

DMA

RECEIVED
19 FEB 2009

Duggan Morris Architects Ltd

A097 10.01
74 Fairhazel gardens
London, NW6 3SR

Design and Access Statement
(In support of an application
for a new sliding gate)

19 February 2009

RECEIVED
19 FEB 2009

DMA

Duggan Morris Architects Ltd
Telephone 020 7253 9922
www.dugganmorrisarchitects.com

1

Contents

| | |
|----|----------------------------------|
| 01 | General Introduction |
| 02 | Appendix A - Photographs |
| 03 | Appendix B -Application Drawings |

General Intro

Site Location and Brief Considerations

1-Site

The site is an existing house, currently under refurbishment, located at 74 Fairhazel Gardens, London NW6 3SR. The subject of the application is for a new metal rail sliding gate, to run behind an existing masonry wall facing the street frontage.

The property is located in the Swiss Cottage Conservation Area.

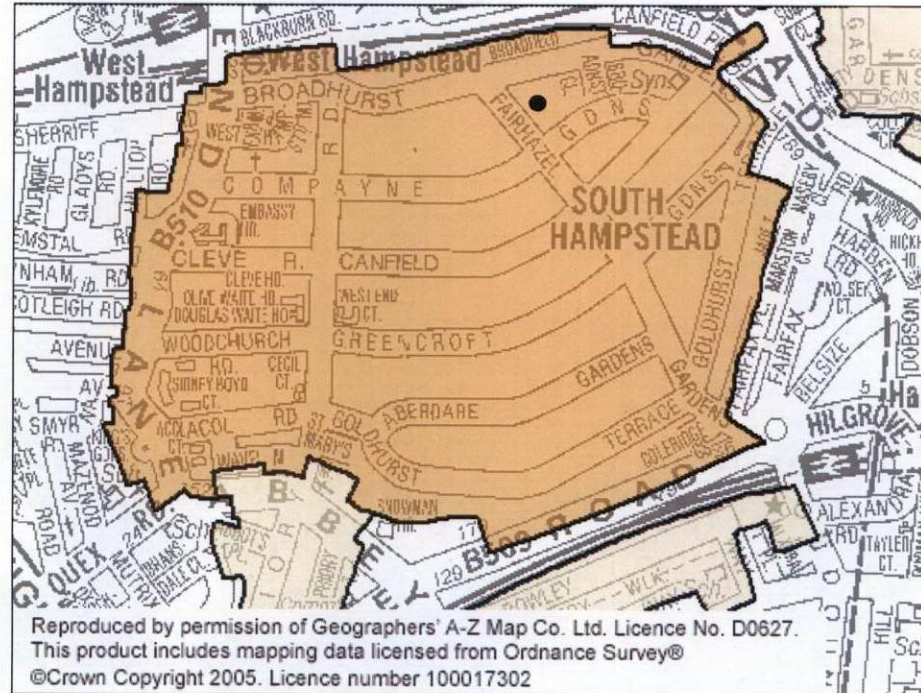


Fig 1

- Site Location within Conservation Area

2-Brief Considerations

The gate is to be located facing the street and constructed to run behind an existing masonry boundary wall, fronting the property. The following bullet points set out the justification of the gate;

Use - The site is an existing residential dwelling house, of facing masonry, sash windows and pitched roof. To the front of the is an existing front garden area, and this is contained by an existing masonry boundary wall. This arrangement is typical of the majority of properties in the locality.

Amount - The application is for a single gate, of 3000mm in width (opening in wall) and 1600mm high (below the height of the wall).

Layout - The gate is located at the street boundary, set behind an existing wall.

Scale - The gate is sized to fit the opening in the existing wall.

Landscaping - Landscaping works are not being proposed in this application.

Appearance - The gate is to be a traditional metal rail fabrication, painted black, with vertical stanchions fixed between horizontal rails.

Vehicular and transport links - The access point into the property is an existing one.

Inclusive access - The access point is existing and flush, providing unencumbered access into the front drive.

From Top
Fig 1: Site Identified in
Conservation Area

Appendix A

Photos: Local Context



Fig 2



Fig 3



Fig 4

From Top
Fig 2-5: Photographs of local context. Note traditional metal rail gate and fence in figures 3 and 4.



