

# UNIVERSITY COLLEGE LONDON

LONDON WC1 6BT



33 – 35 TORRINGTON PLACE

## **DAS-01: 33-35 Torrington Place, Design & Access statement**

**INTERNAL REFURBISHMENTS OF 33 – 35 TORRINGTON PLACE, IMPROVEMENT TO INTERNAL CIRCULATION AND NEW ROOFLIGHT IN COURTYARD, PROVISION OF DDA LIFT AND WC, DEVELOPMENT OF 2-STOREY TOILET BLOCK WITH BASEMENT AND LINK BETWEEN TORRINGTON AND MALET PLACE TO REPLACE SINGLE STOREY BASEMENT STRUCTURE IN THE COURTYARD. (PHASE 5 WORKS)**

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## 1. Introduction:

This Design and Access Statement (DAS) accompanies an application for the refurbishments of 33 – 35 Torrington place, redevelopment of single storey basement structure in the courtyard into 2-storey toilet block and link between Torrington and Malet place, roof light to the courtyard, the improvements to the internal circulation and provision of Disabled lift. The DAS has been written to meet the requirements of Article 4C of the Town and Country Planning (General Development Procedure) Order 1995 (as amended).

### 1a Description:

#### 1a.1 Exterior / Appearance:

33 – 35 Torrington Place is located at the corner of Malet place and Torrington place. It is a 4-storey and a basement grade 2 listed Victorian building.

It comprises two houses, now in single occupation built c1824.

Thomas Cubitt built the building and it was altered later. It boasts Multi-coloured stock brick with some later patching. Stucco ground floor with plain 1st floor band and cornice. There are 2 windows to each storey on the front elevation of the former house with 2 windows on the first and second floors on the returns.

Doorways are on the returns; No.33 (on Malet Place return), square-headed architraved doorway with cornice and C20 door; No.35, 2 round-arched architraved doorways, one blank, the other with decorated fanlight and panelled door.

The basement floor is extended to the east beyond the building line at the ground level and open to the air in a light well on the north elevation.

Former shop front of No.35 removed and replaced by windows. Continuous cast-iron balcony to 1st floor casement windows. 2nd and 3rd floor windows, recessed sashes with gauged brick flat arches. Parapet.



Fig.1 View of Torrington Place North Elevation



Fig. 2 View of No 35 Torrington Front Entrance

#### 1a.2 Interior Features:

According to the Survey of London: Vol. XXI, Tottenham Court Road and Neighborhood, St Pancras III:

London: -1949: 77 the interior of the buildings were not inspected.



Fig.3 View of No 35 Torrington Place Return



Fig.4 33-35 Torrington Place

## 2. Use of Building:

The building is currently used as an educational facility and this application does not propose any change of use of the building. The existing cellular arrangement of rooms on each floor will be retained, and used as offices, seminar rooms, and film viewing rooms, study rooms and a student common room located in the basement. All rooms will be finished to a high standard similar to that tenable elsewhere on the site, but with a particular regard given to its Grade II listing.

## 3. UCL Refurbishment Programme

UCL wider Estate strategic development plan for the site is set out in series of Phases. Torrington place is identified as Phase 5 works and is programmed to commence in the early part of October 2009.

All phases completed to date had received full planning permission.

The first Phase 1 (Malet Place, ground-second) was completed in the fall of 2006, with Phase 1B (Foster Court Third, entrance & DDA works) completed last year. Phase 2A & 2B works were completed in October 2008. Phase 3 was tendered and contractors are due on site soon. Phase 4 is at the design stage and works in progress.

### *Key Features of phase 5 works:*

The key features and benefits of the design can be summarised as follows: -

- Internal refurbishment of 33 – 35 Torrington place
- Improved access and Disabled access into and within building – level entry, installation of new lifts.
- Demolition of the single storey structure currently used as common room at the basement floor in the courtyard and replaced with 2 storey toilet block and link between Torrington Place and Malet place
- New Roof lights to the courtyard.
- Demolition of existing staircase on the basement in the courtyard area and to allow construction and reinstatement on completion of building works.
- Improved layout + conversion of existing male toilet on the basement floor into disabled Toilet.
- Improvements to Building fabric modernise services of the relating to fire, safety and security.

## 4. Proposal

Details of proposal for Phase 5 include the following:

- 1) Internal Refurbishment of 33 -35 Torrington Place comprising the following:
  - a) Complete strip out of existing mechanical and electrical services and Upgrade of services to current standards to improve building energy efficiency of the buildings without compromising the features and character of interior.



