

Planning Submission Design & Access Statement – Amendment to Approved Scheme 2005/4097/P

PROJECT Arup Fitzrovia Phase 2 & 3, London W1

CLIENT Arup

DATE September 2009 Document Number: 2240_00_917 rev -



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Project Leader
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DATE:



ARCHITECTURE URBAN DESIGN PLANNING INTERIORS

ARUP

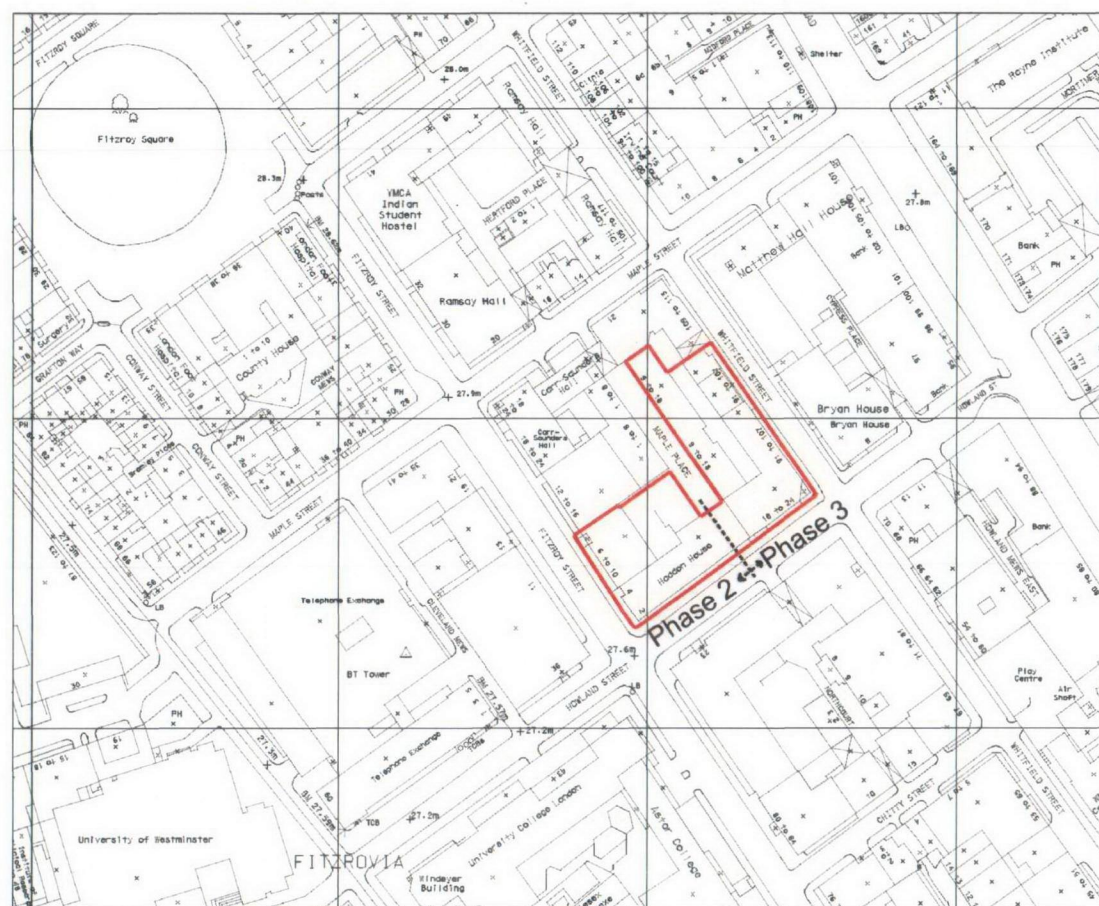
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1.0 Introduction

- 1.01 This report forms the town planning application for a minor amendment to the approved scheme reference number 2005/4097/P in relation to the omission of one of the main entrances to the office building to be occupied by Arup, located in central Fitzrovia. The site comprises Haddon House (2-4 Fitzroy Street) located on the corner of Fitzroy Street and Howland Street, Howland House (18 Howland Street) on the corner of Howland Street and Whitfield Street, 8 Fitzroy Street and 9-18 Maple Place. Derwent London is the freeholder of the existing properties. All the previous buildings were also occupied by Arup. The approved scheme is currently being constructed in two phases the last of which will be completed by December 2009.



Location plan showing development phases.

2.0 Site Location

2.01 The site is located in the London Borough of Camden (LBC). The buildings under construction occupy a prominent and substantial plot within an existing urban block bounded by Maple Street to the north, Fitzroy Street to the west, Howland Street to the south and Whitfield Street to the east. The development site is fragmented by Maple Place, a London Borough of Camden highway, which almost bisects the site into two parts, west and east.

