

# STANTON WILLIAMS

**Introduction**

On 8th April 2008 the Eastern Goods Yard including the Granary Complex, West Handyside Canopy, Pavilion G1 and associated public realm, was given reserved matters planning approval (2007/5228/P) and Listed Building consent (2007/5230/L) by the London Borough of Camden.

Drawings 376\_PL\_003 and 376\_PL\_010, reproduced in this document as Appendix A, show the existing arrangement and elevation of the Eastern Transit Shed.

Drawing 376\_PL\_041A, submitted under the earlier reserved matters and listed building consent applications (2007/5228/P and 2007/5230/L respectively), and reproduced as Appendix B of this statement, illustrate the approved elevation arrangement for treatment to the Eastern Transit Shed Northern façade. This shows a large glazed opening cut from the existing blind arch within the gable wall, approximately 10m high.

In January 2009, Argent and Stanton Williams presented to the London Borough of Camden and English Heritage a proposal to modify the approved design of the Northern Elevation of the Eastern Transit Shed.

The proposal, which is explained in further detail in the following paragraphs, seeks to maintain more of the blind arch to the centre of the existing façade and add a simple glazed slot element in lieu of the large glazed element, thereby retaining more of the historical features on this façade and providing greater privacy to the internal uses.

It should be noted that the treatment of the Northern elevation of the Western Transit Shed is to remain as per the previously approved scheme with a large glazed cut from the existing blind arch.

Conceptual Approach

The underlying strategic approach to the Eastern Goods Yard project has always been drawn from a clear understanding of the existing context within the site. The new contemporary additions and insertions are carefully articulated and detailed to respond to the raw beauty of the existing materials and the proportions and rhythms of the existing fabric.

The project celebrates the historical nature of the industrial landscape of which the buildings are an integral part. The contemporary interventions will create a rich dialogue between new and old.

The conceptual approach to the existing fabric has always been to retain the evidence of history and historical change, contrasting this with new modern materials, finishes and construction techniques. Much of the external brickwork within the Granary Complex will be only minimally cleaned to protect the patina of time, including for example the war damage to the Granary’s East elevation which will be retained and existing steel ‘runway’ beams to the Transit Sheds which are to be uncovered.

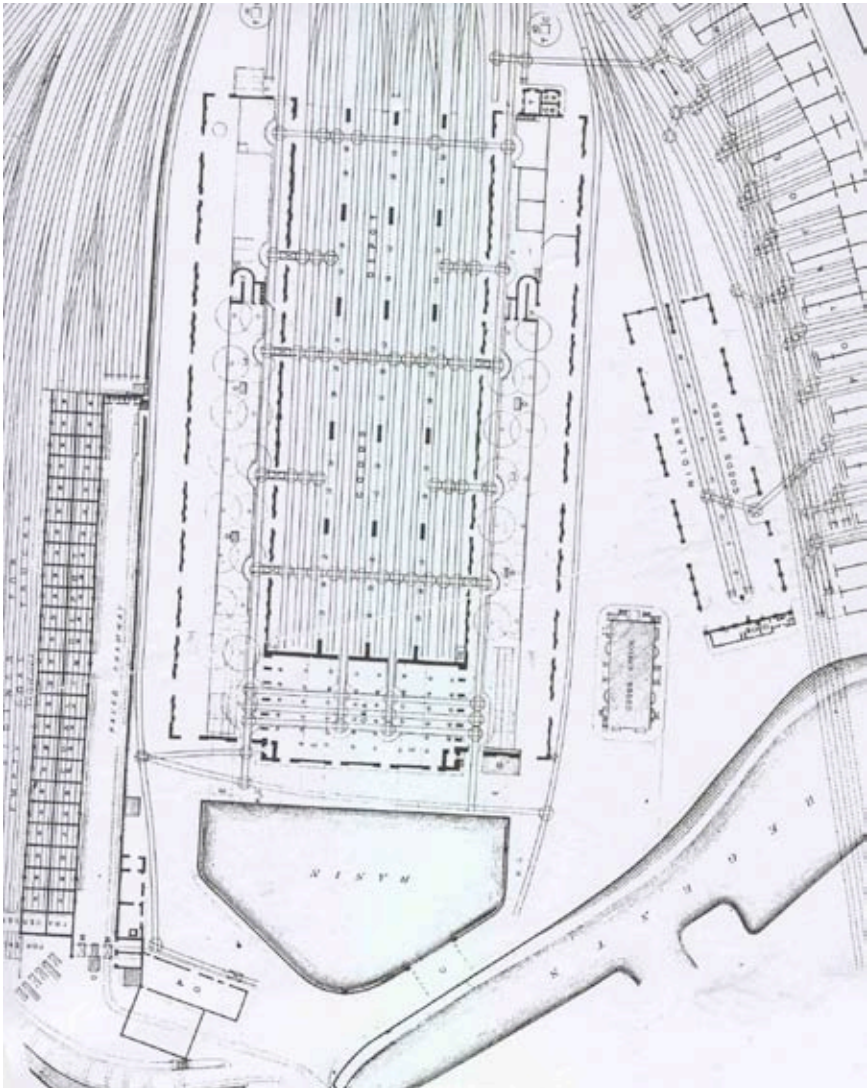
This revised proposal for the north elevation of the Eastern Transit Shed seeks to ensure that evidence of historical interventions are retained for public view wherever possible, providing a richer understanding of how the building has evolved and been adapted over time.

A similar strategy has been adopted for the north elevation of the Granary, where the removal of the Assembly Sheds has exposed this facade in its entirety. Removal of the existing cast iron columns, steel trusses and roof coverings, revealed a brickwork facade that has over the years been repainted a number of times, as well as leaving a clear imprint of where previous roof profiles abutted the Granary. This elevation has been physically affected by change many times during the building’s lifetime and the historical scars were previously largely hidden from view.

Similarly the removal of a smaller ancillary building which once abutted the Eastern Transit Shed’s north elevation, visible on the 1850 Humber Plan below, has revealed layers of history including the outline of this building, a fireplace, flues and chimney nostrils, all clearly evident in the overall composition. Retaining these features will form a rich contrast when juxtaposed with the new University of the Arts Studio Buildings.



