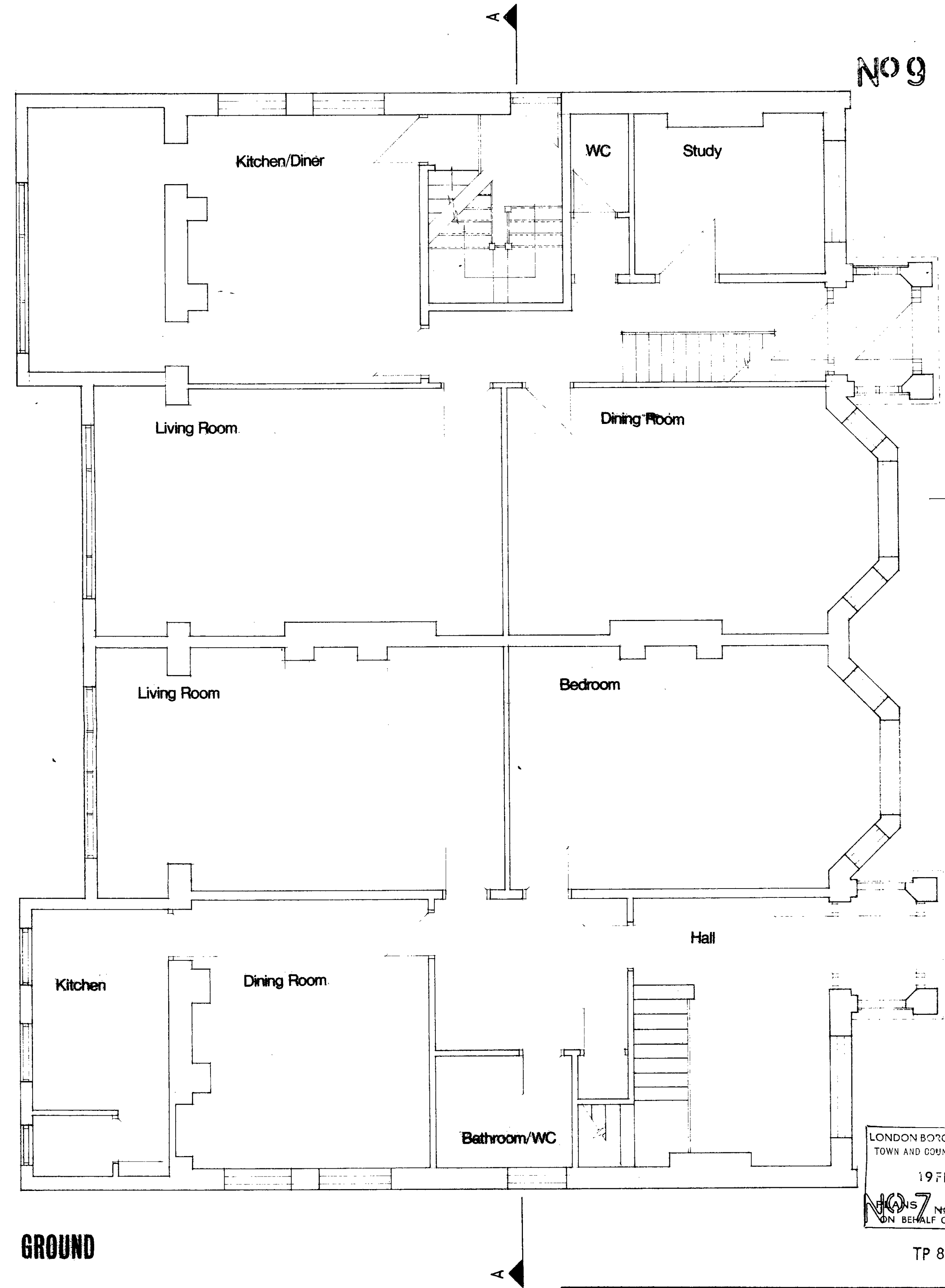
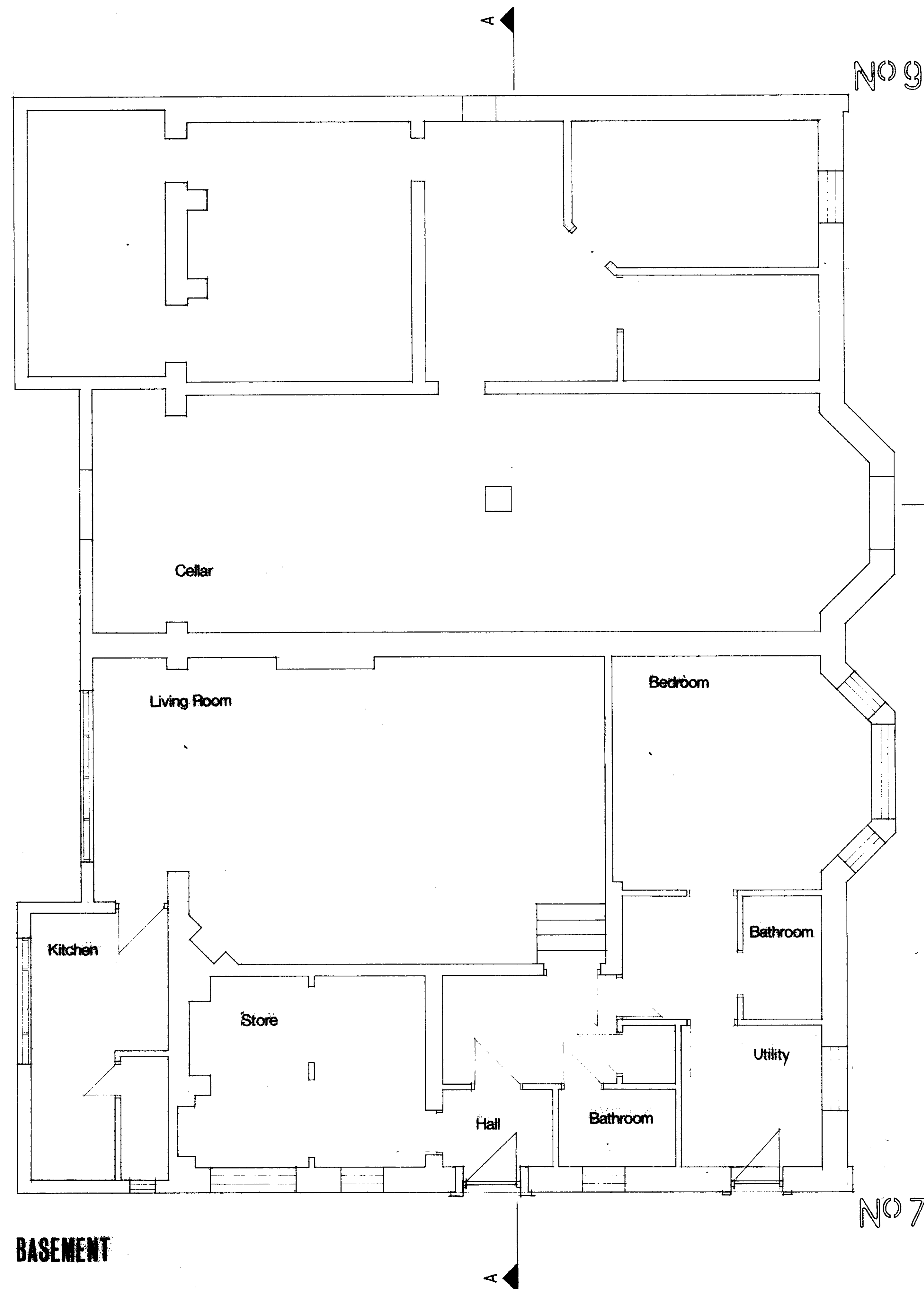
LONDON BOROUGH OF CAMDEN
TOWN AND COUNTRY PLANNING ACTS
19 FEB 1986
PLANS ~~NOT~~ APPROVED
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TP 8502094