The Fitzrovia area contains a mix of uses including residential, retail and predominantly office. Arts, media and entertainment activities are well represented and there are links with design, fashion and graphic arts.

The previous buildings and their immediate surroundings dated back to the late 1950s and early 1960s having replaced buildings that were destroyed in the Second World War. The façades along Howland, Fitzroy and Whitfield Streets were very flat and had strong horizontal banding with parapet heights on the main street frontages generally all at a similar height. These have all now been replaced with a contemporary building in accordance to the design approved by LBC in 2006.

3.0 Reason for the Amendment

3.01 Arup has agreed a long lease for these buildings, which together with the neighbouring substantial refurbishment of No. 8 Fitzroy Street completed in 2003, form Arup's London headquarters campus.

At the time of the approved scheme's application Arup had intended on sub-letting part of the ground floor and potentially some of the upper floors as these were surplus to requirement. This requirement was facilitated by providing two main entrances to the development; an Arup entrance on Fitzroy Street (opposite their entrance to No. 8 Fitzroy Street, thereby providing ease of access for Arup staff between their two buildings) and a further entrance on Howland Street for any sub-tenancies. Arup had engaged in detailed discussions with a particular sub-tenant at that time.

After the scheme had been approved and construction commenced on site Arup had concluded that they would indeed occupy the majority of the new building except the ground floor located adjacent to Howland Street and Whitfield Street, which would be sub-let to the same tenant referred to above. The second main entrance on Howland Street would therefore serve this tenant and not interfere with any of the Arup occupied space, providing one secure point of access for Arup staff and visitors.

In light of recent economic events Arup's sub-tenant has decided not to occupy the building and thus Arup took the decision to occupy the entire building, therefore requiring only one main entrance for both management and security reasons. This application therefore seeks to gain approval for the omission of the entrance on Howland Street by replacing the proposed revolving door drum with a single or double leaf access door (to satisfy building regulations) to be used as a means of escape only. The proposed design is such that should Arup wish to reinstate this as a main entrance in the future and providing necessary approvals are obtained, they can do so.



Phase 2 Howland Street/Fitzroy Street junction – Progress September 2009



Phase 3 Howland Street/Whitfield Street junction – Progress September 2009

4.0 The Approved Scheme

4.01 The approved scheme was granted in December 2005 subsequent to a number of consultation meetings with LBC planning officers. Paragraphs 6.20 to 6.28 of the planning officer's report refer to the townscape and design issues that were considered and discussed at length.

As noted in section 3.0, the approved scheme incorporates a main entrance off Howland Street close to the junction with Fitzroy Street. The main entrance comprises a glass revolving door and single pass door with level access from the pavement leading into the reception area. The entrance to the previous 1960's designed building along Howland Street was closer to the Whitfield Street junction and was accessed via three steps above pavement level as is characteristic of many of this era of buildings in the locality.

The approved scheme also incorporates a cantilevered canopy above both the Fitzroy Street and Howland Street entrances that tapers towards the corner junction of these two streets. Its purpose is two-fold; to protect those entering and exiting the buildings from the external elements and; as a device to help break up the mass of the building, providing a marker for the building and its public exhibition space at the corner.

The Howland Street entrance is not and has never been in use as the building is still under construction. It is therefore not yet an established entrance. Drawing nos. 2240-20-291 to 2240-20-294 indicate the relevant portions of the approved scheme.