Existing North Elevation showing chimney ‘nostrils’. Copyright Carl Drury



1850 Humber Plan



**New Proposal**

The new proposal, set out in the image below and the submitted drawings, seeks to retain much of the historical scarring from the building’s evolution. The two side arches will be reformed as per the existing Reserved Matters approval 2007/5228/P and Listed Building consent 2007/5230/L, locating the glazing on the inner wall face to reveal the wall depth and to suggest that these were originally open and not blind arches.

In a change to the approved scheme, the larger blind brickwork arch will now be mostly retained, along with remnants of the fireplace, chimney flues, a new smaller vertical, glazed opening will be inserted. In contrast to the two side arches, the proposed double glazed unit will sit flush with the exterior brickwork face, with complimentary detailing to maintain the same architectural language as elsewhere on the building. A metal acoustic separation panel will sit within the window recess, between the glazing and the first floor concrete slab.

The uses behind this elevation include various theatre preparation areas, changing areas and green room for the University of the Arts performing arts centre, where a high level of public view is not always desired. The proposed amount of glazing therefore provides greater privacy for these uses.

It is considered that the proposed changes to the central arch glazing will respond better to the geometry and the historic grain of the elevation, whilst maintaining appropriate daylighting for the uses inside.



Proposed North Elevation to Eastern Transit Shed - Preliminary sketch image

The composition will be identifiably different to the Western Transit Shed North elevation (which remains as approved under the aforementioned Reserved Matters approval and Listed Building Consent), but using the same family of architectural details.

This façade will be appropriately lit to capture the unique texture that the layers of history have written on the brickwork. Two external floor recessed up-lighters within each of the three recesses will help to enhance the rich grain of the masonry and create a dramatic elevation at night.

**Potential for Art**

In order to augment the intrinsic qualities of the northern elevation of the Eastern Transit Shed and to add further interest at street level it is proposed that the fixed glazing within the arches, to either side of the vertical slot window, may incorporate a glazed art form. This could take the form of decorative etched glass panels. An example of such etching is shown for reference below.

Utilisation of a translucent form would allow glimpses of internal movement and activity while retaining privacy appropriate to adjacent uses. The glazed art form will be designed to respond to the site-wide arts strategy and the specific qualities of the building, users and location. It has the potential to encompass an abstract form or take inspiration from the context of the King’s Cross industrial landscape and activities.



Example of 'Roche' etched design onto glass. Copyright Susanna Heron, Artist

**Cleaning and Repointing**

Appendix D includes drawings which detail the proposed areas of repointing and repair work to be completed on the northern façade of the Eastern Transit Shed. Survey 1 with associated schedule by Richard Griffiths Architects shows the repair work proposed outside of the existing central blind arch. Works to the area within the central arch, which includes the brickwork previously to be removed under the original Reserved Matters approval and Listed Building Consent, is shown in a separate drawing (Survey 2) by Pyramid Builders Ltd. Principally the works will involve repairs to and repointing of existing brick features and ‘scars’ on the façade to ensure that the façade is safe and structurally sound.

**Access and Inclusivity**

An inclusivity statement was issued as part of the EGY reserved matters submission. The changes proposed here do not materially affect access for disabled people to the projects. The King’s Cross Central proposals for visual manifestation and protection for people with partial vision will be implemented as a part of the overall Eastern Goods Yard scheme.

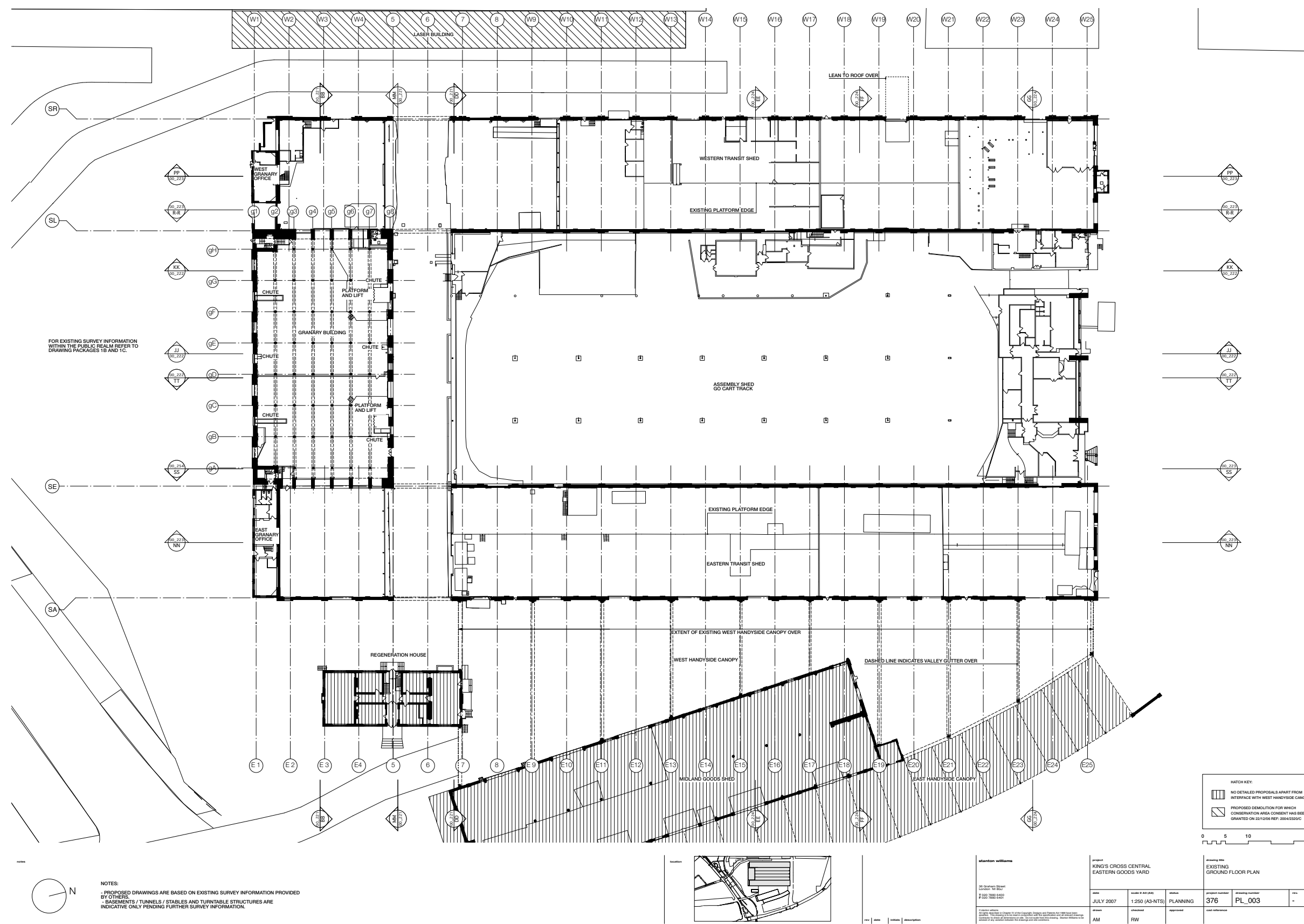
The proposed change will improve the architectural legibility of the building.