7p 8502096

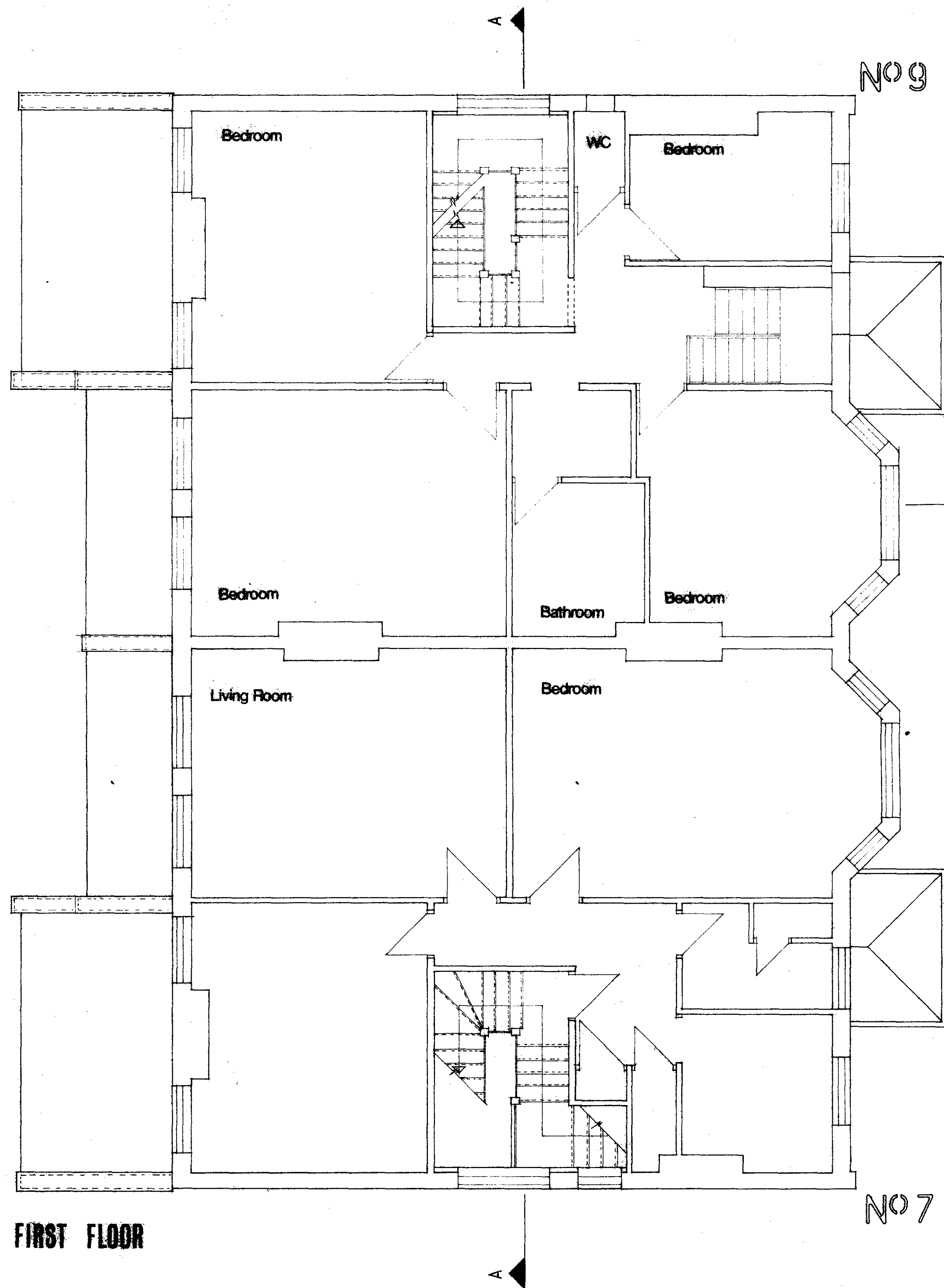
Folly Investments Ltd



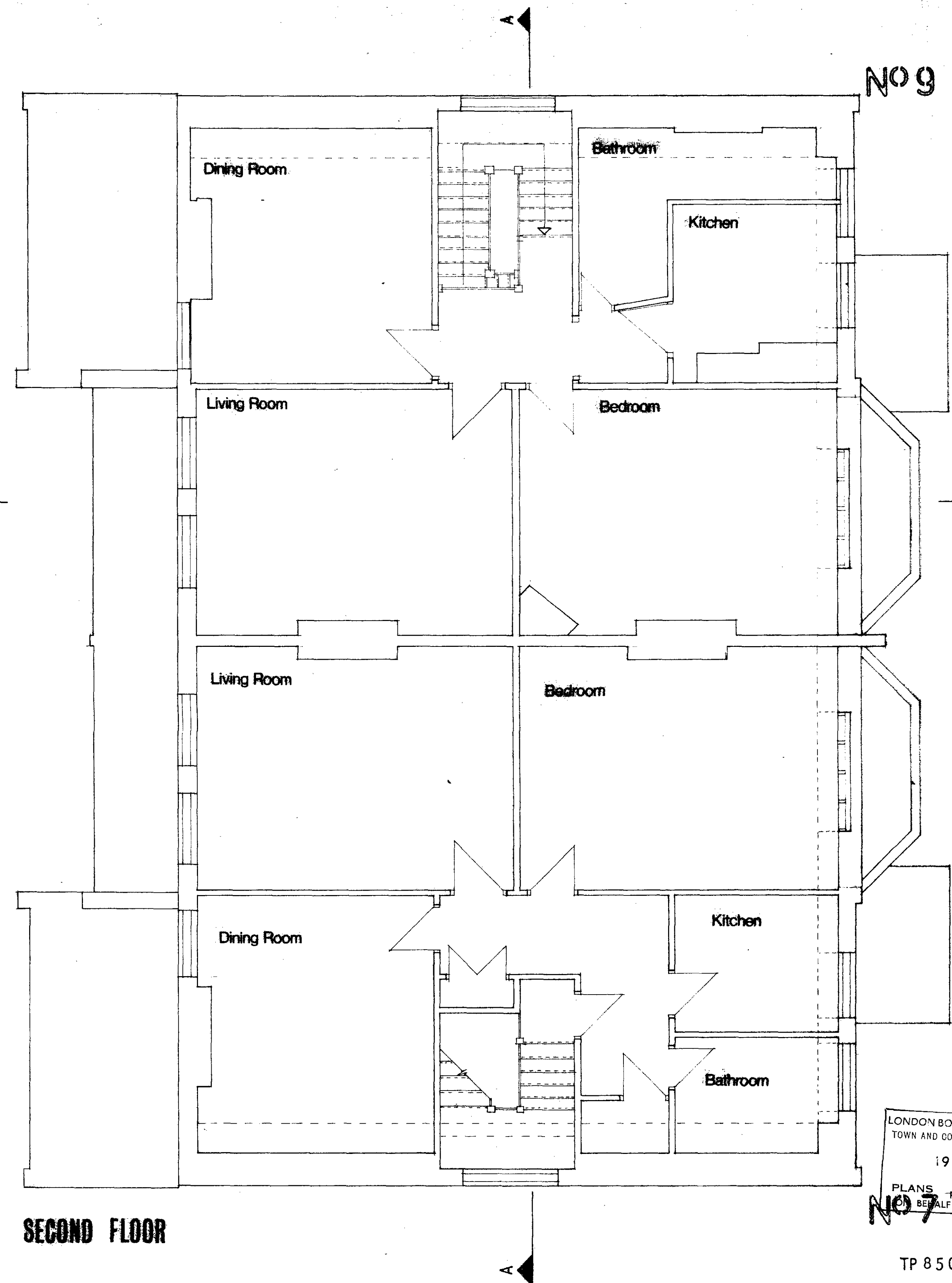
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TOWN AND COUNTRY PLANNING ACTS
19 FEB 1986
APPROVED
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ON BEHALF OF THE COUNCIL