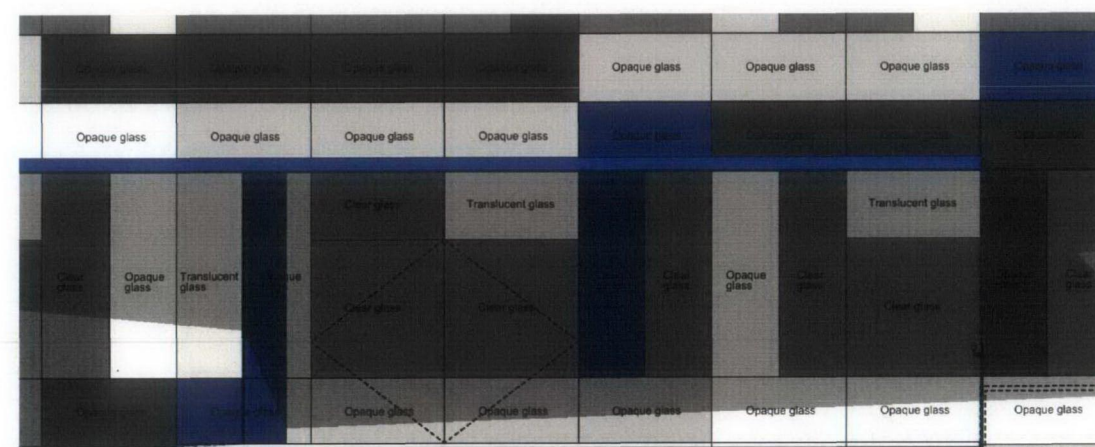
5.0 The Proposed Scheme

5.01 The proposed amendment is driven by the requirement referred to in section 3.0. The intention is therefore that the main and sole entrance to the building is located on Fitzroy Street. The proposal seeks to amend the approved scheme by omitting the revolving door and single pass door on Howland Street. These will be replaced by a continuation of the patterned glazing panels using a mix of opaque, translucent and clear glass in keeping with the rest of the building. A new single or double leaf escape door (size to meet building regulations approval) using the same pattern of glazing would also be incorporated into this area as indicated on drawing nos. 2240-20-295 to 2240-20-298.

Whilst the proposed amendment is a change to the original design intent it does not significantly diminish the integrity of the concept and will not visually detract from the quality and composition of the design as it will be in keeping with it. The proposal would therefore comply with LBC's Replacement UDP policies B1 and B3.

The amendment seeks to convert the Howland Street reception area into a café/break-out zone thereby differentiating it from the remainder of the standard office areas as indicated in drawing nos. 2240-20-295 and 2240-20-296. The over-sailing canopy and folding plane of this portion of the façade and that on Fitzroy Street will therefore continue to emphasise those parts of the building that accommodate "special functions" - namely an exhibition space and café/break-out zone. The exhibition space being accessible to the public from the Fitzroy Street entrance only for both the approved and proposed schemes. Further more due to the fact the Howland Street entrance has not been in use yet it would not be considered an established entrance that has contributed to the existing street scene. Therefore the differential impact on the street scene would be negligible in that the area that is currently approved as reception use would still be animated and accommodate a different activity to that of the remaining ground floor standard office space.

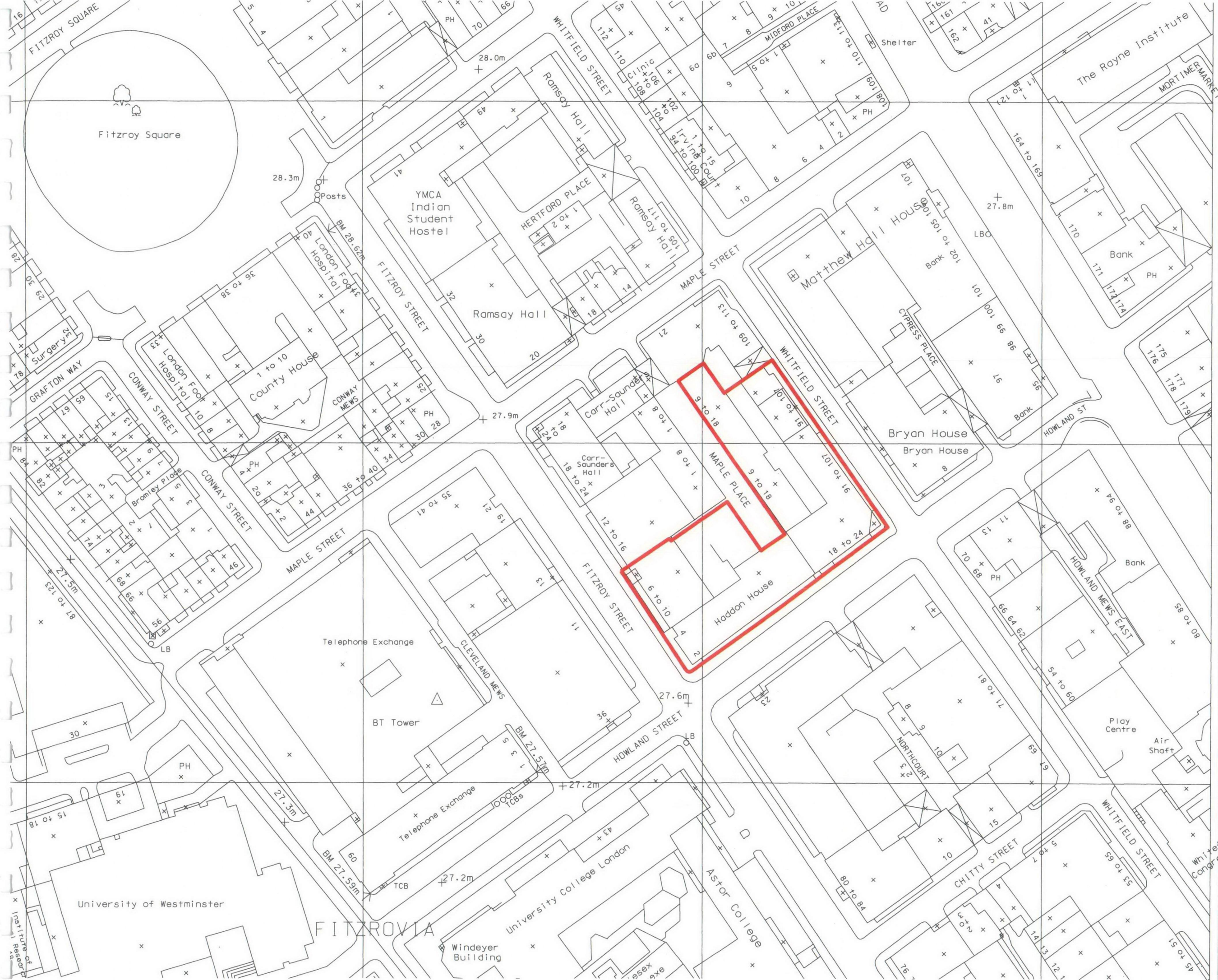
The external space in front of the proposed café/break-out zone on Howland Street would still be monitored by CCTV cameras that are installed in the canopy. This area is also adjacent to Arup's security office. It will therefore remain an area that is closely monitored and thereby continue to comply with LBC's Replacement UDP policies SD1 and B1. The proposed amendment will not materially effect the approved scheme access statement also complying with the relevant policies referred to above.