**Conclusion**

Both the quality of the existing building and the requirements of the end user have been considered in developing this design. This proposal aims to present an elegant and well detailed façade to the important vehicular and pedestrian thoroughfare that is to be created behind the building, namely Goods Street. This proposal respects and indeed maintains the rich layers of the structures that have evolved with the building over time whilst also providing a functional solution for the new users within the building.

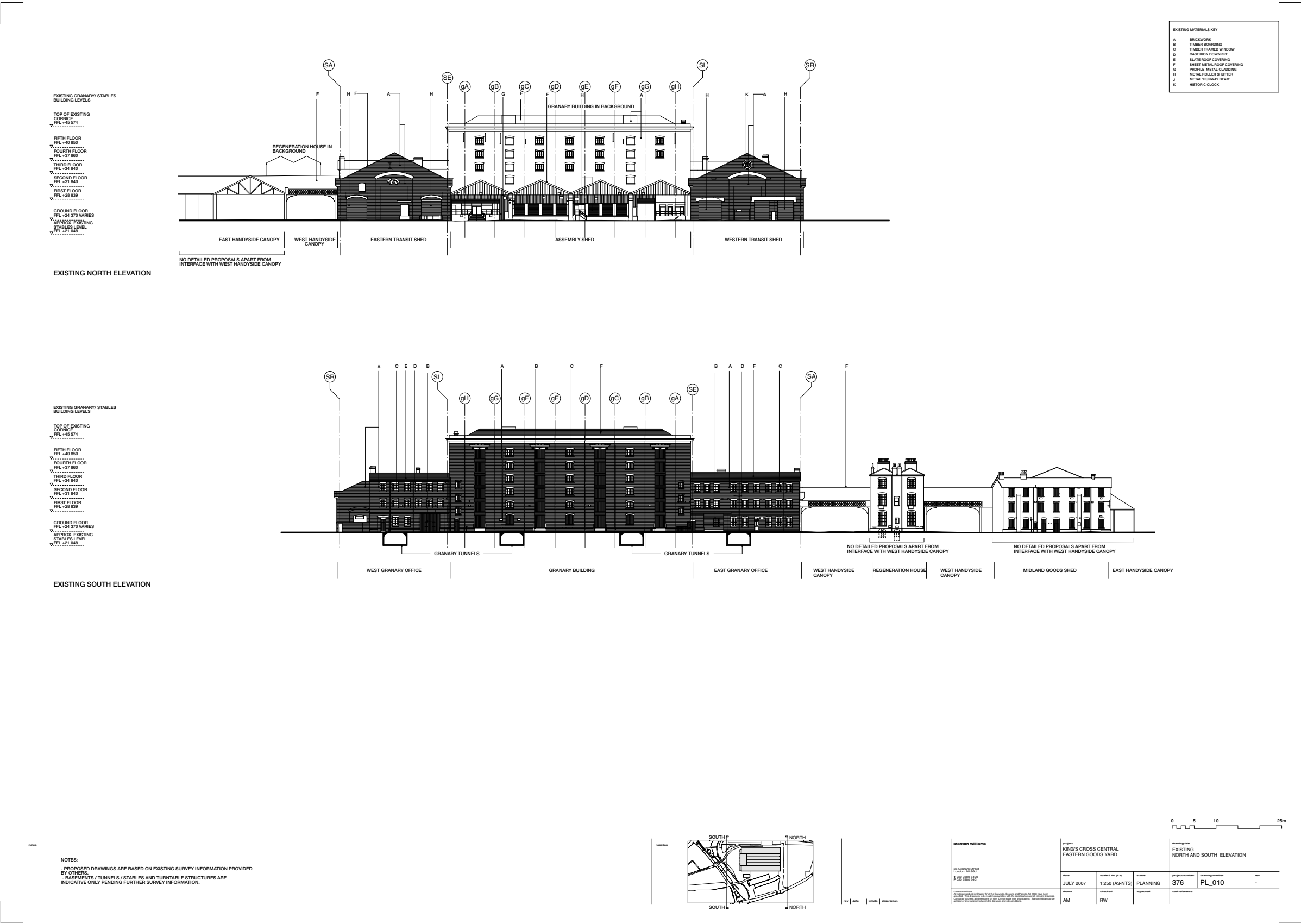
APPENDIX A

EXISTING GROUND FLOOR PLAN

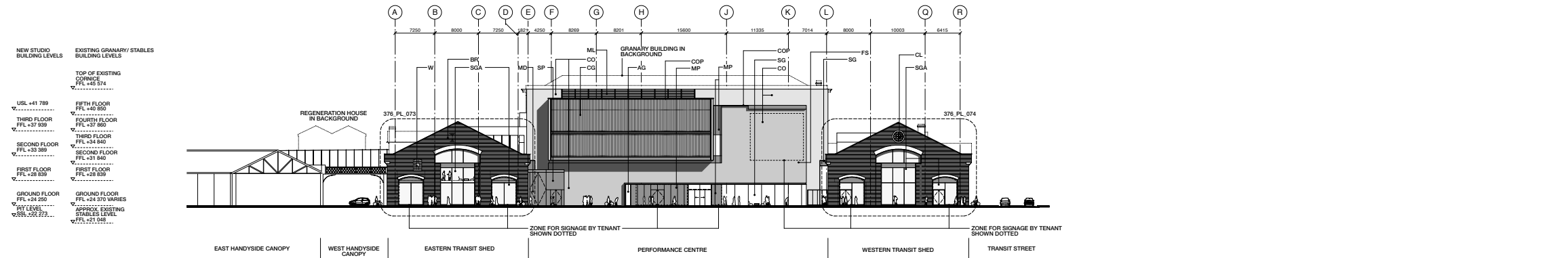


APPENDIX A

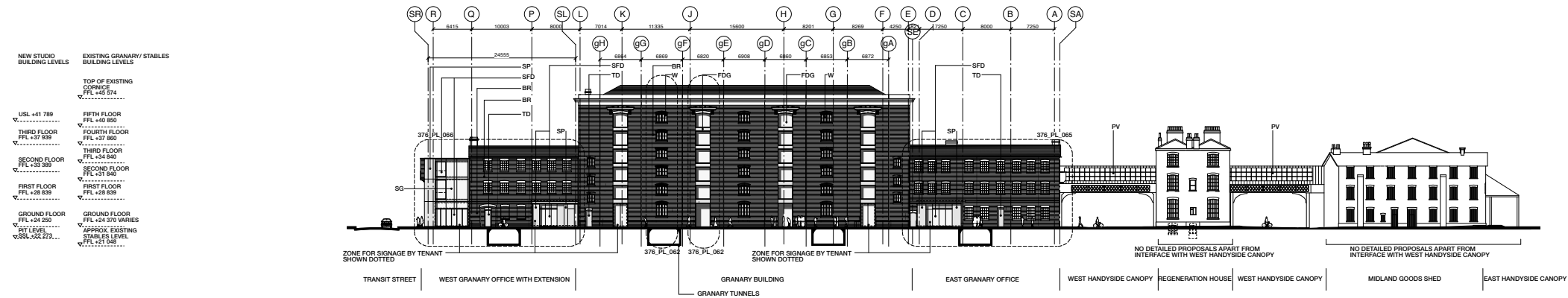
EXISTING NORTH AND SOUTH ELEVATION







NORTH ELEVATION (FROM GOODS STREET EAST)

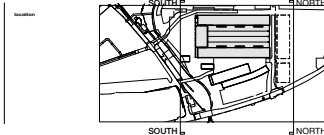


SOUTH ELEVATION (FROM GRANARY SQUARE)

PROPOSED MATERIALS KEY			
BR	EXISTING BRICKWORK WITH LIGHT CLEANING	MP	METAL PANEL INSERT/FINISH TRC
SB	EXISTING STEEL BEAM REFINISHED	AG	TRIPLE GLAZED ACOUSTIC WINDOW ASSEMBLY (CLEAR)
HP	EXISTING HOIST & RALLY ENCLOSURE REFINISHED / MODIFIED	GD	GLASS DOORS
W	EXISTING WINDOWS REFINISHED AND DOUBLE GLAZED OR REPLACED WITH MATCHING IF CONDITION POOR	FE	EXISTING WINDOW REFINISHED AND DOUBLE GLAZED OR REPLACED WITH MATCHING IF CONDITION POOR