TP 8502094

to by investments ltd	
Alterations to 7-9, Longland Gardens LONDON NW3 Mr B Woolcott	Any Plans on Listing (Statement and Report)
Tony Bucklesby RIBA Architect	Scale: 1/50 Date: 1986.02.04 Drawing: 100/1
The SYCAMORES, Knesworth Street ROYSTON Herts SG8 5AF (0763) 41073	



FIRST FLOOR



SECOND FLOOR

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TOWN AND COUNTRY PLANNING ACTS
19 FEB 1986
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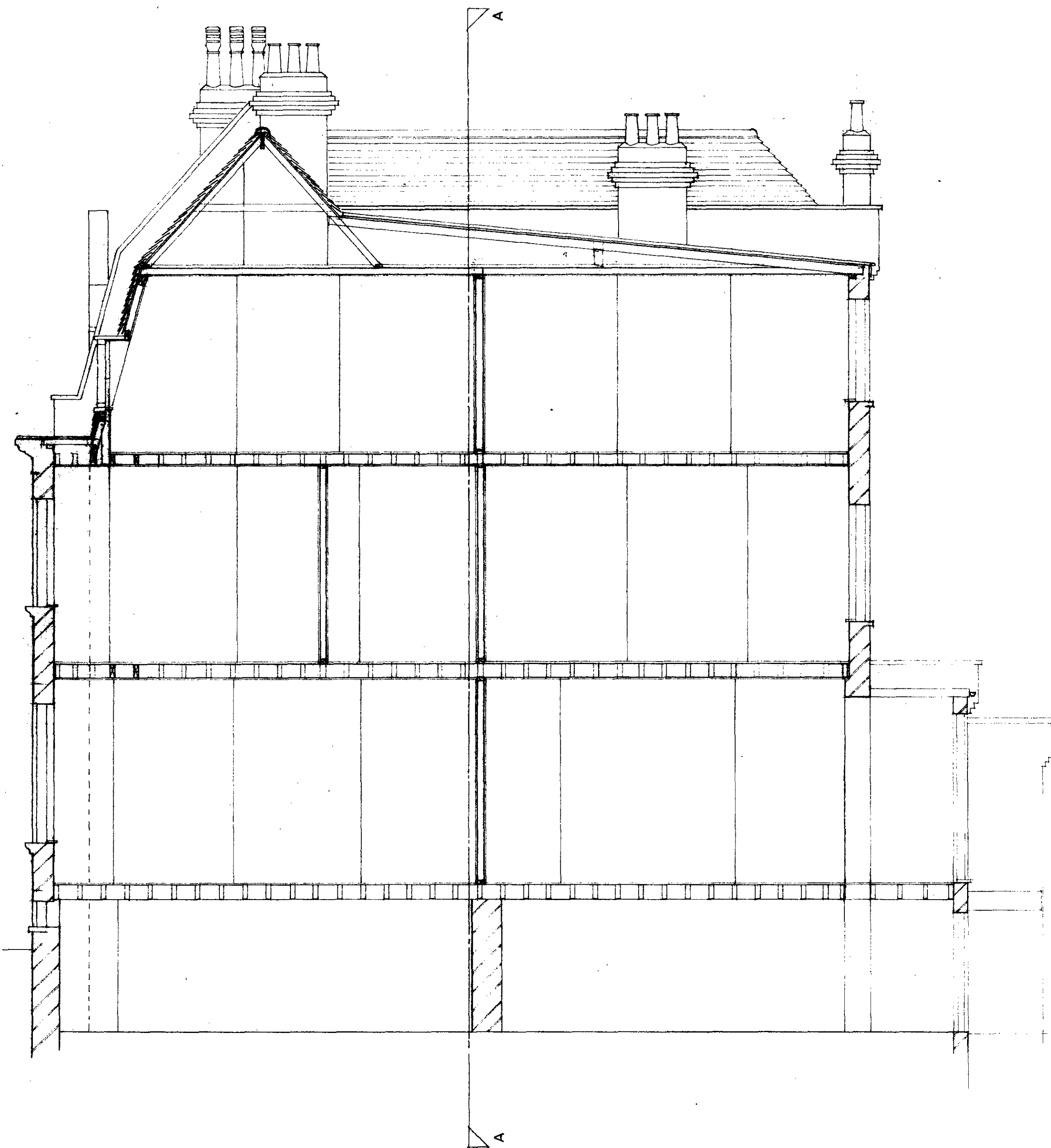
TP 8502094

100% Investment Return

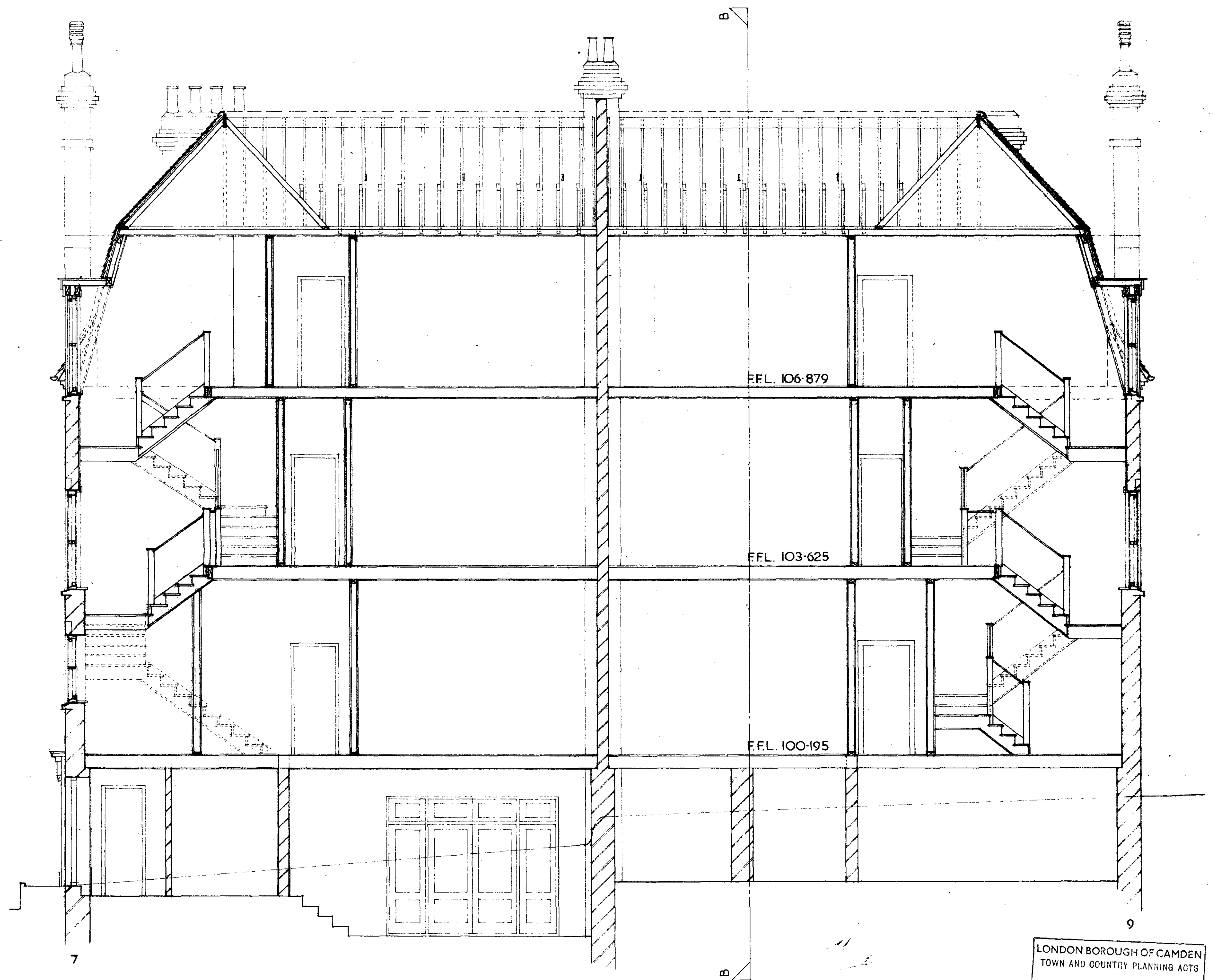
Alterations to
7-9 Langford Gardens
LONDON N.W.3
Mr. P. Wootton

