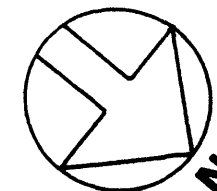


Work station to all living rooms as Home office
 Bed space available to Living room in Flat 1 (3 Bed)
 Rain water butts located to garden/ patio for collection of surface water.

EVERSHOLT STREET



- KEY**
- 1. BIN
 - 2. COURTYARD
 - 3. BICYCLE STORE
 - 4. BEDROOM
 - 5. BATHROOM
 - 6. LIVING / DINING
 - 7. GALLERY
 - C. STORE
 - F. FLAT ROOF
 - K. KITCHEN
 - R. ROOF TERRACE
 - S. STAIR
 - T. TIMBER
 - V. VOID

REVISION B (15.01.2009)

1. Bicycle storage layout included to Lower Ground Floor Plan
2. Internal lift outline for Duplex Flats 2 & 4 included between Living rooms and double bedrooms
3. Flat 3 to be wheelchair compliance.

REVISION A (15 OCT 2008)

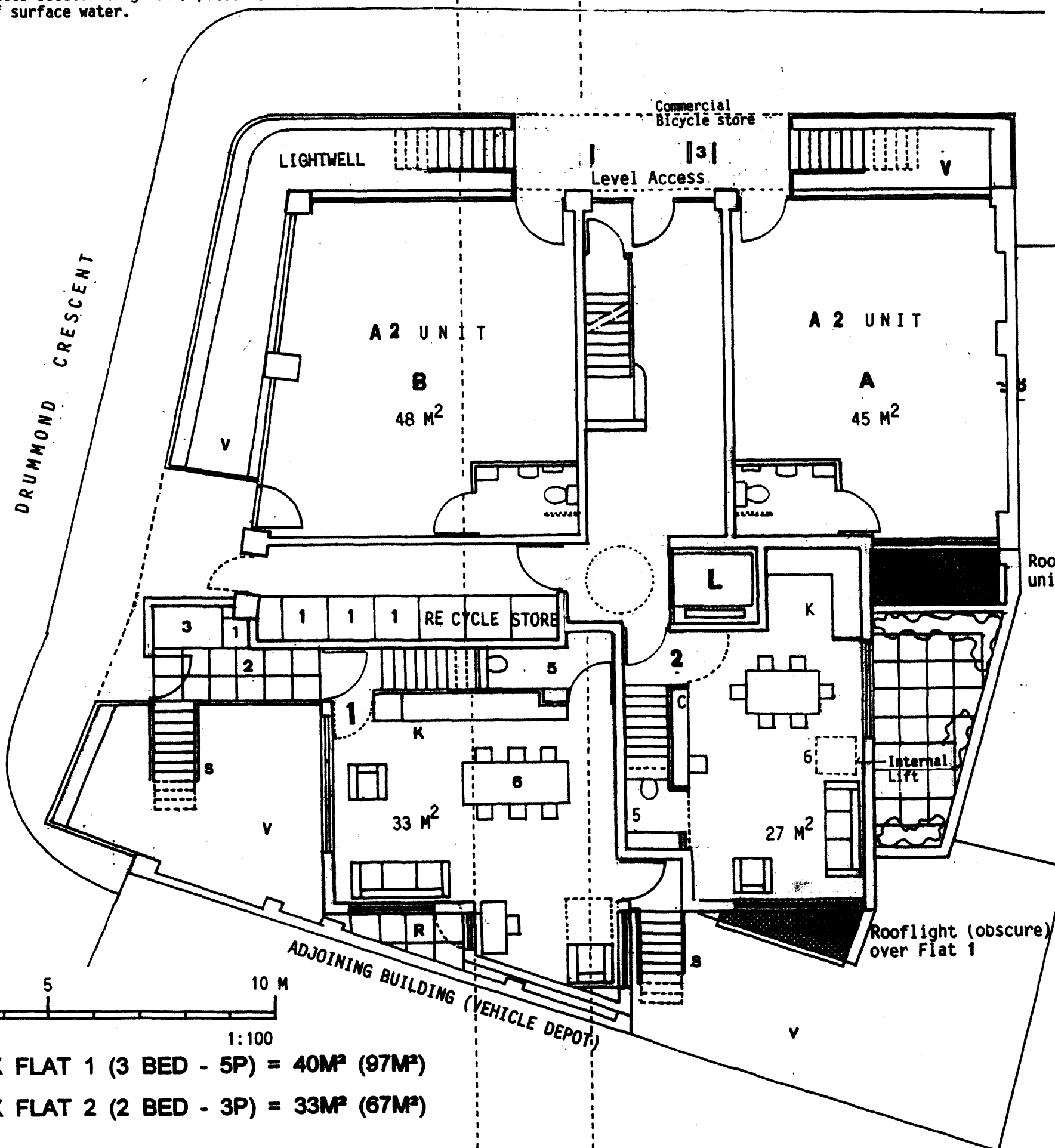
1. Revised scheme for 6 Flats
2. Rear extension reduced in height by one storey and window details revised to match existing.
3. Omit Lift extension at roof level and previously approved Mansard Roof extension to continue around perimeter of existing block.
4. Ground floor commercial units A & B to remain as A2 units with level street access.
5. Disabled Wcs included to all commercial units A, B, C & D. Lift access included to Basement units.
6. Proposed Lift increased in size to 1100 wd x 1800 L (minimum dimensions)
7. Flat A can be adapted to wheelchair unit (optional)
8. Layouts to meet Lifetime homes standards:
 - a. All entrance doors to have 900mm clear opening widths and 300mm to side of the leading edge of a all door entrances.
 - b. Wet floor gullies to be provided to concrete floor slab in bathroom.
 - c. All window openings are to have glazing at minimum of 800mm above floor levels. Solid balcony upstands are to be no higher than 750mm with guarding edge designed so as not to obstruct viewing height of 800mm

DETAIL PLANNING APPLICATION

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DESIGNER	CHARLES KHOO RIBA - PROGETTI
ADDRESS	109 CHETWYND ROAD LONDON NW5 1DA TEL:020 7482 5994
PROJECT	REAR EXTENSION TO 72 - 76 EVERS Holt STREET, LONDON NW1 1BY
DATE	06.05.2008
EXISTING PLANS	CK
PROPOSED SECTIONS	1:100 / 1:200
PHASE 2 ELEVATIONS	244 / P2 / B

DRUMMOND CRESCENT



DUPLEX FLAT 1 (3 BED - 5P) = 40M² (97M²)

DUPLEX FLAT 2 (2 BED - 3P) = 33M² (67M²)

PROPOSED GROUND FLOOR PLAN 1:100

site area = 136 sq.m

All flat layouts to Camden Planning Guidance 2006
 Lifetime homes and wheelchair