CL	EXISTING CLADDING REFINISHED	ML	METAL LOUVER
CO	EXISTING CLADDING REFINISHED	MD	PAINTED METAL GATES
PL	TEXTURED PLASTER WALL FINISH	OS	STAINLESS STEEL / GLASS STAIRCASE
OP	DOUBLE GLAZED CURTAIN WALLING (STUDIOS)	PM	PAINTED METAL STAIR WITH TIMBER THREADS
SD	DOUBLE GLAZED STRUCTURAL GLAZING	TD	NEW HARDWOOD TIMBER DOOR
SGS	DOUBLE GLAZED STRUCTURAL GLAZING WITH EXTERNAL SUPPORT STRUCTURE	MD	NEW FLOOR METAL DOOR
CG	1/2 PROFILE CAST GLASS WITH INSULATION FILL	WCL	SEMI-SCENIC GLAZED AND STAINLESS STEEL WALL CLIMBER UP/ST/ METAL WALL LINING
SGA	STRUCTURAL GLAZING WITH SOLID METAL SURROUND TO ARCHES	CI	CAST IRON OUTER / RWP
FDG	FRAMELESS DOUBLE GLAZING WITH EXPRESSED TIMBER LINED FLOOR EDGE	SFD	SLIDING / FOLDING GLASS DOORS

NOTES:

- PROPOSED DRAWINGS ARE BASED ON EXISTING SURVEY INFORMATION PROVIDED BY OTHERS
- BASEMENTS / TUNNELS / STABLES AND TURNABLE STRUCTURES ARE INDICATIVE ONLY PENDING FURTHER SURVEY INFORMATION
- WORKS TO REGENERATION HOUSE, MIDLANDS GOOD SHED AND EAST HANDSIDE CANOPY: NO DETAILED PROPOSALS APART FROM INTERFACE WITH WEST HANDSIDE CANOPY INCLUDING:
  - REPAIR AND MAKE GOOD CAST IRON COLUMNS
  - NEW RAINWATER PIPES
  - NEW WATERPROOFING / FLASHINGS
  - ANY DANGEROUS MASONRY ON EXISTING BRICK WALL TO BE MADE GOOD