Penny Blackley RIBA
Architect

100% Investment Return



EXISTING SECTION BB



EXISTING SECTION AA

LONDON BOROUGH OF CAMDEN
TOWN AND COUNTRY PLANNING ACTS
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TP 8502094

folly investments ltd

Alterations to
27-29 Langford Gardens
LONDON NW3
Mr J. Woodhull

Architects



NO 3

NO 3

NO 7

NO 7

FIRST

SECOND

INTERNAL WALLS New
New internal walls to be 100mm x 50mm studwork on soleplates @ 400mm with mid height noggin and 12.7mm plasterboard lining to both sides with scrimmed joints.
Partitions common to W.C compartment and habitable room to have 63mm fibre glass infill.

EXISTING SEPARATING WALLS AND CEILING
If existing 25mm lathe and plaster to exist ceilings and walls is not in sound condition then the following will be necessary to the satisfaction of the District Surveyor.
CEILING
Exist ceiling supported by chicken wire nailed to joists and ceilings battened out to receive first layer of 9.5mm Gyproc wallboard or similar approved and second layer of 9.5mm Gyproc wallboard or similar with all joints staggered, taped and scrimmed.

WALLS
Existing staircase separating wall to have additional layer of 12.7mm Gyproc wallboard or similar etc nailed over existing unsound lathe and plaster.
SEPARATING WALL THAT NEED TO BE REBUILT
Existing separating walls to be rebuilt with studwork to match existing and to be lined with 12.7mm Gyproc wallboard or similar approved and a second layer of 12.7mm Gyproc Firslite board or similar approved to both sides with all joints staggered.
NEW FLOOR (3rd Floor Level)
22mm flooring grade plywood on 225mm x 50 S.W. joists. (over existing existing ceiling joists) at 400mm/c bolted to rafter with 2 N° M12 bolts and 51 # toothed timber connections. Double joint to be provided under partition in direction of span.

CHIMNEYS AND FIREPLACES
Fireplace and hearth to comply with all respects of London Building Act to be to the satisfaction of the District Surveyor. Where appropriate fire linings to be clay rebated or updated to BS 1181 for Class 1 or Class 2 appliances laid with socket upper most.

BALUSTRADES TO BALCONIES
Minimum height of handrail to be 900mm, maximum spacing between railings to be 100mm.

NATURAL VENTILATION
Minimum 5% Floor area to all rooms.

Mechanical Ventilation
As indicated by specialist to be capable of three air changes per hour. Activated by light switch with 20 mins. over run.

INTERNAL JOINTS
To be by Baulton and Peel or similar approved with glazing beads and related to accept double glazing when applicable.

INTERNAL JOINTS
Doors to be 4 hour self closing where necessary standard flush panelled to have storey height frames glazed or panelled as required. Bathroom and toilet doors to have emergency release locks.

STAIRCASE SKIRT
Soffit of existing staircase to be lined throughout with 12.7mm gyproc wallboard or similar approved.

STAIRCASES New
To have a minimum clear width of 800mm with equal risers. A minimum clear height of 2.000m vertically above line of nosings, handrail up to a minimum height of 900mm above line of nosings 900mm on landings with maximum spacing of 150mm between balustrades maximum pitch 42°. Going and treads to be greater than 500mm and less than 700mm.

ALL WORK TO MATCH EXISTING & TO BE TO DISTRICT SURVEYORS SATISFACTION.

REV A. 25-5-84 SPECIFICATION NOTES ADDED

TP 8502094

folly investments ltd

Alterations to
7-9 Langland Gardens
LONDON NW3
Mr B Woolcott

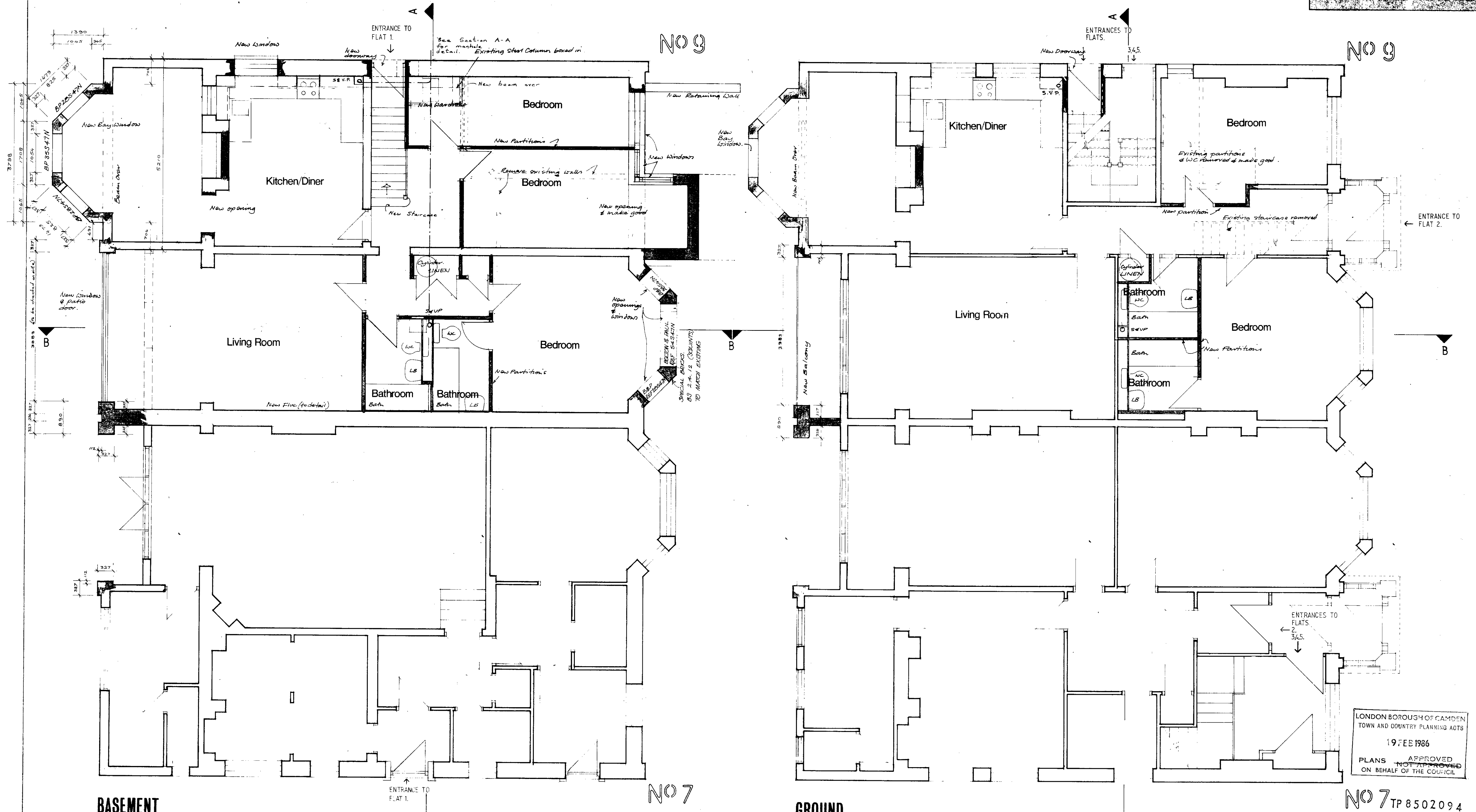
Floor Plans
as Proposed.
(First and
Second)