Fig 5

Appendix B

Application Drawings (reduced
scale, refer to full scale drawings)



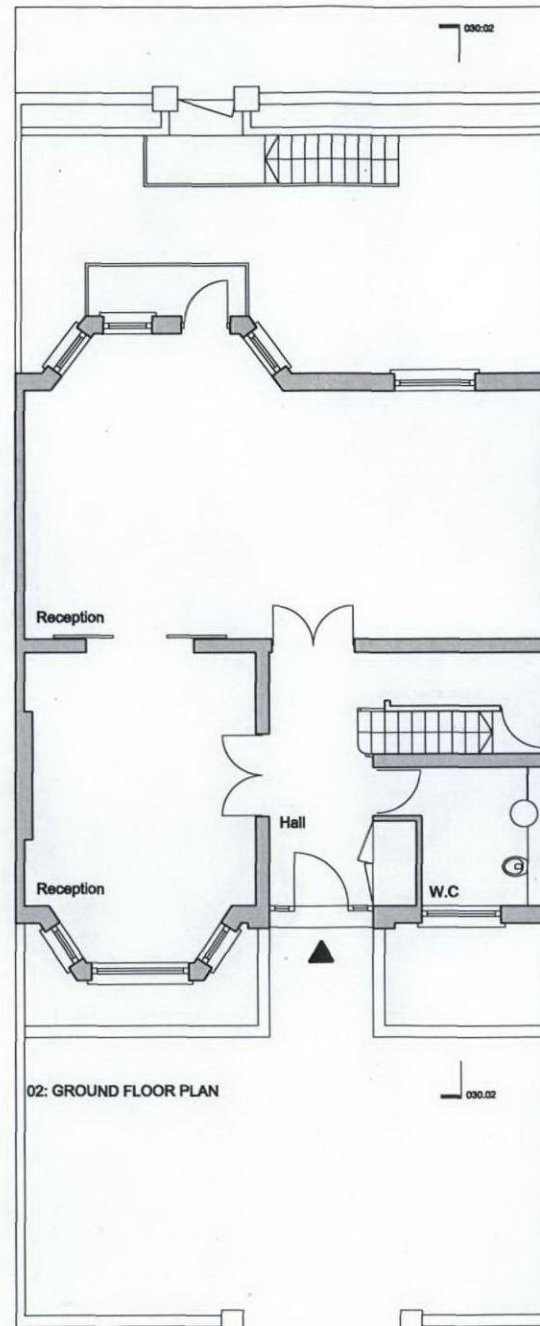
Site boundary

| | | |
|---|---------|-------------|
| 100% DEVELOPMENT | | |
| REMARKS | DATE | REVISION |
| <p>DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE GIVEN IN METERS AND ALL DIMENSIONS TO BE GIVEN IN METERS AND ALL DIMENSIONS TO BE GIVEN IN METERS AND ALL DIMENSIONS TO BE GIVEN IN METERS AND ALL DIMENSIONS TO BE GIVEN IN METERS</p> | | |
| <p>DMA Design & Make Architects Ltd Unit 1, Green House 10-20 Parnall Street London, E1 3JG Telephone 020 7461 1700 www.designandmakearchitects.com</p> | | |
| <p>74 FAIRVIEW GARDENS EXISTING SITE PLAN</p> | | |
| DATE | PLANNED | DRAWING NO. |
| DATE | 1/10/00 | 001 |
| DATE | 1/10/00 | / |