A 14.02.08 WK ACTIVE FACADES REMOVED

stanton williams  
2008  
London W10 6BQ  
P 020 7885 4400  
F 020 7885 4401

project  
KING'S CROSS CENTRAL:  
EASTERN GOODS YARD

date  
JULY 2007

scale 1:250 (A3-NTS)

status  
PLANNING

project number  
376

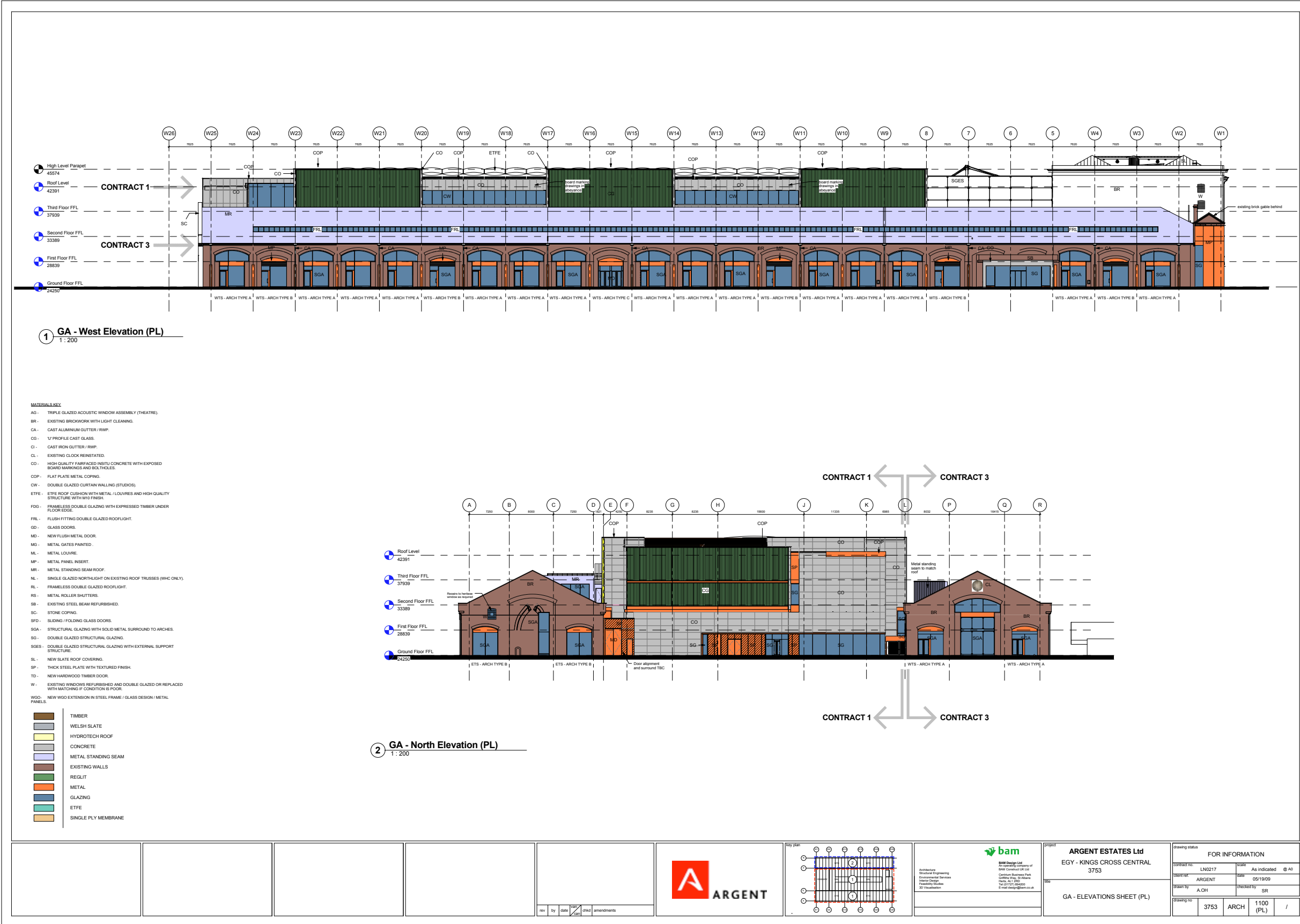
sheet  
PL 01

area  
A

0 5 10 25m

APPROVED