Tomy Huckleby RIBA
Architect

Scale 1:50
Date MAR 84
Drawing 70-15 A

The SYCAMORES Kneeworth Street ROYSTON Herts SG8 5AF
(0783) 410275

R0070



BASEMENT

SINGLE STACK SYSTEM to BS5572

110mm ducted PVC soil and vent pipe with provision for access cage terminal minimum 900mm above ventilated openings within 3.000m. No waste connections to S.V.P. within 300mm of W.C. connection, provide rodding eyes as necessary. Basin waste 32mm dia. bath and sink waste 38mm dia. all with 25mm deep trapping traps with access for cleaning if more than 1.5m long. Bath - syphon trap if necessary.

WATER PROOFING

To be approved type minimum 150mm above ground level and applied to existing and new tanking. Vertical d.p.c.'s at all new window and door openings with d.p.c. trays over all new openings in external walls.

WATER PROOFING

Water proofing applied on 100mm (1:2.5) concrete slab and 100mm concrete or similar below S.V.P. tank to waterproofing tanking and internal structure with 2.5mm and tanking in 25mm concrete (minimum concrete thickness on structure from consolidation tanking).

EXTERNAL WALLS EXISTING

TANKING

Existing lower ground walls to be water proofed with 3 course vertical asphalt tanking or similar approved with 100mm blackboard leading wall to internal face. Tanking to be effectively lapped with d.p.c. and d.p.c.'s.

EXTERNAL WALLS New

No to 150mm overall of facing brick or rendered block outer skin minimum cavity 50mm with wall gas of approved manufacture at minimum 420mm. All vertical and horizontally embedded on plan and in section at all corners and where necessary in plan. Outer skin to be 100mm thick all to plan with 10mm air gap up to 1200mm below S.V.P.

INTERNAL WALLS New

New internal walls to be 100mm x 50mm studwork on soleplates 800mm with mid height nogging and 12.7mm plasterboard lining to both sides with unrimmed joints.

Partitions common to W.C. compartment and habitable room to have 6mm fibre glass to fill.

EXISTING OPERATING WALLS AND CEILING

If existing 25mm lath and plaster to exist ceilings and walls in not in sound condition then the following will be necessary to the satisfaction of the District Surveyor.

CEILING

Brick ceiling supported by chicken wire nailed to joists and ceilings battened out to receive first layer of 9.5mm Gyproc wallboard or similar approved and second layer of 9.5mm Gyproc wallboard or similar with all joints staggered taped and skimmed.

WALLS

Existing staircase separating wall to have additional layer of 12.7mm Gyproc wallboard or similar approved over existing unrimmed lath and plaster.

SEPARATING WALL THAT NEED TO BE REBUILT

Existing separating walls to be rebuilt with studwork to match existing and to be lined with 12.7mm Gyproc wallboard or similar approved and a second layer of 12.7mm Gyproc wallboard or similar approved to both sides with all joints staggered.

INTERNAL PARTITIONING

Minimum 25mm floor area to all rooms.

INTERNAL PARTITIONING

As indicated by specialist to be capable of these and other loads. Activated by light switch with 20 ampere and 10A.

GROUND

EXTERNAL WALLS

To be by Boulton and Paul or similar approved with glazing units and rebated to accept double glazing when applicable.

INTERNAL WALLS

Walls to be 4 hour self closing where necessary standard 100mm thick to have storey height frames glassed or laminated as required. Bathroom and toilet doors to have self-closing release locks.

STAIRCASES

Soffit of existing staircase to be lined throughout with 12.7mm Gyproc wallboard or similar approved.

STAIRCASES

To have a minimum clear width of 800mm with 2000mm clear height of 2.000m vertically above floor of staircase. Minimum 200mm at minimum height of 2.000m above floor. Minimum 200mm at minimum height of 2.000m above floor. Minimum 200mm at minimum height of 2.000m above floor.

LONDON BOROUGH OF CAMDEN
TOWN AND COUNTRY PLANNING ACTS
1974
PLANS APPROVED
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NO 7 TP 8502094

Rev C Specifications notes added.

BH 25.5.84

REB BOLDEN & PAUL REF NO ADDED TO BASEMENT BAY WINDOWS.

CD 18.5.84

Rev A Dimensions to Bay and Balcony Piers added.

BH May 84

Tolly Investments Ltd

Alterations to
7-9 Langland Gardens
LONDON NW3
Mr B Woolcott

Floor Plans
as Proposed
(Basement and
Ground)

Tony Hunklesby RIBA
Architect

Scale 1:50
Date Mar 84
Drawing 70-14-4

The SYCAMORES Kneeworth Street ROYSTON Herts SG8 5AF
(0763) 41073

R00 70

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Existing Public open space

EXISTING FOUNDATIONS
Existing foundations - to be underpinned to the satisfaction of the District Surveyor.

NEW FOUNDATIONS
New foundations to be a minimum depth of 1.000m below ground level, use minimum 1:6 concrete if ground conditions warrant, suitable retaining cement concrete bridge and blocks to be used, specific site submission to be agreed between builder and District Surveyor.

BASES
New bases 100mm 'supercrete' to fall 1.60m surrounding in 150mm concrete. Drains under building to be contained in 150mm concrete. R/C lintels over drains passing through walls.

BASES
Surface Water

NEW HIGH LEVEL ROOF
New High Level Roof to be drained to existing combined system.

BALCONIES AND NEW LOW LEVEL ROOF
Balconies and new low level roof to be drained into 100mm dia. or similar approved down pipe and into 100mm 'supercrete' to fall surrounded in 150mm concrete.

INSPECTION CHAMBERS
In 225mm class B engineering bricks on minimum 100mm concrete base.

ALL EXISTING GULLIES AND INSPECTION CHAMBERS
To have double sealed ball float covers.