The Howland Street entrance in the proposed scheme.

6.0 Appendix 1: Drawings

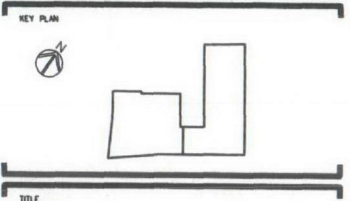
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| 20_291 rev - | Ground Floor Plan – Approved Scheme | Planning | 1:200 | A1 |
| 20_292 rev - | Part Ground Floor Plan – Approved South West Corner | Planning | 1:50 | A1 |
| 20_293 rev - | Howland Street Elevation –Approved Cladding Panel Arrangement | Planning | 1:200 | A1 |
| 20_294 rev - | Part Howland Street Elevation – Approved Cladding Panels SW Corner | Planning | 1:50 | A1 |
| 20_295 rev - | Ground Floor Plan - Proposed Layout | Planning | 1:200 | A1 |
| 20_296 rev - | Part Ground Floor Plan - Proposed South West Corner | Planning | 1:50 | A1 |
| 20_297 rev - | Howland Street Elevation - Proposed Cladding Panel Arrangement | Planning | 1:200 | A1 |
| 20_298 rev - | Part Howland Street Elevation - Proposed Cladding Panel Detail SW Corner | Planning | 1:50 | A1 |



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Site Boundary based on the Land Registry Plan NGL 778069

| | | |
|-----|----------|---------------------------------------|
| C | 15/05/05 | Issued for scheme design coordination |
| B | 09/05/05 | PLANNING ISSUE |
| A | 23/03/05 | Updated to match Land Registry plan. |
| REV | DATE | AMENDMENT |



