



Development Control
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E.Howe/D.Reid (PD6965 DAMR/EH)
Montagu Evans
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LONDON
W1J 8HB

Application Ref: **2008/0662/L**
Please ask for: **Charles Thuaire**
Telephone: 020 7974 **5867**

19 January 2009

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990
Planning (Listed Buildings and Conservation Areas) Regulations 1990

Listed Building Consent Granted

Address:
Heath House
North End Way
London
NW3 7ET

Proposal:

Demolition of garage block and erection of new west side wing comprising basement, lower ground, ground and 1st floors plus garage; erection of rear conservatory extension; remodelling of roofs of main house and east side wing; various external and internal alterations; and associated landscaping including new walled courtyard to rear of garage wing.

Drawing Nos: Drawing No, 1017/OS-01A; S02; S03; S04; S06; S07; S08; S09; S10; S13; S14;

1017/AP01E; 02E; 03D; 04; 05; 06B; 07B; 08B; 09B; 10B; 13;

1017/D01 - 09

Arboricultural Report (ArbTech Consulting Ltd) and associated plans;

7181.30.06; Landscape Strategy statement July 2008;

EcoHomes Design Stage Pre Assessment dated 15.1.08;

Preliminary Energy Study dated 15.1.08; letter from Southfacing dated 4.7.08;

photomontage x 1



INVESTOR IN PEOPLE

The Council has considered your application and decided to grant Listed Building Consent subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, colour, texture and profile, unless shown otherwise on the drawings or other documentation hereby approved or required by any condition(s) attached to this consent.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy B6 of the London Borough of Camden Replacement Unitary Development Plan 2006.

- 3 No development shall take place until samples of the materials to be used on the external surfaces of the extensions and alterations hereby permitted have been submitted and approved in writing by the local planning authority. The development shall be carried out in accordance with the approved details. The panel must include facing brickwork demonstrating the proposed colour, texture, face-bond and pointing of the new extension and internal courtyard walls.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy B6 of the London Borough of Camden Replacement Unitary Development Plan 2006.

- 4 Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the Council before the relevant part of the work is begun:

a) Plan, elevation and section drawings of all new windows at a scale of 1:10 with typical glazing bar details at 1:1.

b) Plan, elevation and section drawings of the new jib doors at a scale of 1:10 with typical moulding and architrave details at a scale of 1:1.

c) detailed design, manufacturers details and sample of all new floor coverings.

The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy B6 of the London Borough of

Camden Replacement Unitary Development Plan 2006.

- 5 No new plumbing, pipes, soilstacks, flues, vents or ductwork, grilles, security alarms, lighting, cameras or other appurtenances shall be fixed on the external faces of the building unless shown on the drawings hereby approved.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy B6 of the London Borough of Camden Replacement Unitary Development Plan 2006.

- 6 A detailed method statement in respect to the proposed underpinning works, including details of dismantling and propping of the existing walls shall be submitted to and approved in writing by the Council before works are commenced. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy B6 of the London Borough of Camden Replacement Unitary Development Plan 2006.

- 7 The new joinery work shall match the existing joinery work adjacent in respect of materials, dimensions and profiles, unless shown otherwise on the drawings or other documentation hereby approved or required by any condition(s) attached to this consent.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy B6 of the London Borough of Camden Replacement Unitary Development Plan 2006.

- 8 The new facing brickwork shall match the existing brickwork adjacent in respect of colour, texture, face bond and pointing, unless shown otherwise on the drawings or other documentation hereby approved or required by any condition(s) attached to this consent.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy B6 of the London Borough of Camden Replacement Unitary Development Plan 2006.

- 9 Any hidden historic features which are revealed during the course of works shall be retained in-situ, work suspended in the relevant area of the building and the Council as local planning authority notified immediately. Provision shall be made for the retention and proper recording, to the satisfaction of the Council. Particular regard should be given to the ground floor of Heath House, particularly in respect of stripping existing finishes, moving panelling etc., and also to the location of original tower stair.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy B6 of the London Borough of Camden Replacement Unitary Development Plan 2006.

Informative(s):

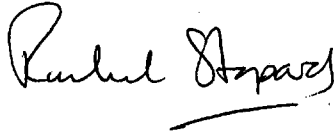
1 Reasons for granting listed building consent.

The proposed development is in general accordance with the policy requirements of the London Borough of Camden Replacement Unitary Development Plan 2006, with particular regard to policy B6 (listed buildings). For a more detailed understanding of the reasons for the granting of this listed building consent, please refer to the officers report

2 You are advised that no works can commence on site until a planning permission subject to a S106 agreement on the associated planning application ref 2008/0661/P has been issued.

Your attention is drawn to the notes attached to this notice which tell you about your Rights of Appeal and other information.

Yours faithfully



Rachel Stopard
Director of Culture & Environment

It's easy to make, pay for, track and comment on planning applications on line. Just go to www.camden.gov.uk/planning.