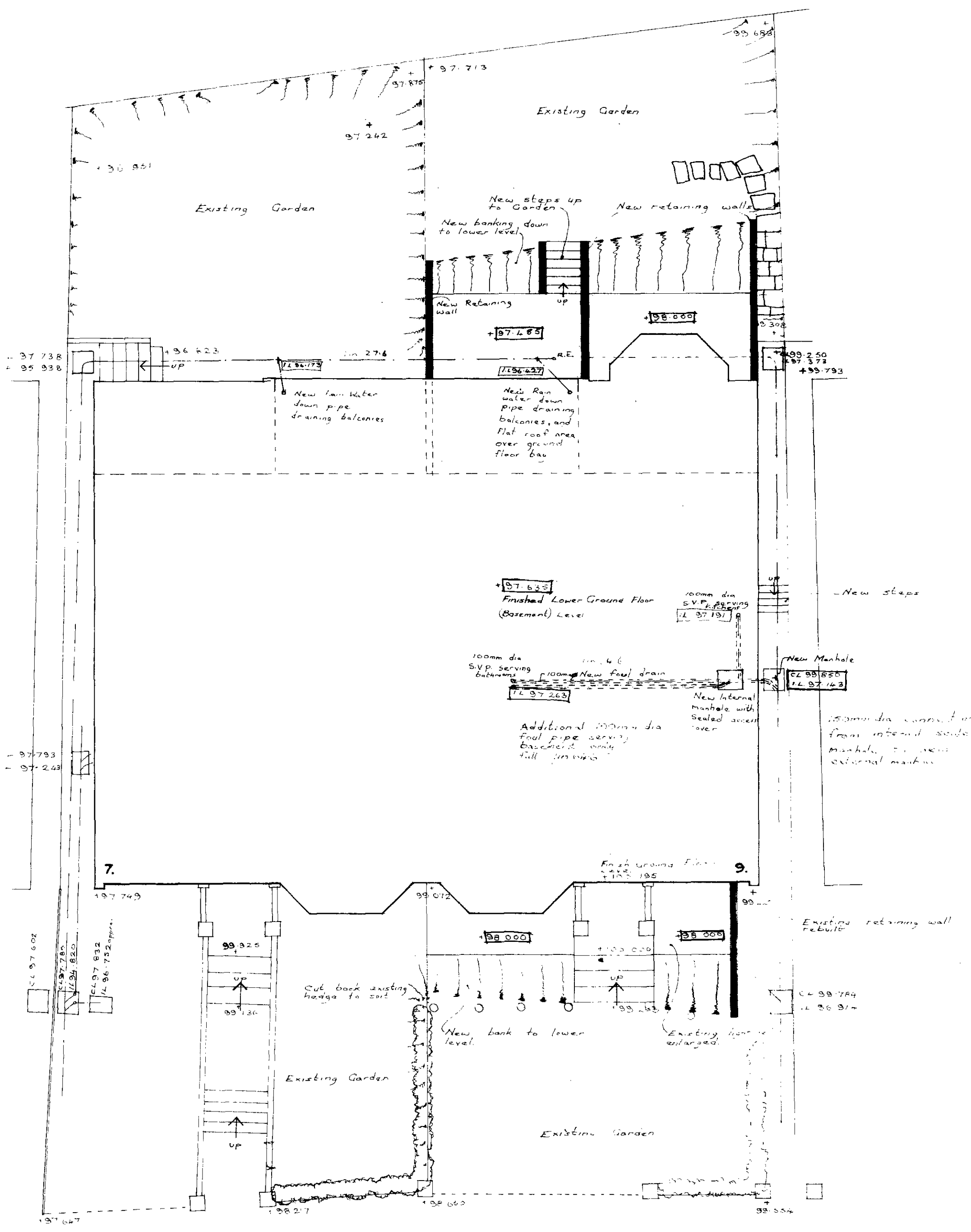
STORM WATER SYSTEM TO 100mm
100mm ducted PVC soil and vent pipe with provision for access, traps terminal distance 900mm above ventilated openings within 1.000m. No waste connections to S.V.P. within 300mm of R.C. connection, provide ridding eyes at secondary. Road waste 25mm dia. bath and sink waste 32mm dia. all with 75mm long revealing traps and provide for cleaning if more than 1.5m long. And - signal trap if necessary.

TO BE APPROVED TYPE
To be approved type minimum 150mm above ground level and lapped to existing and new tanking. Vertical d.p.c.'s at all new window and door openings with d.p.c. traps over all new openings in external walls.

LOW LEVEL FLOOR
50mm sand cement screed on 100mm (1:2.4) concrete slab on 100mm gauge Highborn or similar approved d.p.c., laid to manufacturers instructions and lapped effectively with B.P.C.'s and tanking on 50mm smooth finished concrete binding on minimum 100mm consolidated hardcore.

EXTERNAL WALLS EXISTING
TANKING
Existing lower ground walls to be water proofed with 3 course vertical double tanking or similar approved with 100mm blackbank lapping wall to internal face. Tanking to be effectively lapped with d.p.c. and d.p.c.'s.

EXTERNAL WALLS
To be 200mm overall of facing brick or rendered black outer skin minimum cavity 50mm with wall plus of approved waterproofing at maximum 450mm 7/6 vertical and horizontally designed on plan and at 500/6 at all reveals and where cavity is closed. These skin to be 100mm black all to give a 3 valve better than 0.6 m²/m² cavity filled with lean mix concrete up to 150mm below B.P.C.