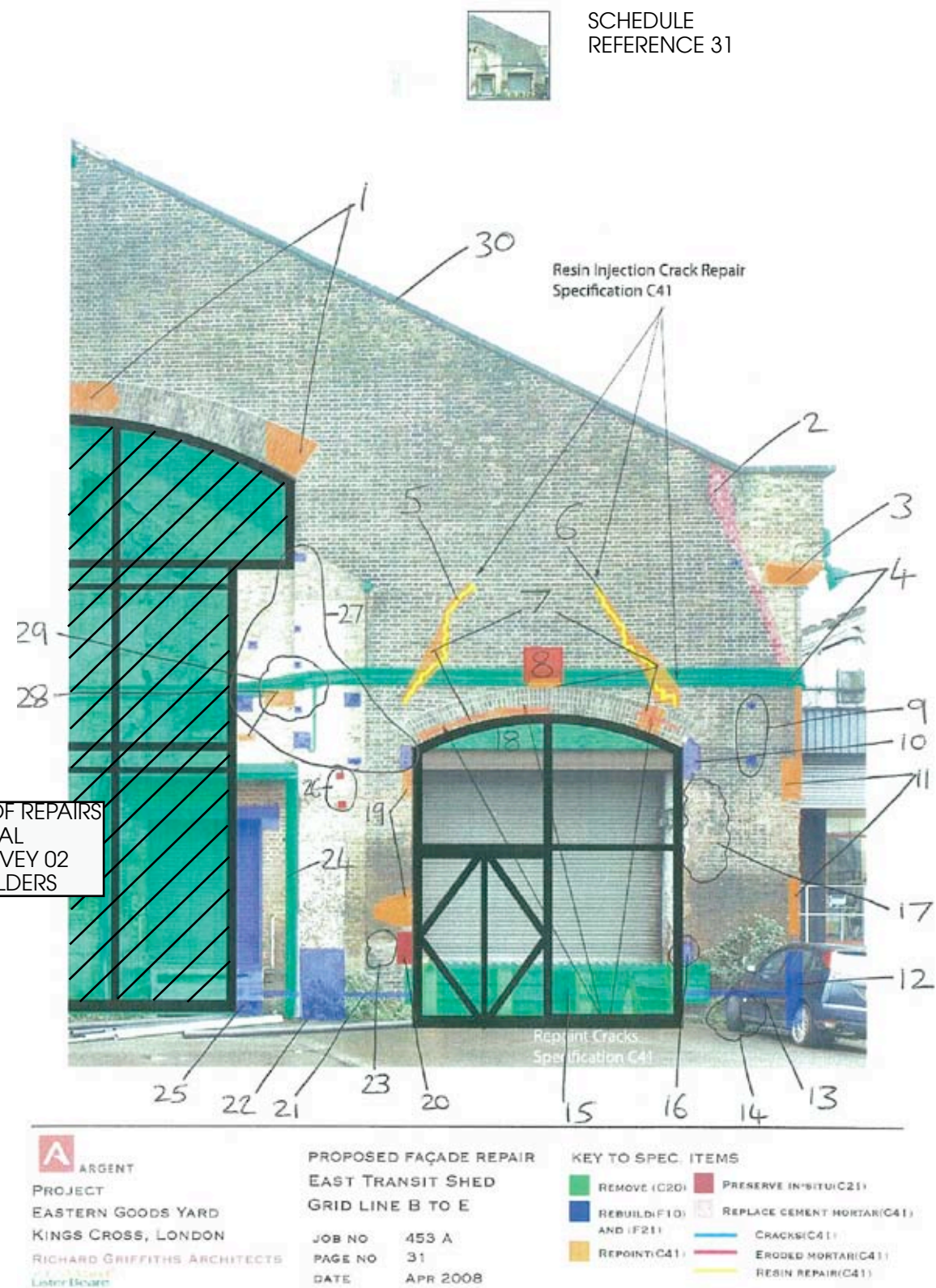
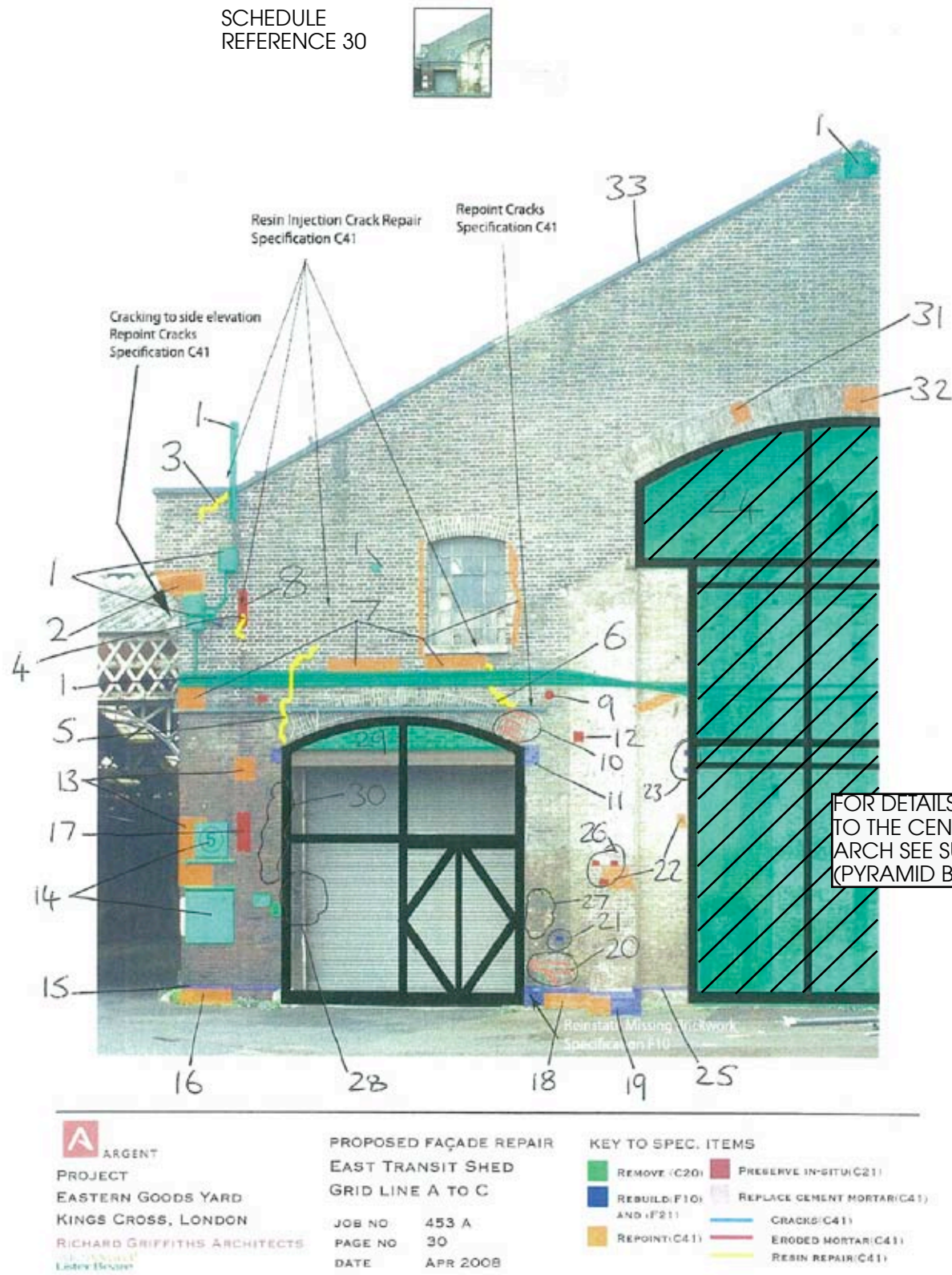






APPENDIX D

NORTHERN ELEVATION OF EASTERN TRANSIT SHED  
RICHARD GRIFFITHS SURVEY 01:  
PROPOSED FACADE REPAIR (OUTSIDE OF CENTRAL ARCH)



APPENDIX D

BUILDING SURVEYOR'S SCHEDULE

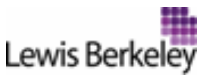
Eastern Goods Yard  
Kings Cross,  
London



