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Development Control  
Planning Services  
London Borough of Camden  
Town Hall  
Argyle Street  
London WC1H 8ND

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env.devcon@camden.gov.uk  
www.camden.gov.uk/planning

Peter Case (ref. 3062/PC)  
GML Architects Ltd  
40 Featherstone Street  
LONDON  
EC1T 8RE

Application Ref: **2008/0613/P**  
Please ask for: **Aysegul Olcar-Chamberlin**  
Telephone: **020 7974 6374**

10 December 2008

Dear Sir/Madam

#### DECISION

Town and Country Planning Acts 1990 (as amended)  
Town and Country Planning (General Development Procedure) Order 1995  
Town and Country Planning (Applications) Regulations 1988

#### Full Planning Permission Granted Subject to a Section 106 Legal Agreement

Address:  
**183 Royal College Street**  
London  
**NW1 0SG**

Proposal:  
Change of use and works of conversion from single family dwelling house (Class C3) and industrial use (Class B2) to residential use (Class C3) to provide 3 self contained units (two 2-bed and one 3+ bed) and office/commercial use (Class B1) including the insertion of an office mezzanine and internal alterations for a net gain of 55sqm Class B1 floor space and 45sqm residential floor space.

Drawing Nos:  
3062/C1 A; C2 A; C3 A; C4 A; E1 A; E2 A; E3 A; E4 A; P1 A; P2 B; P3 A; P4 A; P5 A; P6 A; P7 A; P8 A; P9 A; and  
E-mail from GML Architects dated 07/05/2008.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):



INVESTOR IN PEOPLE

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise ~~specified in the approved application.~~

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies S1/ S2 and B1 and B7 if in a CA of the London Borough of Camden Replacement Unitary Development Plan 2006.

- 3 Glazing panels at the proposed mezzanine floor on the proposed rear and flank elevations (3 and 4) shown in the approved drawing: 3062-P8 A, provided with obscure glazing and fixed shut, prior to the first use of the approved development, and permanently retained and maintained as such thereafter.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policies S1/ S2 and SD6 of the London Borough of Camden Replacement Unitary Development Plan 2006.

- 4 Before the development commences, details of the location, design and method of waste storage and removal (including recycled materials) shall be submitted to and approved by the Council and the approved facility shall therefore be provided prior to the first occupation of any of the new units and permanently maintained and retained thereafter.

Reason: To safeguard the amenities of the adjoining properties and the area generally in accordance with the requirements of policy SD6, of the London Borough of Camden Replacement Unitary Development Plan 2006.

Informative(s):

- 1 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Sites Team, Urban Design and Regeneration.

- 2 Reasons for granting permission.

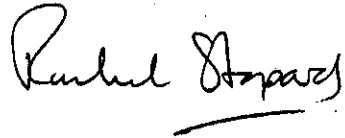
The proposed development is in general accordance with the policy requirements

of the London Borough of Camden Replacement Unitary Development Plan 2006, with particular regard to policies S1/S2, SD1, SD3, SD6, H1, H3, H7, H8, B1, B3, B7, E2, RC2, T3, T8 and T9. For a more detailed understanding of the reasons for the granting of this planning permission, please refer to the officers report.

- 3 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 2363).
- 4 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Environmental Health Service, Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 2090 or by email [env.health@camden.gov.uk](mailto:env.health@camden.gov.uk) or on the website [www.camden.gov.uk/pollution](http://www.camden.gov.uk/pollution)) or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 5 You are advised that the Council will expect all new buildings and structures to be as energy efficient and sustainable as is reasonably practicable and welcomes the measures that have been indicated to date.
- 6 You are advised that policy H7 of the Replacement Unitary Development Plan 2006 encourages all new housing developments to be accessible to all and meet "Lifetime Homes" standards, and the Council welcomes any measures that can be introduced to facilitate this. You are advised to consult the Access Officer, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 2310) to ensure that the internal layout of the building is acceptable with regards to accessibility by future occupiers and their changing needs over time.
- 7 Works involving materials with asbestos should be carried out in accordance with the Asbestos Regulations. You are advised to contact the Health and Safety Executive infoline, 0845 345 0055 or Health and Safety Executive Website: [www.hse.gov.uk/asbestos](http://www.hse.gov.uk/asbestos), for general advice on asbestos if you carry out repair work to the rear workshop which may contain asbestos.

Your attention is drawn to the notes attached to this notice which tell you about your Rights of Appeal and other information.

Yours faithfully



Rachel Stopard  
Director of Culture & Environment

It's easy to make, pay for, track and comment on planning applications on line. Just go to [www.camden.gov.uk/planning](http://www.camden.gov.uk/planning).