

- KEY**
- 1. BIN
  - 2. COURTYARD
  - 3. BICYCLE STORE
  - 4. BEDROOM
  - 5. BATHROOM
  - 6. LIVING / DINING
  - 7. GALLERY
  - C. STORE
  - F. FLAT ROOF
  - K. KITCHEN
  - R. ROOF TERRACE
  - S. STAIR
  - T. TIMBER
  - V. VOID

**PROPOSED FOURTH FLOOR PLAN 1:100**

EXISTING BLOCK

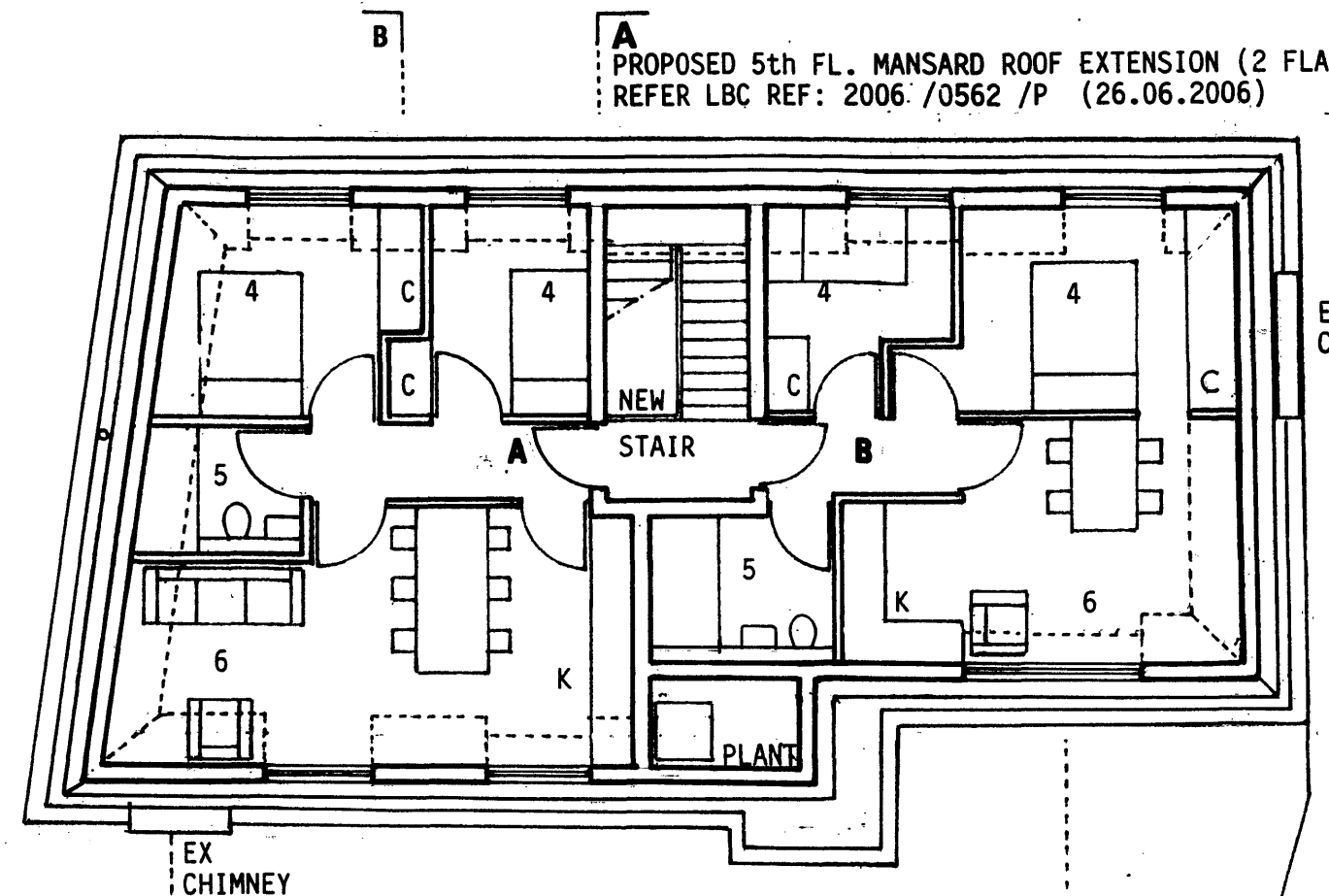
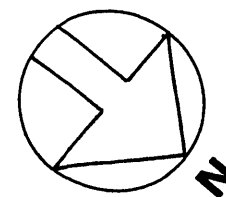
EX STAIR

solar panels  
8 m<sup>2</sup>

ADJOINING BUILDING (VEHICLE DEPOT)

**REVISION A ( 15 OCT 2008 )**

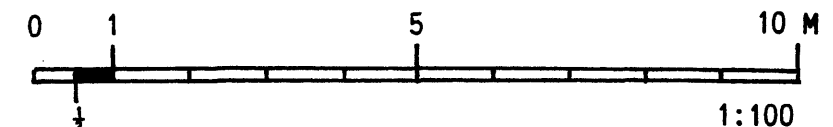
1. Revised scheme for 6 Flats
2. Rear extension reduced in height by one storey and window details revised to match existing.
3. Omit Lift extension at roof level and previously approved Mansard Roof extension to continue around perimeter of existing block.
4. Ground floor commercial units A & B to remain as A2 units with level street access.
5. Disabled Wcs included to all commercial units A, B, C & D. Lift access included to Basement units.



**A** PROPOSED 5th FL. MANSARD ROOF EXTENSION (2 FLA  
REFER LBC REF: 2006 / 0562 / P (26.06.2006)

**REVISION B ( 16 JAN 2009 )**

1. Previously approved (2006 / 05621) fifth floor extension revised to incorporate existing parapet with set backs and smaller dormers.
2. Mansard Roof extension for 2 flats included in this application.



OUTLINE OF PROPOSED  
REAR EXTENSION

All flat layouts to Camden Planning Guidance 2006  
Lifetime homes and wheelchair  
Work station to all living rooms as Home office

**PROPOSED FIFTH FLOOR / ROOF PLAN 1:100**

6. Proposed Lift increased in size to 1100 wd x 1800 L ( minimum dimensions )
7. Flat A can be adapted to wheelchair unit (optional)
8. Layouts to meet Lifetime homes standards:
  - a. All entrance doors to have 900mm clear opening widths and 300mm to side of the leading edge of a all door entrances.
  - b. Wet floor gullies to be provided to concrete floor slab in bathroom.
  - c. All window openings are to have glazing at minimum of 800mm above floor levels. Solid balcony upstands are to be no higher than 750mm with guarding edge designed so as not to obstruct view height of 800mm

**DETAIL PLANNING APPLICATION**

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ARCHITECT		CHARLES KHOO RIBA - PROGETTI	
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JOB TITLE		REAR EXTENSION TO 72 - 76 EVERSOLT STREET, LONDON NW1	
DRAWING TITLE		EXISTING PLANS	DRAWN BY CK DATE 06.05.2008
		PROPOSED SECTIONS	SCALE 1:100 / 1:200
PHASE 2		ELEVATIONS	JOB NO 244 DATE NO P4 / B