TITLE
ARUP FITZROVIA
PHASES 2 & 3

LOGO

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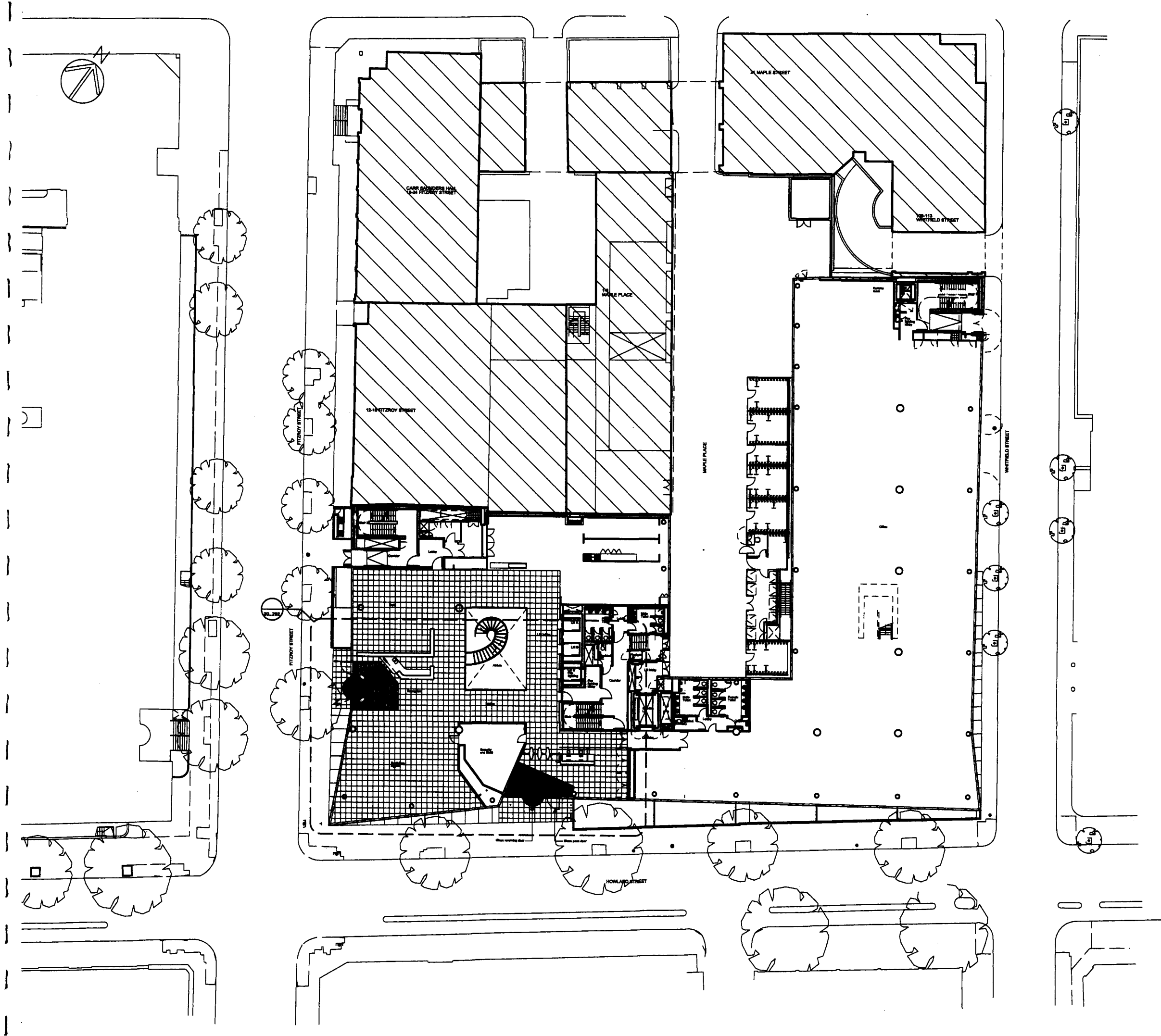
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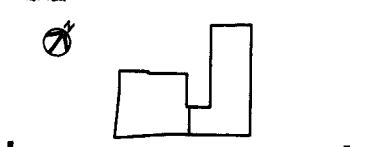
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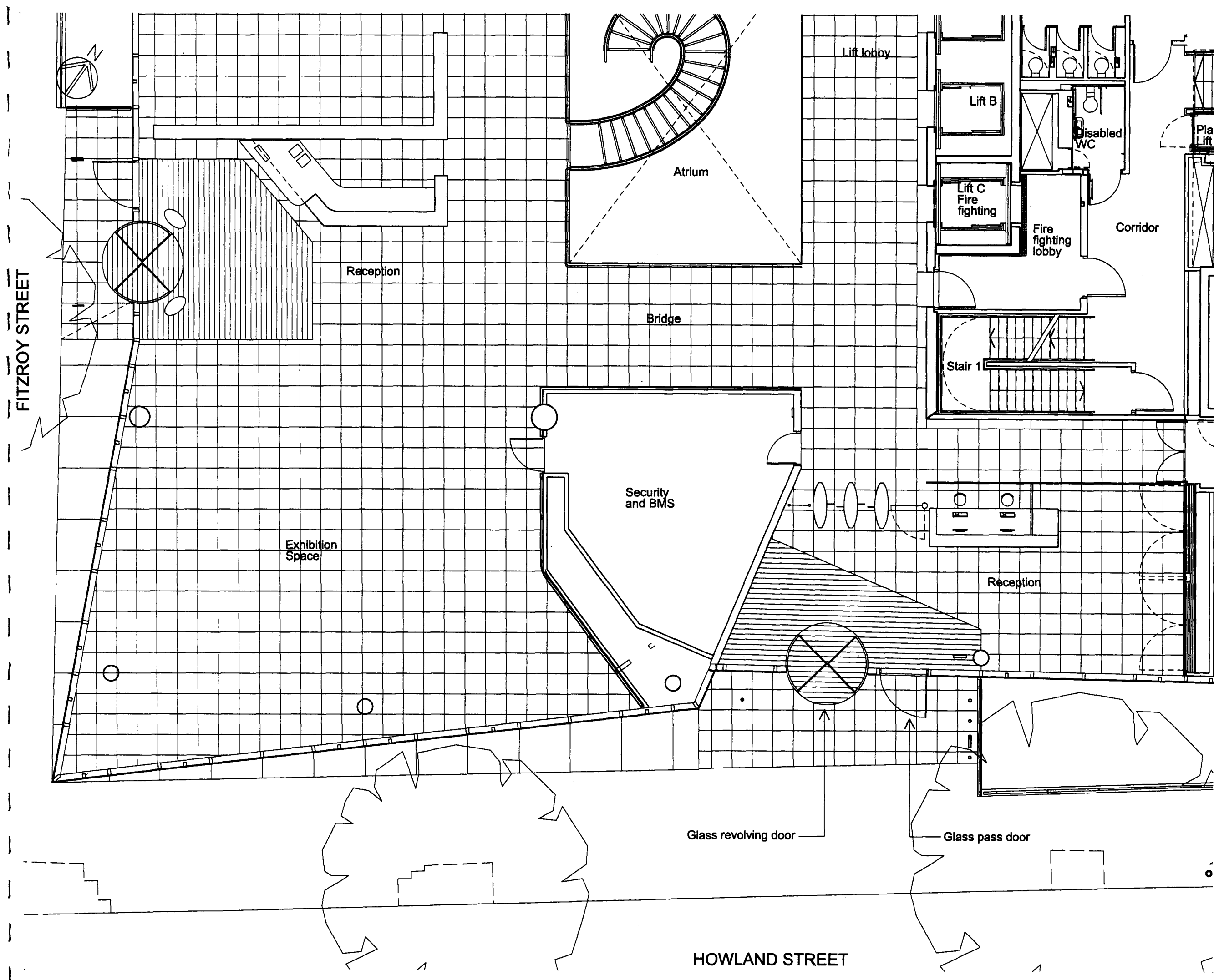
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GROUND FLOOR PLAN
 APPROVED SCHEME