Ref		Location	Condition	Remedy	Remedial Ref	Quant		Notes
30	1	Mid-high level generally	Redundant electrical fittings and fixtures including cables	Remove and make good	C20	Item		
30	2	High level stone corbel to north east corner	Damaged and eroded stone work	Repair and make good	F21	Item		By others
30	3	High level to east side of gable	Stepped brickwork crack	Repair crack.	C41	1	m	
30	4	Mid level to east side of gable	Stepped brickwork crack	Repair crack.	C41	0.5	m	
30	5	Mid level extending upwards from east end of spring arch	Stepped brickwork crack	Repair crack.	C41	3	m	
30	6	Mid level extending upwards from west side of spring arch	Stepped brickwork crack	Repair crack.	C41	1	m	
30	7	Mid level brickwork generally	Eroded mortar pointing.	Rake out and repair	C41	7	m2	
30	8	High level to west of stone corbel	Historic fittings	Preserve in situ	C21	Item		
30	9	Mid level either side of spring arch	Historic fittings	Preserve in situ	C21	Item		
30	10	Mid level to west side of spring arch	Eroded mortar pointing.	Rake out and repair	C41	0.5	m2	
30	11	Mid level to spring of arch either side	mismatched brickwork	Cut out and replace	F10, F21	20	no	



Eastern Goods Yard  
Kings Cross,  
London



Ref		Location	Condition	Remedy	Remedial Ref	Quant		Notes
30	12	Mid level brickwork to west of arch	Historic hole	Preserve in situ	C21	Item		
30	13	Mid level brickwork to east of east opening	Eroded mortar pointing.	Rake out and repair	C41	2	m2	
30	14	Mid level brickwork to east of east opening	Miscellaneous redundant signage and fixings	Remove and make good	C20	Item		
30	15	Low level stone plinth	Cracked and eroded	Cut out and replace	F21	2	m	By others
30	16	Low level to east side of opening	Eroded mortar pointing.	Rake out and repair	C41	1	m2	
30	17	Mid level to east side of east opening	Historic openings in brickwork	Preserve in situ	C21	Item		
30	18	Low level to west side of opening	Eroded mortar pointing.	Rake out and repair	C41	1	m2	
30	19	Low level to west side of opening below plinth	Damaged and displaced brickwork	Cut out and replace	F10, F21	75	no	
30	20	Low level above plinth to west of opening	Eroded mortar pointing.	Rake out and repair	C41	1	m2	
30	21	Low-mid level brickwork to west of opening	Misplaced brickwork	Cut out and replace	F10, F21	Item		
30	22	Mid level brickwork generally to west of opening	Eroded mortar pointing.	Rake out and repair	C41	2	m2	

APPENDIX D

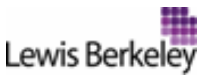
BUILDING SURVEYOR'S SCHEDULE

Eastern Goods Yard  
Kings Cross,  
London



Ref		Location	Condition	Remedy	Remedial Ref	Quant		Notes
30	23	Mid level to quoin of retained pier in infill panel	Historic openings to brickwork	Preserve in situ	C21	Item		
30	24	Infill panel	Redundant	Remove and make good include for retained piers	HBG Brick Arch Mod. Spec	Item		
30	25	Low level stone plinth to west of opening	Damaged and eroded	Cut out and replace	F21	3	m	By others
30	26	Mid level brickwork to west of opening	Historic opening to brickwork	Preserve in situ	C21	Item		
30	27	Low level to west of opening adjacent to quoin	Historic fixing points	Preserve in situ	C21	Item		Additional item.
30	28	Low-mid level brickwork to east return at opening	Redundant steel brackets	Remove and make good	C20	Item		Additional item.
30	29	Brickwork infill to opening	Redundant	Remove and make good	C20	Item		
30	30	Low-mid level brickwork generally to east of opening	Eroded mortar pointing.	Rake out and repair	C41	2	m2	Additional item.
30	31	Mid-low level brickwork across spring arch	Redundant pipework	Remove and make good	C20	Item		Additional item.
30	32	High level brickwork to central spring arch	Eroded mortar pointing.	Rake out and repair	C41	3	m2	
30	33	Parapet copings.	Damaged and eroded.	Replace copings including stainless steel				Additional item.

Eastern Goods Yard  
Kings Cross,  
London



Ref		Location	Condition	Remedy	Remedial Ref	Quant		Notes
31	1	High level brickwork generally to central spring arch	Eroded mortar pointing.	Rake out and repair	C41	4	m2	
31	2	High level brickwork surrounding west corbel	Cement mortar	Rake out and repair	C41	4	m2	
31	3	High level stone corbel to west side	Damaged and eroded	Repair and make good	F21	Item		By others
31	4	Mid-high level generally	Redundant electrical goods including cables, trays etc	Remove and make good	C20	Item		
31	5	Mid level extending upwards from east side of spring arch	Stepped crack	Repair and make good as specification	C41	4	m	
31	6	Mid level extending upwards from west side of spring arch	Stepped crack	Repair and make good as specification	C41	4	m	
31	7	Mid level brickwork above arch generally around noted cracks	Eroded mortar pointing.	Rake out and repair	C41	8	m2	
31	8	Mid level above arch	Historic sign	Preserve in-situ	C21	Item		
31	9	Mid level brickwork to west of west arch	Damaged brickwork	Cut out and replace	F10, F21	10	no	
31	10	Mid level brickwork to spring of arch either side	Mismatched brickwork	Cut out and replace	F10, F21	30	no	
31	11	Low-mid level brickwork to north west corner	Eroded mortar pointing.	Rake out and repair	C41	3	m2	



APPENDIX D

BUILDING SURVEYOR'S SCHEDULE

Eastern Goods Yard  
Kings Cross,  
London



Ref		Location	Condition	Remedy	Remedial Ref	Quant		Notes
31	12	Low level brickwork to north west corner	Damaged and displaced brickwork	Cut-out and replace	F10, F21	60	no	
31	13	Low level stone plinth to west of opening	Damaged and eroded	Cut out and replace	F10, F21	2	m	
31	14	Low level brickwork below plinth to west of opening	Brickwork damaged and spalled	Cut out and replace	F10, F21	1.5	m2	Additional item.
31	15	Low level loading ramp	Redundant	Remove and make good	C20	Item		
31	16	Low level brickwork to west quoin of opening	Damaged brickwork	Cut out and replace	F10, F21	10	no	
31	17	Mid level brickwork to west quoin of opening	Damaged brickwork	Cut out and replace	F10, F21	40	no	Additional item.
31	18	Brickwork infill panel to opening	Redundant	Remove and make good	HBG Brick Arch Mod. Spec	Item		
31	19	Low-mid level brickwork generally to east of opening	Eroded mortar pointing.	Rake out and repair	C41	2	m2	
31	20	Low level brickwork to east quoin of opening	Historic sign	Preserve in-situ	C21	Item		
31	21	Low level stone plinth to east of opening	Damaged and eroded	Cut out and replace	F21	2.5	m	By others
31	22	Low level brickwork to east of opening	Damaged brickwork	Cut out and replace	F10, F21	1.5	m2	

