

The areas on the drawing have been measured directly from a CAD drawing and have no tolerances added or subtracted.

The areas have been calculated in accordance with the RICS/BSVA Code of Measuring Practice, 4th Edition, 1983 using the stated options N/A, G/A, G/A. They are approximate and relate to the floor area of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-bidding, lease agreements and the like, should make allowance for the following:

- Design development
- Accurate site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances
- Local authority comments

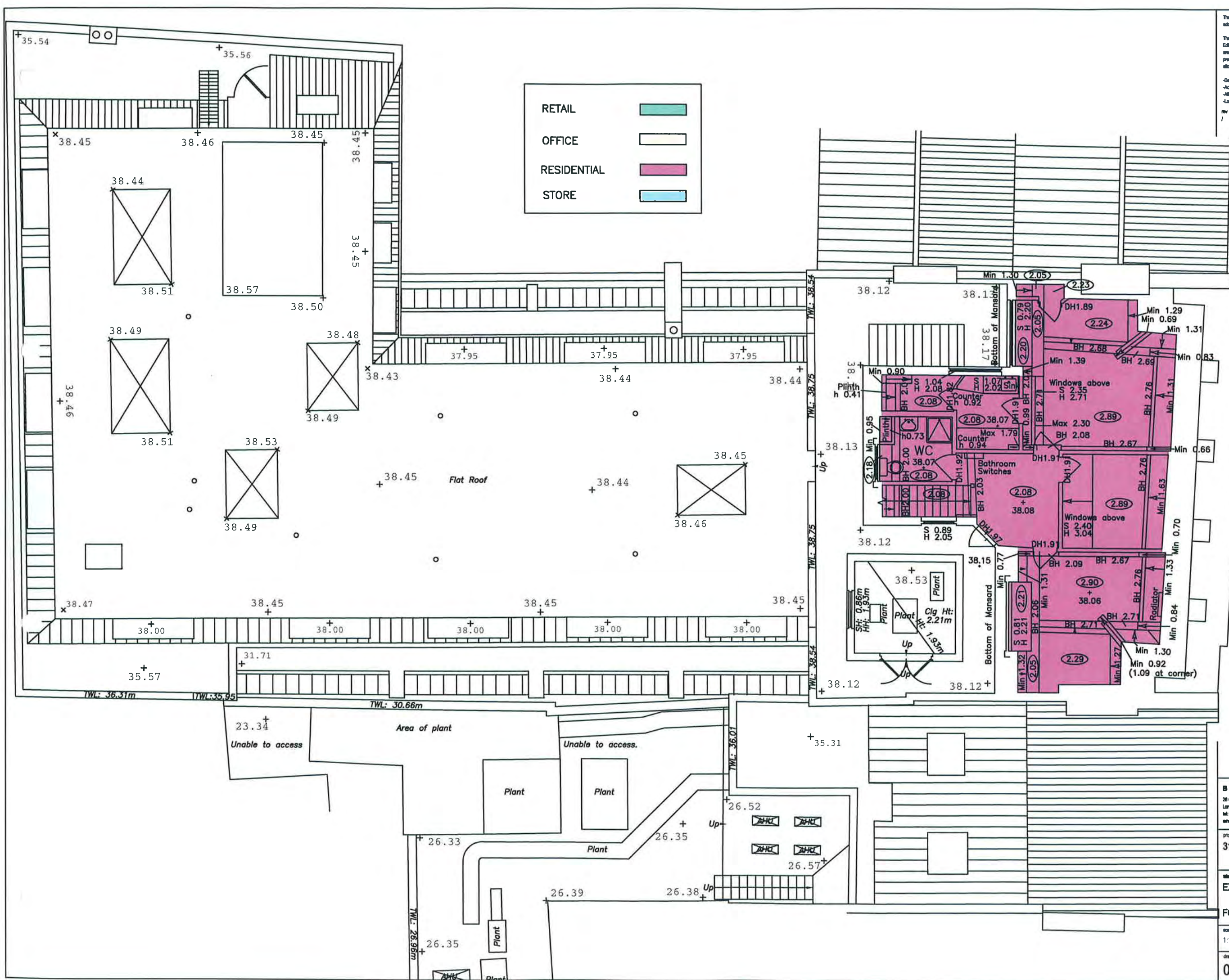
rev	date	description
/	XXXXXX	FIRST ISSUE

RETAIL

OFFICE

RESIDENTIAL

STORE



BRIMELOW Mc SWEENEY ARCHITECTS

28 Great Queen Street, Covent Garden,
London WC2B 3SE.
tel: 020 7831 7836 fax: 020 7831 7839
email: admin@brimelow-mc-sweeney.co.uk

project
31-32 GREAT QUEEN STREET

EXISTING FOURTH FLOOR PLAN

FOR REVISED PLANNING

scale	date	drawn
1:100 @ A3	02/06/08	AH/ AB
drawing No	revision	status
0727_0106	A	P