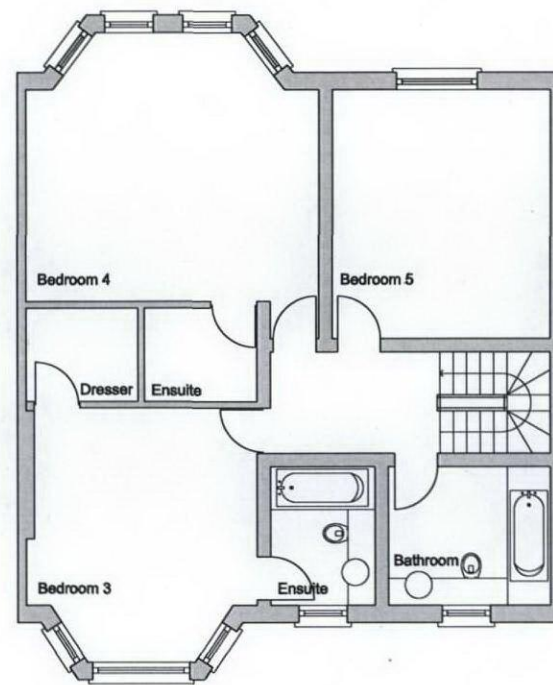


01: BASEMENT PLAN

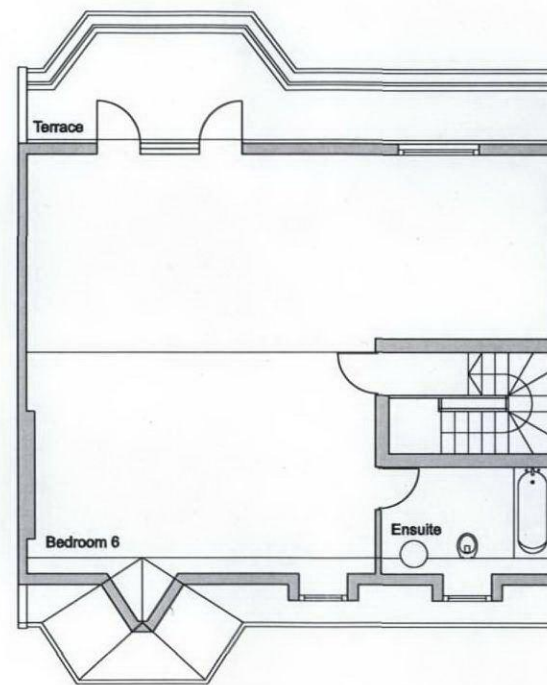


02: GROUND FLOOR PLAN

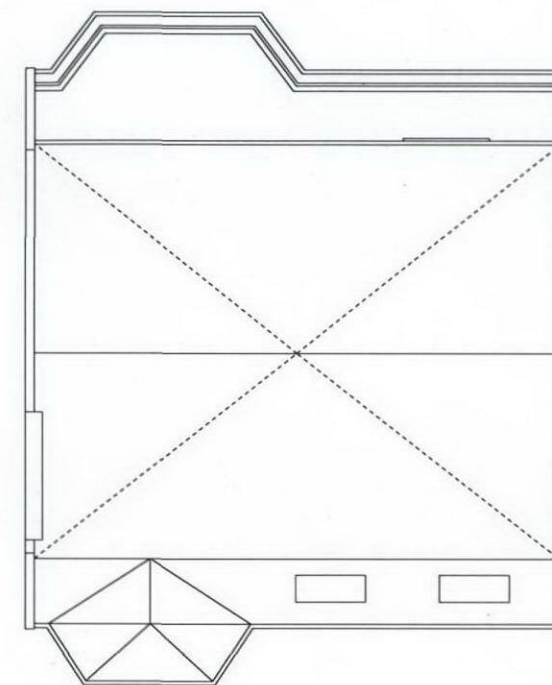
[illegible]