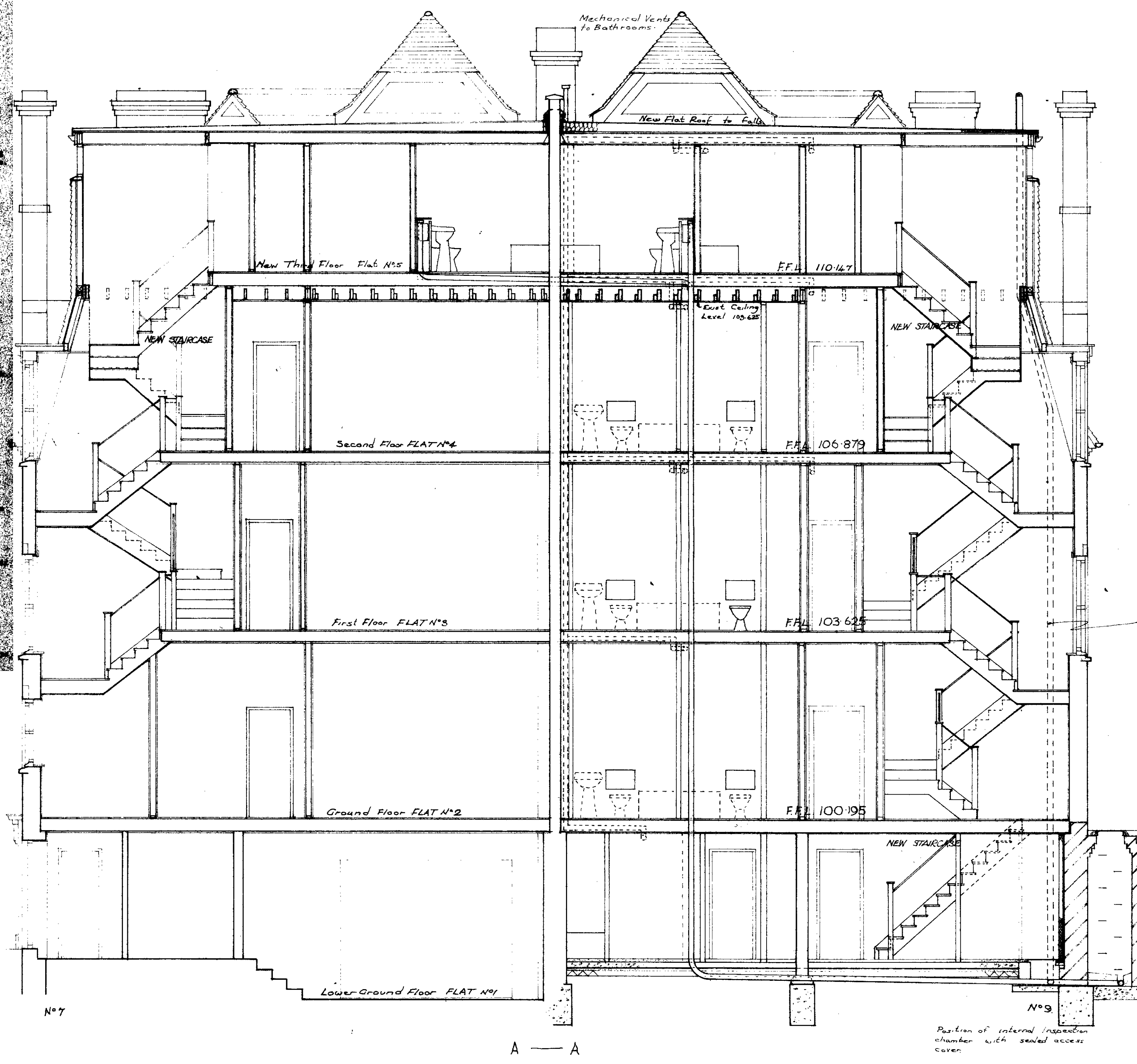


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Rev. 100 84 Additional (to be added)
REV B 25 5 84 SPECIFICATION NOTES ADDED
Rev A 100 84 Additional (to be added) S.V.P. to serve kitchen to floor in 100

folly investments ltd	
Alterations to 7-9 Langland Gardens. LONDON NW3 Mr B Woolcott	SITE PLAN AS PROPOSED External Works
Tony Huckleby RIBA Architect	Scale 1:100 Date 1984 Drawing 70-22
The SYCAMORES, Kneeworth Street, ROYSTON Herts SG85AF (0763) 41073	

[Faint, illegible text from the left margin, likely bleed-through from the reverse side of the page.]



Built up felt roofing as main roof specification on tapered insulation to fall 1:60

Wetted apron
40x20 continuous drip batten.
Eaves gutter to match exist.

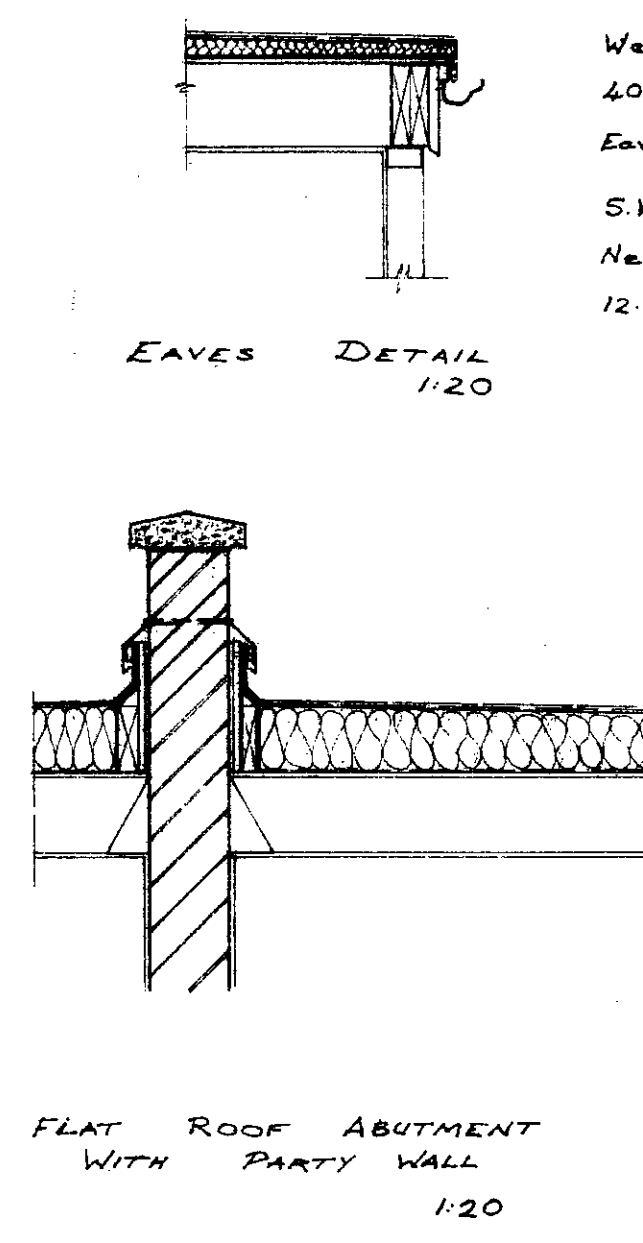
S.W. fascia. 250x25mm.
New S.W. window /
12.7mm foil backed plasterboard.

Twice weathered cone coping bedded on epoxy resin cement mortar to all exposed parapets with d.p.c. under 215 party wall carried up min 400mm above roof level.

Cable 4 lead flashing with d.p.c. over 350x18mm (approx) marine ply upstand. 180x50mm approx s.w. upstand support. 50mm s.w. angle fillet. Upstand 150mm min.

Built up roofing felt (2 layers over tapered insulation 1 layer impour barrier beneath) all as main roof spec. Tapered insulation to fall min 1 in 60.

12mm marine ply deck.
200x50mm s.w. ceiling joists
12.7mm foil back plasterboard.



Line of SVP (serving Kitchens) shown dotted, to be offset at second floor level to follow approx line of mansard roof

New manhole to be built in Class B eng brick built in english bond with cement mortar 1:3 min. Internal chamber size to be 1200x800mm min. Base to be min 230mm thick in 1:6 min concr. benching with 1 in 6 gradient, finished with steel float forming smooth hard surface in cement mortar 1:1

Basement wall to be built in Class B eng brick adjacent to manhole.

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ALL WORK TO MATCH EXISTING & TO BE TO DISTRICT SURVEYORS SATISFACTION.