| SCALE | DATE | ORIGINATOR | CHECKED | AUTHORISED |
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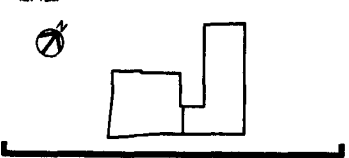
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TITLE
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PROJECT
**PART GROUND FLOOR PLAN
 APPROVED SCHEME
 SOUTH WEST CORNER**

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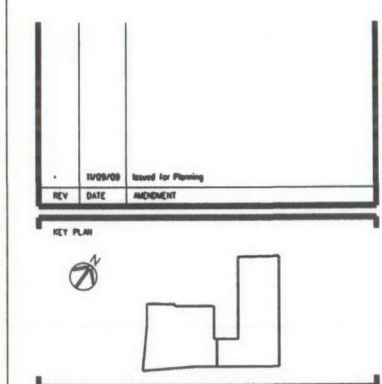
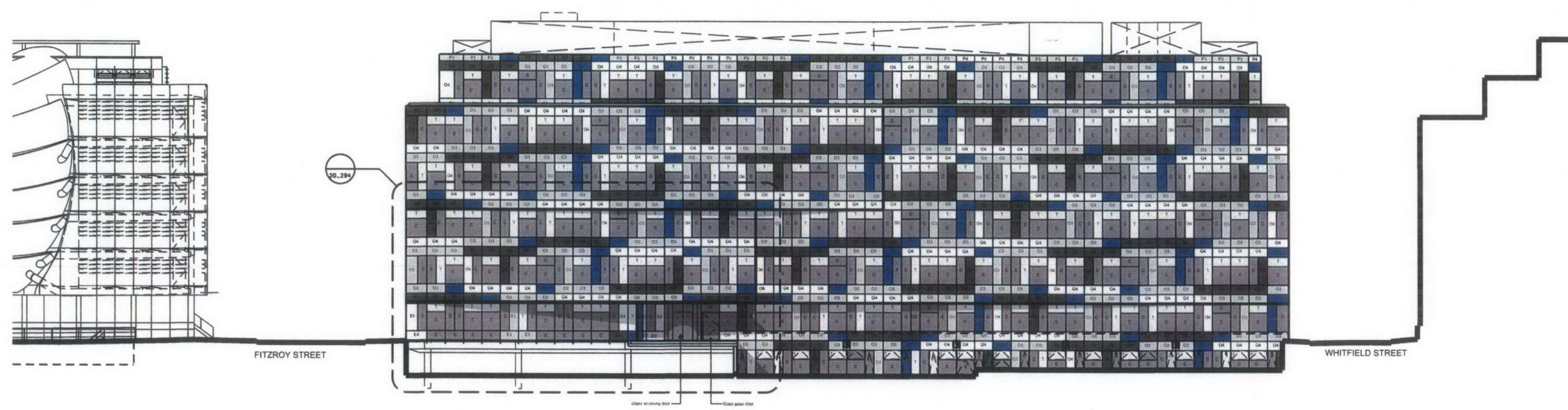
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 - 01 - OPAQUE GLASS (BLUE)
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 - 03 - OPAQUE GLASS (LIGHT GREY)
 - 04 - OPAQUE GLASS (WHITE)
 - E1 - OPAQUE GLASS (BLUE)
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 - E3 - OPAQUE GLASS (LIGHT GREY)
 - E4 - OPAQUE GLASS (WHITE)