04: SECOND FLOOR PLAN



05: THIRD FLOOR PLAN

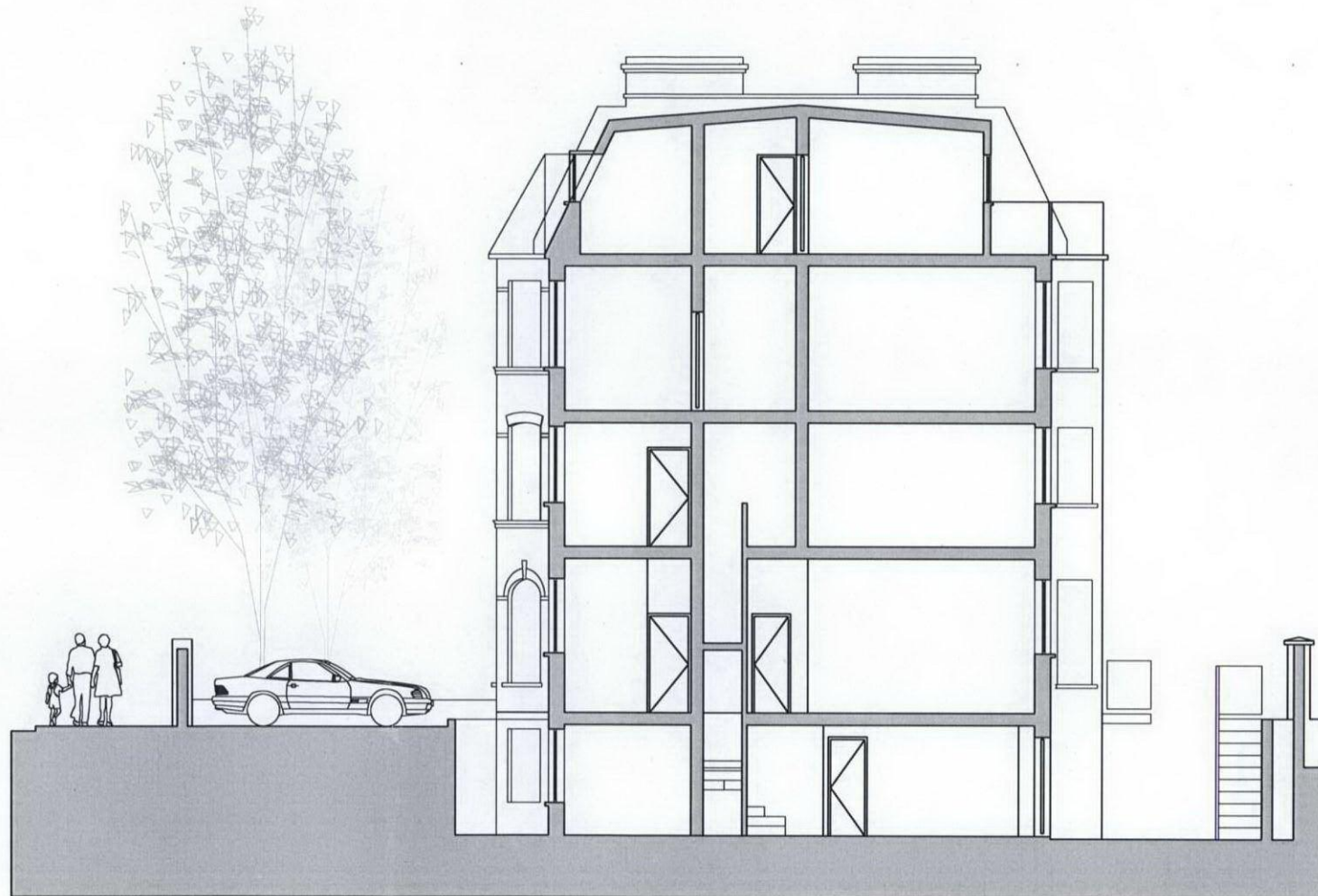


06: ROOF PLAN

| | | | |
|--|--|--|--|
| <small> - DO NOT SCALE FROM THIS DRAWING - ALL DIMENSIONS TO BE CHECKED ON SITE BY THE CONTRACTOR - ALL WORK TO BE DONE TO THE SATISFACTION OF THE ARCHITECT - ALL DIMENSIONS TO BE CHECKED ON SITE BY THE CONTRACTOR - IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS </small> | | | |
| DMA <small> Design Works Australia Ltd Unit 1, 200 Street, 10-12, 10-12 Street, Sydney, NSW 1500 Telephone 02 955 1100 www.designworksaustralia.com </small> | | | |
| <small> 10-12 Street, Sydney, NSW 1500 </small> | | | |
| <small> drawing title 04: SECOND FLOOR PLAN </small> | <small> drawing no. 011 </small> | <small> drawing title 05: THIRD FLOOR PLAN </small> | <small> drawing no. / </small> |
| <small> date 1/00 @ A3 </small> | <small> scale 1/100 @ A3 </small> | <small> date 1/00 @ A3 </small> | <small> scale 1/100 @ A3 </small> |