REV A. 25-5-84 REDRAWN & SPECIFICATION NOTES ADDED

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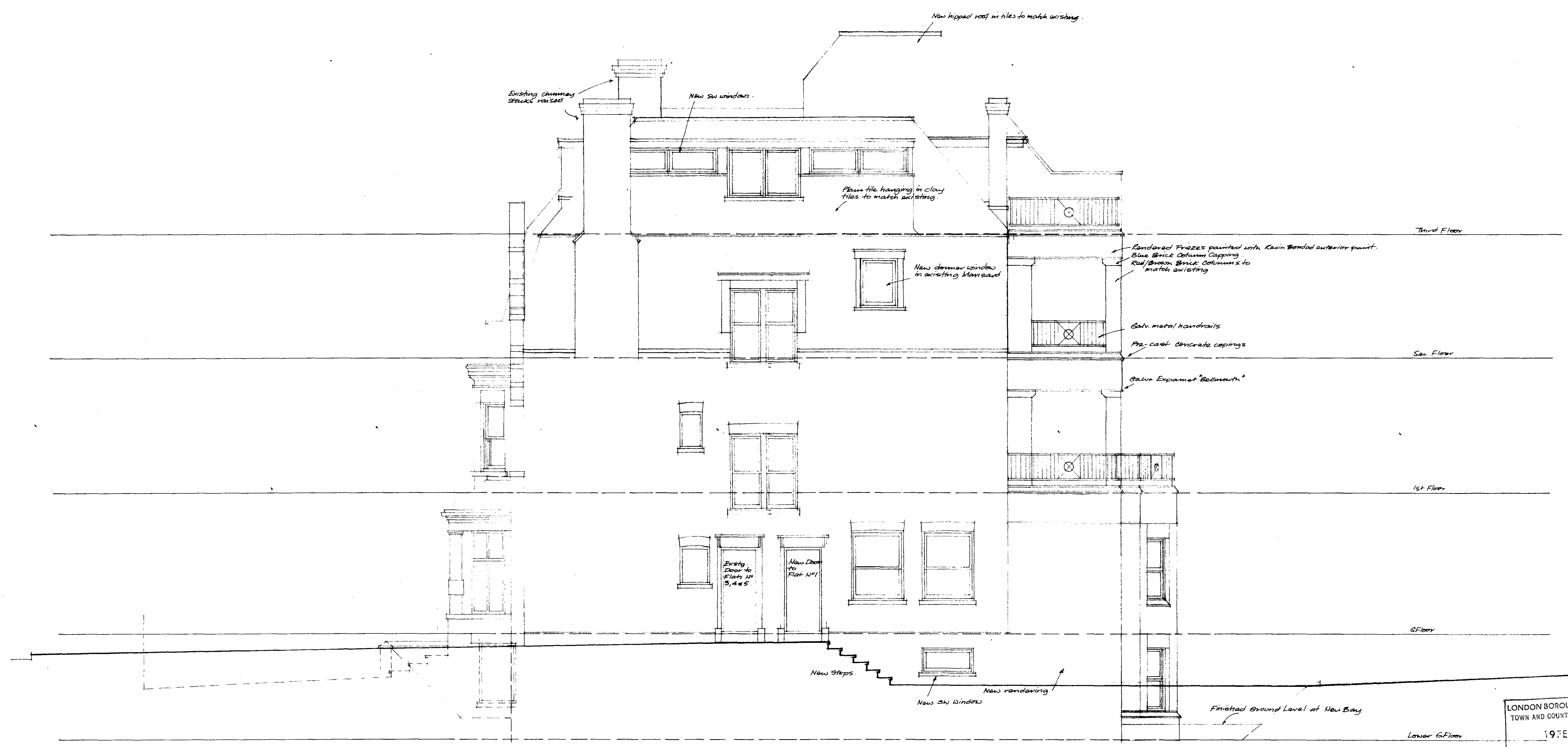
Alterations to:
7-9 Langland Gardens
LONDON N.W.3
Mr B. Woodcott

Tony Blacklesby RIBA
Architect

The SIGNMOORE, Kewworth Street ROYSTON Herts SG8 6AP
(0763) 41075

Date: 25-5-84
Drawn: 25-5-84
Checked: 25-5-84

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No 9

PROPOSED SIDE ELEVATION

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1974
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folly investments ltd

Alterations to:
7-9 Langland Gardens
LONDON NW3
Mr B Wolcott

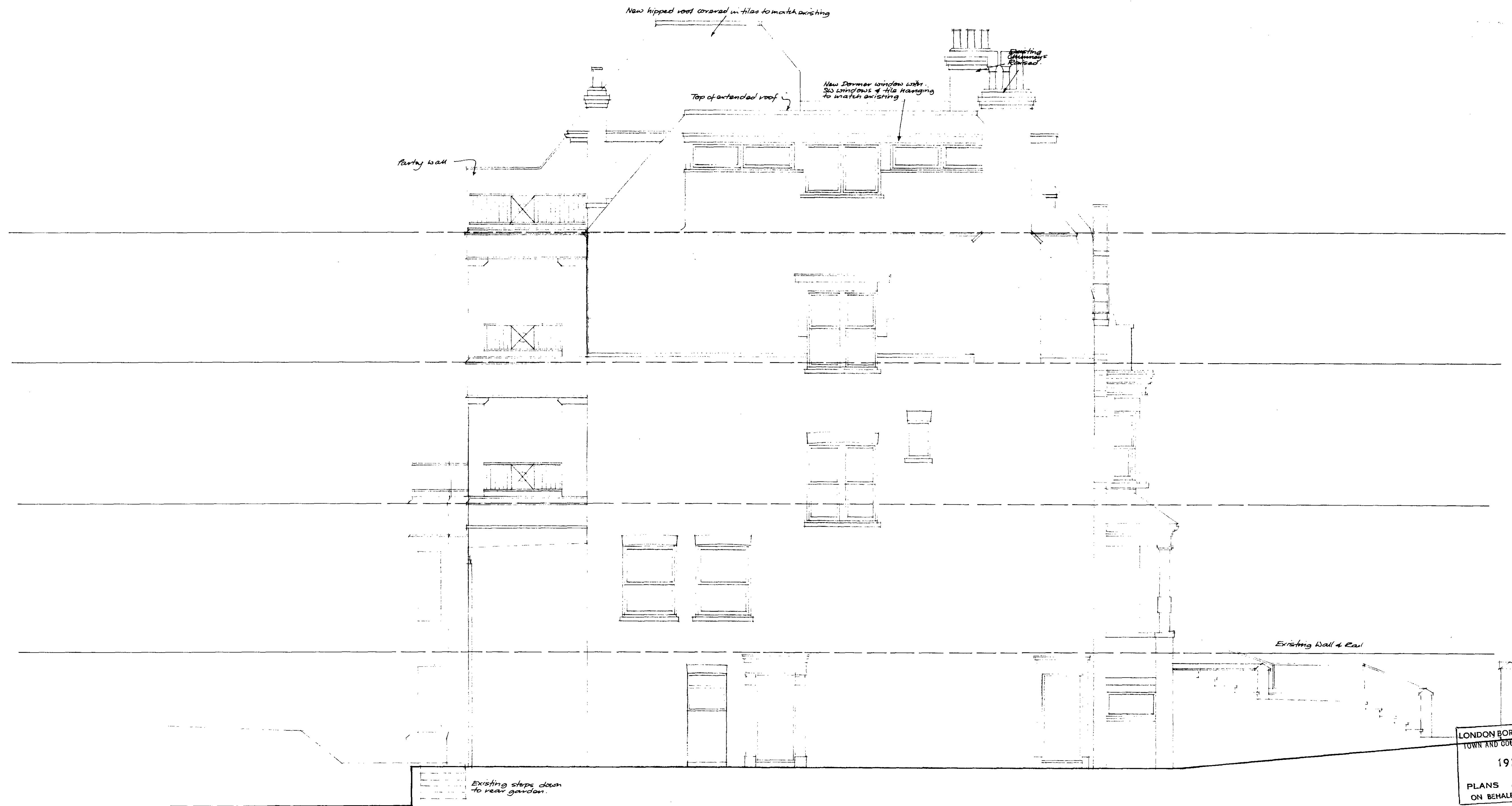
PROPOSED SIDE ELEVATION
No 9

Tony Hucklesby RIBA
Architect

Scale 1:50
Date 12-84
Drawing no. 24

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(0763) 41073

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No 7

PROPOSED SIDE ELEVATION

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19 FEB 1986
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TP 8502094

folly investments ltd

Alterations to:
7-9 Langland Gardens
LONDON NW3
Mr B Woolcott

**PROPOSED SIDE
ELEVATION
No 7**

Tony Huckleby RIBA
Architect

Scale 1:50
Date 19.02.86
Drawing 20.25

The SYCAMORE, Kneassworth Street, ROYSTON Herts SG8 5AP
(0783) 41076