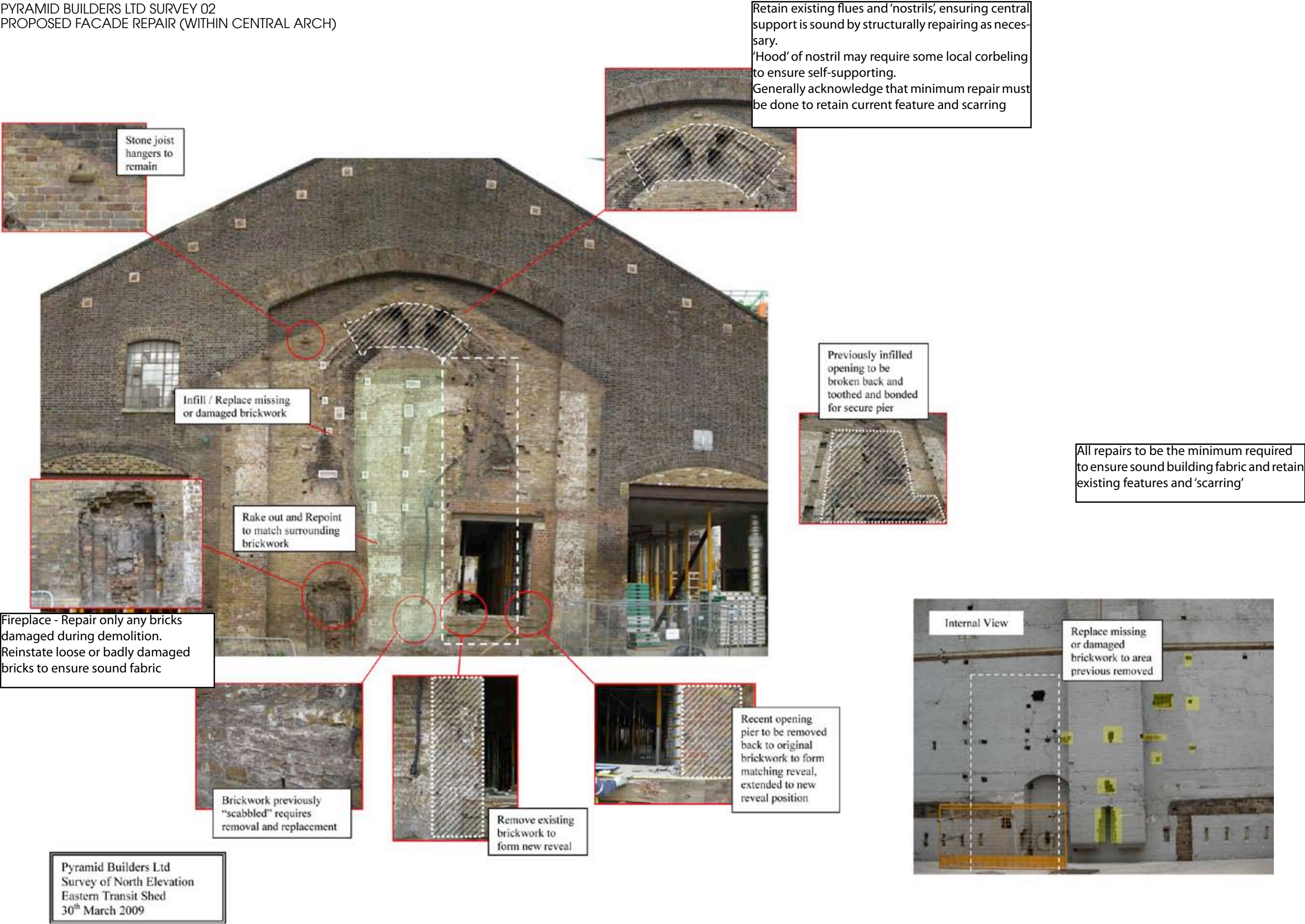
Eastern Goods Yard  
Kings Cross,  
London



Ref		Location	Condition	Remedy	Remedial Ref	Quant		Notes
31	23	Low level brickwork below plinth to east of opening	Eroded mortar pointing.	Rake out and repair	C41	1	m2	Additional item.
31	24	Steel porch frame	Redundant	Remove and make good	C20	Item		
31	25	Low level brickwork to west side of central infill panel	Displaced brickwork to related pier	Rebuild retained pier to specifications	F10, F21	Item		
31	26	Mid level brickwork to left of redundant porch frame	Historic fixings/timber grounds	Preserve in situ	C21	Item		
31	27	Mid level brickwork to west of centre infill generally	Damaged and displaced brickwork	Cut out and replace	F10, F21	40	no	
31	28	Mid level brickwork to retained pier	Eroded mortar pointing.	Rake out and repair	C41	1.5	m2	
31	29	Mid level brickwork to retained pier	Stepped brickwork crack	Repair and make good	C41	1.5	m	Additional item.
31	30	Coping to gable end	Damaged and eroded	Replace copings including stainless steel		Item		Additional item.



PYRAMID BUILDERS LTD SURVEY 02  
PROPOSED FACADE REPAIR (WITHIN CENTRAL ARCH)





Stanton Williams  
36 Graham Street  
London N1 8GJ  
Phone +44 (0)20 7880 6400  
Email [info@stantonwilliams.com](mailto:info@stantonwilliams.com)  
[www.stantonwilliams.com](http://www.stantonwilliams.com)