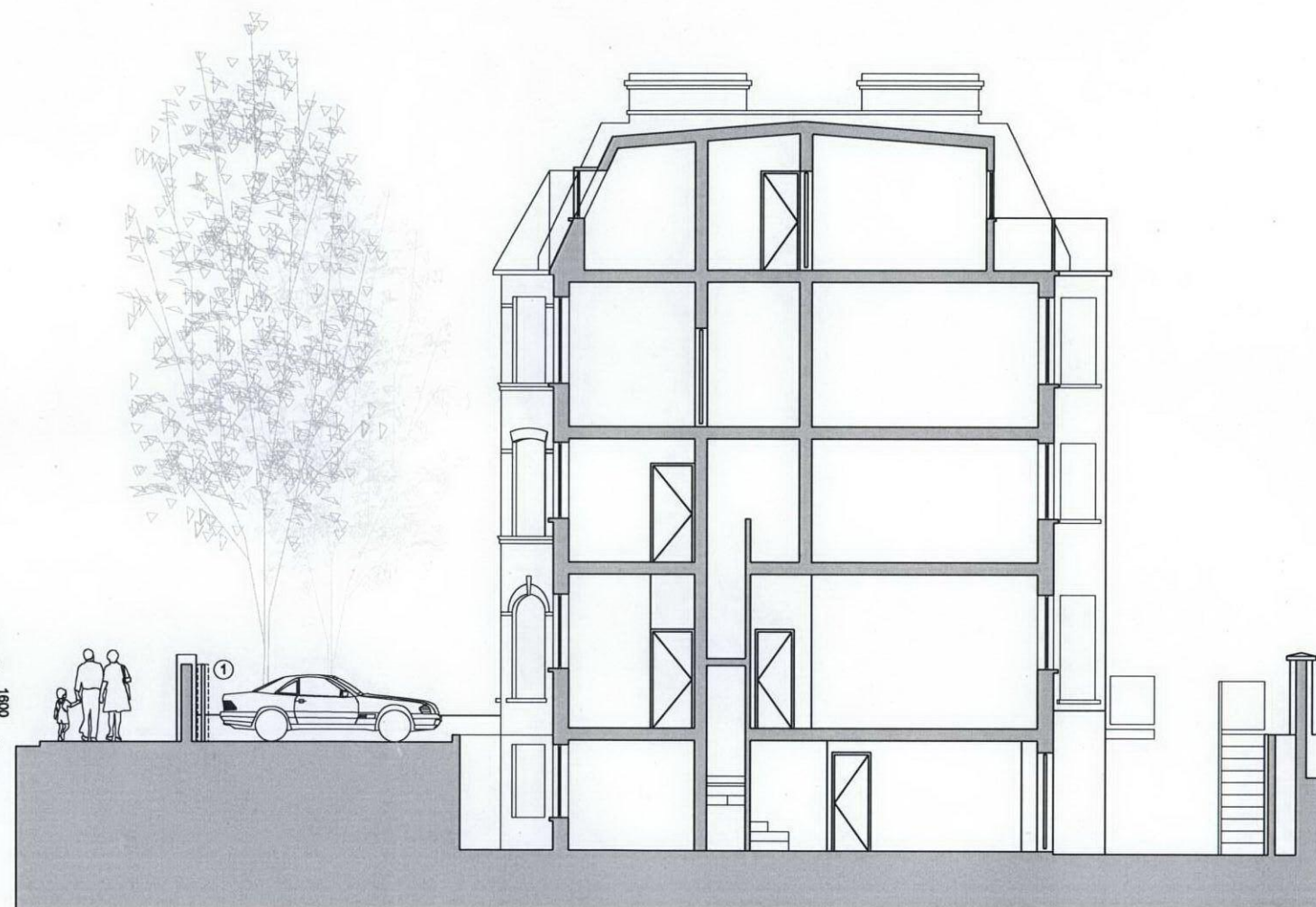


01: EXISTING FRONT ELEVATION



02: EXISTING SECTION

| 03.12.08 030.02 030.02 | | |
|---|----------|----------|
| NUMBER | DATE | REVISION |
| 030.02 | 03.12.08 | 030.02 |
| <p>ALL NEW WORK FROM THIS DRAWING ALL REVISIONS TO BE CARRIED OUT BY THE CONTRACTOR AND ALL WORKING TO BE IN ACCORDANCE WITH THE BUILDING REGULATIONS AND THE ARCHITECT'S INSTRUCTIONS TO THE CONTRACTOR IF IN DOUBT ASK CONTRACT ADMINISTRATION</p> | | |
| <p>DMA Design Works Architects Ltd Unit 1, New Street, 15-17 Finsbury Square, London, EC2A 3EJ Telephone 020 7463 1700 www.designworksarchitects.com</p> | | |
| <p>JOB NO. 24 FAIRFAX GARDENS</p> | | |
| <p>DRAWING NO. 030.02</p> | | |
| <p>DATE: 03.12.08</p> | | |
| <p>SCALE: 1:100 @ A2</p> | | |
| <p>JOB NO. 030.02</p> | | |
| <p>REVISION: A</p> | | |



02: PROPOSED SECTION

| | | |
|---|---------------|--|
| 1 | Proposed gate | - cold rolled steel uprights and frame |
| | | - hot dip galvanised |
| | | - powder coated black |

A

02.12.98 minor modifications

| REVISION | DATE | AMENDMENT |
|--|------|-----------|
| -DO NOT SEND FROM THE OFFICE | | |
| -ALL CHANGES TO BE CIRCLED ON SITE BY THE CONTRACTOR | | |
| -NO ROAD REVISIONS TO BE MADE BY THE CONTRACTOR | | |
| -REPORT ALL CHANGES BEFORE AND DURING THE PROJECT | | |
| -ALL CHANGES MUST BE APPROVED BY THE CLIENT | | |
| -IN DOUBT ASK CONTRACT ADMINISTRATOR | | |

DMA

DRAGAGE MONTHS ADVANCE LTD
101, 2nd Floor,
18-19 Fawcett Street
London, W1P 1TG
Telephone: 01753 716170
www.dragagemonths.co.uk

job no. 716 FAWCETT, GAVESDOW

drawing No. PROPOSED SECTION AND ELEVATION

| status | PLANNING | drawing no. | scale |
|---------|------------|-------------|-------|
| scale | 1:500 @ A3 | | |
| job no. | A007 | 040 | |