- b) Preserve and restore existing internal elements like doors, windows architrave skirting, coving, mouldings, stairs case, handrails, balustrades etc where possible and provide a matching replacement as required. Architecturally, new elements shall be in keeping with the period of the building and decorative order of the particular location in the building.
  - c) Service ducts, risers and false ceilings are introduced in the corridor area to facilitate the installation of new services without compromising the internal character of the building.
  - d) Repairs to internal structures and fabrics, floor, walls and ceiling.
  - e) Redecoration of walls ceiling and internal elements and renewal of floor covering.
- 2) The refurbishment allow for the following improvements to the existing layout:
- a) Widening of rear exit to the courtyard at the basement level
  - b) Conversion of existing male toilet into disabled toilet.
  - c) New layout for the female toilet.
- 3) Expansion of services within the scheme to meet the UCL Estate wider requirement for the site in the various phases on the redevelopment by:
- a) Provision of 2-storey toilet block with seminar room on the basement
  - b) The toilet block would create a link between Torrington Place and Malet place that would improve internal circulation and enhance access to new services.
  - c) The existing common room is replaced by a seminar room achieved by removing the wall to the north of the Light well and the provision of the roofing above it.
- 4) General improvements made to access to the building both internal and external.
- a) Provision of level entry to the building and installation of new lifts a welcome improvement for disabled users.
  - b) Wider door openings in places improve access to various part of the building.
  - c) Window openings in rooms B1 and B4 at Torrington Place under the above proposal is replaced by French doors (subject to the client's approval) from enlarged windows
- 5. New Toilet Block and Link between Torrington and Malet Place**
- 1) Appearance
- a) Flat Roof Steel Frame building with matching brick finish in keeping with adjacent Buildings.
  - b) Windows Timber framed to match existing windows of Malet place.
  - c) Existing AC Condenser Units on the ground level of the Toilet block are carefully striped out cleaned and refurbished during the building works and reinstalled on completion of works.
  - d) The link between Torrington and Malet place is steel frame construction with glazed finish on all sides to provide a contrasting modern structure to the historic building and therefore preserve appearance and character.

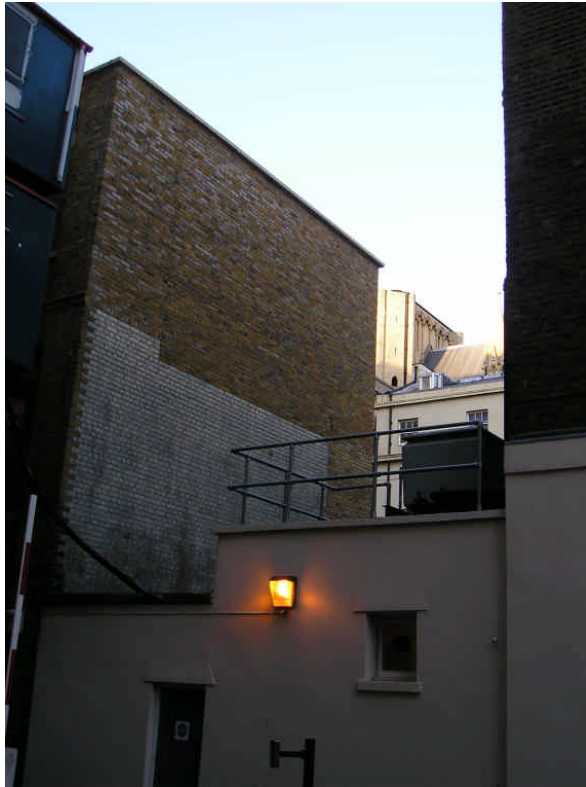


Fig.5 View East Elevation Space New WC block



Fig.6 View West Elevation of Open Light well

## 6. Inclusive Access

6.1 UCL as an educational institution with over 22,000 students and 4,000 academic and Research staff operates inclusive policy on its sites. Of this number, we have no firm statistics for disabilities but we are satisfied that such policy is a demonstration of the desire of the institution to meet the need of the large number of people that are likely to fall into a diverse group of the demography including the needs of people with disabilities. We are also satisfied that the policy is because of previous Access Audits for UCL sites and there was no need for a separate access audit for this proposal.

6.2 The proposed access plan in Phase 5 is an integral part of the wider plan for the site and working through the issues raised by the access planning process was fundamental to the to the process of determining the need for changes we proposed to the historic building.

6.3 The proposal considered other available options including the provision service by other means, the priorities of implementation and the likely impact of each proposal on the building's significance. In reconciling access and conservation, we carried out detailed conservations assessment of Torrington Place and produced a schedule of work (Copy attached). As a result of our investigations we sought to embody best practice in access design with building conservation in drawing up or recommendations for the scheme.

6.4. Despite the Grade II listing, we are aware from the Survey of London: Vol. XXI, Tottenham Court Road and Neighborhood, St Pancras III: London: -1949: 77 that the interior of the buildings were not inspected. We do not consider this implies a less significant historic interest in the interior. We therefore proposed the preservation of the internal fabric of the building and new elements shall be in keeping with the period of the building and decorative order of the particular location in the building.

## **7. Previous Consultation With CAMDEN Conservation Officer (Michelle O' Doherty)**

7.1 A meeting was held with the conservation officer on site on 30.08.07 to establish what might be acceptable in terms of refurbishment and additions.

We received further comments on our proposal on 20 January 2009

The following set of criteria was discussed as a basis of a future planning application and listed building consent.