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HOWLAND STREET ELEVATION
APPROVED SCHEME
CLADDING PANEL ARRANGEMENT

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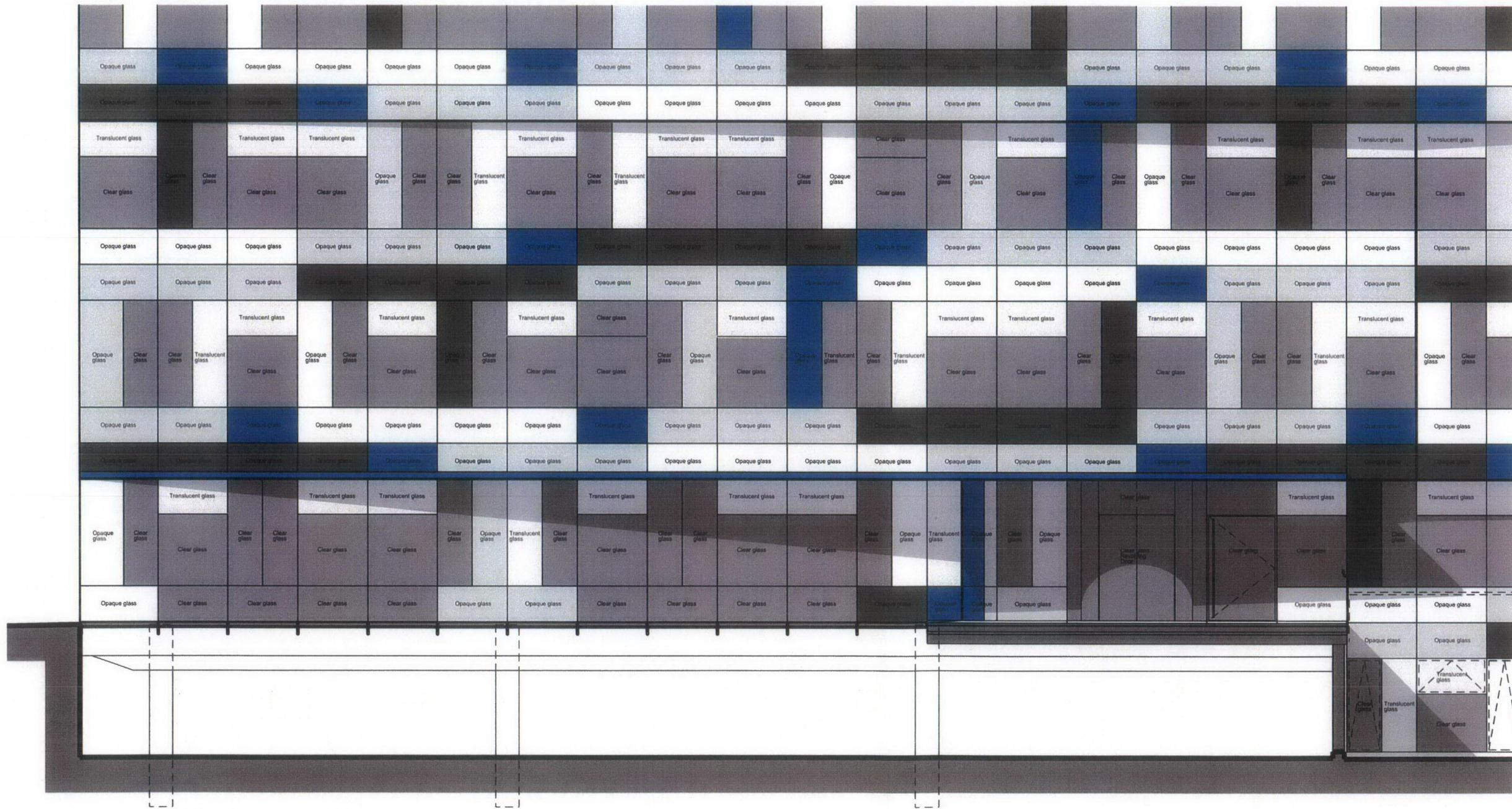
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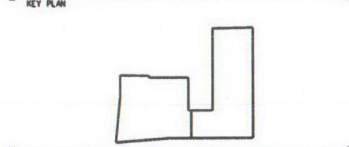