### **7.2 Access Strategy**

#### **7.2a Criteria**

- The use of the buildings and departments in occupation outlined above
- The requirements for additional Toilet services identified in the wider plan.
- There is a requirement for an internal and direct link between Torrington and Malet Place
- To satisfy the inclusive policy, compliance with Part M of the Building regulations required and therefore level access outside and within the building and other services.

#### **7.2b Conservation Assessments**

- Refer to clause 4.4 for statements

#### **7.2c Access Plan**

- New external Ramp on church side elevation (acceptable in principle by conservation officer subject to details). (Refer to drawing No L (01) 04 – Ground Floor Layout – Proposed and L (02) 06 - Existing & Proposed East Elevation) prams and wheelchairs, as the textured base means it has a firm surface.
- New disabled lift to provide level access on 3 floors. (The option for internal lift not favorable to the Conservation officer for concerns over original building fabrics.
- New link between Torrington and Malet place
- Main access form 33 Torrington Place (as existing)

#### **7.2d External lift Options**

- Minimal and reversible intervention to original building fabric.
- Minimal alteration to layout.
- Loss of services and amenities e.g. WCs and usable floor space that cannot be re-provided elsewhere on the site.
- Major structural works may undermine original foundation of house due to proximity
- Considerable cost of installation

#### **7.2e Internal lift Options**

- Intervention can be extensive with possible loss of original fabric (best practice that ensures lift installation with minimal and reversible intervention is provided)
- Considerable alteration to the layouts especially to rooms affected
- No loss of WC services and amenities or usable floor space for seminar area
- Less structural risks
- Lesser installation costs

### *7.2f Analysis*

Haven carefully considered the above lift options, we consider the option for an internal disabled lift above the external one on the following grounds:

- No loss to toilet services
- Less risk to a historic building
- Reduced cost as an added advantage

## **8. Other Issues discussed are as follows:**

### **8.1 Entrance Door**

The swing to the entrance door on the East Elevation may have to be reversed to open inwards.

### **8.2 New Bridge link & Toilet Structure**

The proposal for a new link bridge and toilet structure is accepted in principle, and would also have additional benefit by hiding existing plant, if these are screened off. All subject to detail.

### **8.3 New Roof light over light well**

The proposal to provide a new roof to the light well at the ground floor level and incorporate a new roof light is accepted in principle, as the basement area was considered as a low-grade area, in need of some updating.

### **8.4 Internal Doors, skirtings, architraves**

Original internal doors, skirting and architraves are to be retained. Non-original doors, skirtings etc can be replaced with new.

### **8.5 Internal Staircases**

Internal staircases are to be retained and re-decorated.

### **8.6 Windows:**

Existing windows are to be retained and redecorated / refurbished. The heights of the openings to the two windows adjacent to the light well to be increased by removing the wall below the cills to improve the layout.

### **8.7 Roof / external fabric**

Existing roof covering is in good condition but we are able to strip down and re-use original slate roof. Brickwork re-points where necessary, and strip-back defective paintwork and re-decorate.

### **8.8 Demolition at Malet Place**

Demolition of single storey screen wall and stairs in Malet place during building works and the reinstatement similar stairs in look and fabric at the completion of the project.

### **8.9 General Approach**

Generally, the approach to taken is towards minimum intervention / disruption to the existing fabric, and enhancing / replacing lost features e.g. Cornicing, where absent.

### **8.10 Proposals (See attached drawings):**

The new proposals have adopted all recommendations and agreements with the conservation Officer as

detailed above. In addition we also consider the following:

#### **8.11 M&E Service upgrades**

General renewal and upgrade of the Electrical and mechanical services is being proposed.

#### **8.12 New False Ceiling in the corridor**

We have proposed a new false ceiling along the corridors on every floor to conceal the newly provided services. A new service duct is proposed as indicated on the plans to enhance the new M&E installations.

**Please refer to the Schedule of Works Included in this report for further details.**

#### **Drawings Included:**

L (00) 01 – Site & Location Plan	L (01) 01 – Basement Floor Layout - Existing
L (02) 01 – Existing & Proposed Section/Elev 1-1	L (01) 02 – Basement Floor Layout – Proposed
L (02) 02 - Existing & Proposed Section/Elev 2-2	L (01) 03 – Ground Floor Layout - Existing
L (02) 03- Existing & Proposed Section/Elev 3-3	L (01) 04 – Ground Floor Layout – Proposed
L (02) 04 - Existing & Proposed Section/Elev 4-4	L (01) 05 – First Floor Layout - Existing
L (02) 05 - Existing & Proposed Section/Elev 5-5	L (01) 06 – First Floor Layout – Proposed
L (02) 06 - Existing & Proposed East Elevation	L(01) 07 - Second Floor layout - Existing
L (02) 07 - Existing & Proposed West Elevation	L (01) 08 – Second Floor Layout - Proposed
S (22) 02 Torrington PI Schedule of works_Bmt	L (01) 09 – Third Floor Layout – Existing
S (22) 02 Torrington PI Schedule of works_Grd	L(01) 10 – Third Floor layout - Proposed
S (22) 02 Torrington PI Schedule of works_First	S (22) 02 Torrington PI Schedule of works_Second
	S (22) 02 Torrington PI Schedule of works_Third