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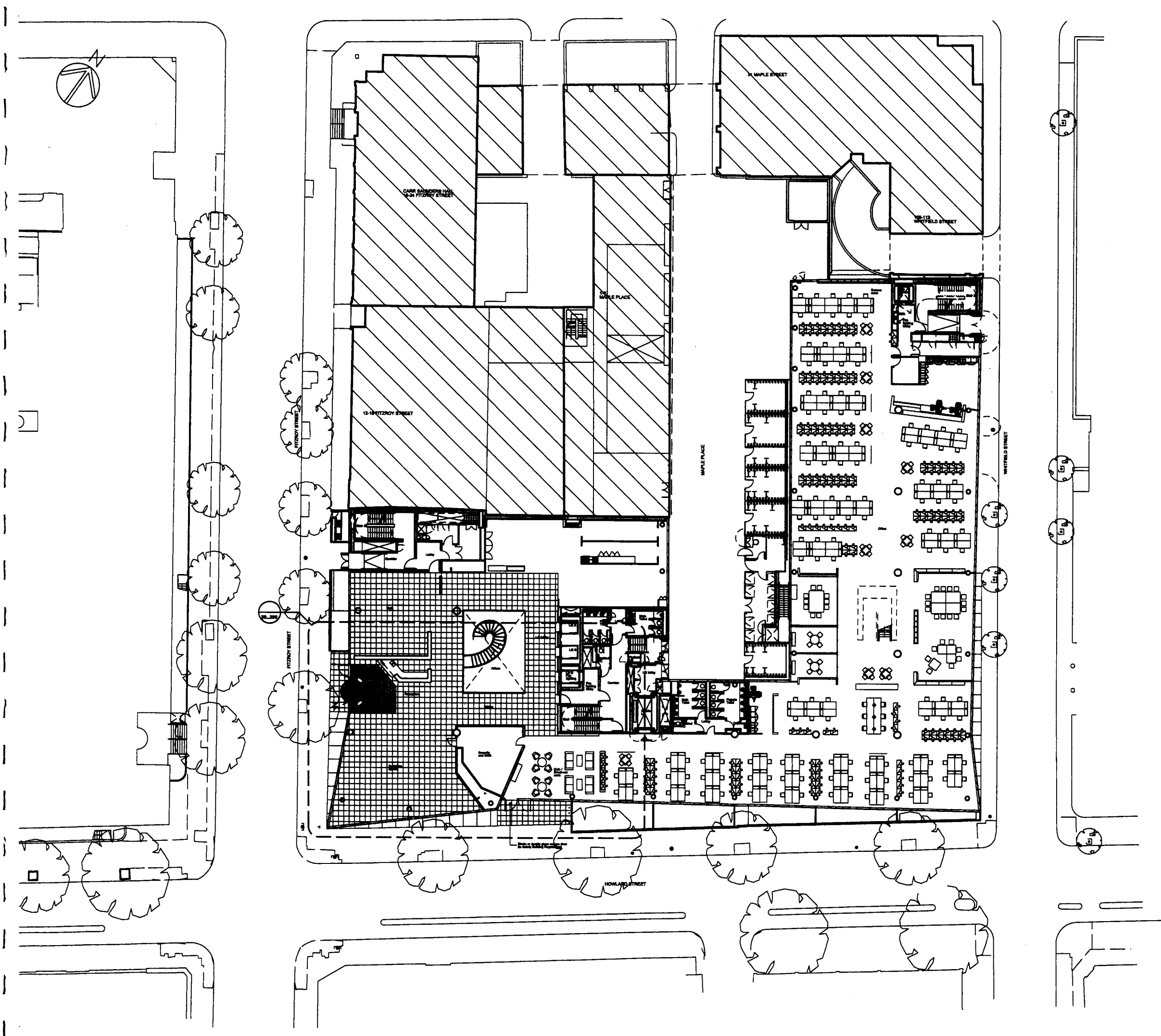
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DESIGNED BY
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APPROVED SCHEME CLADDING PANELS
SOUTH WEST CORNER

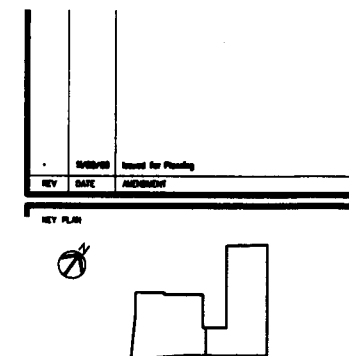
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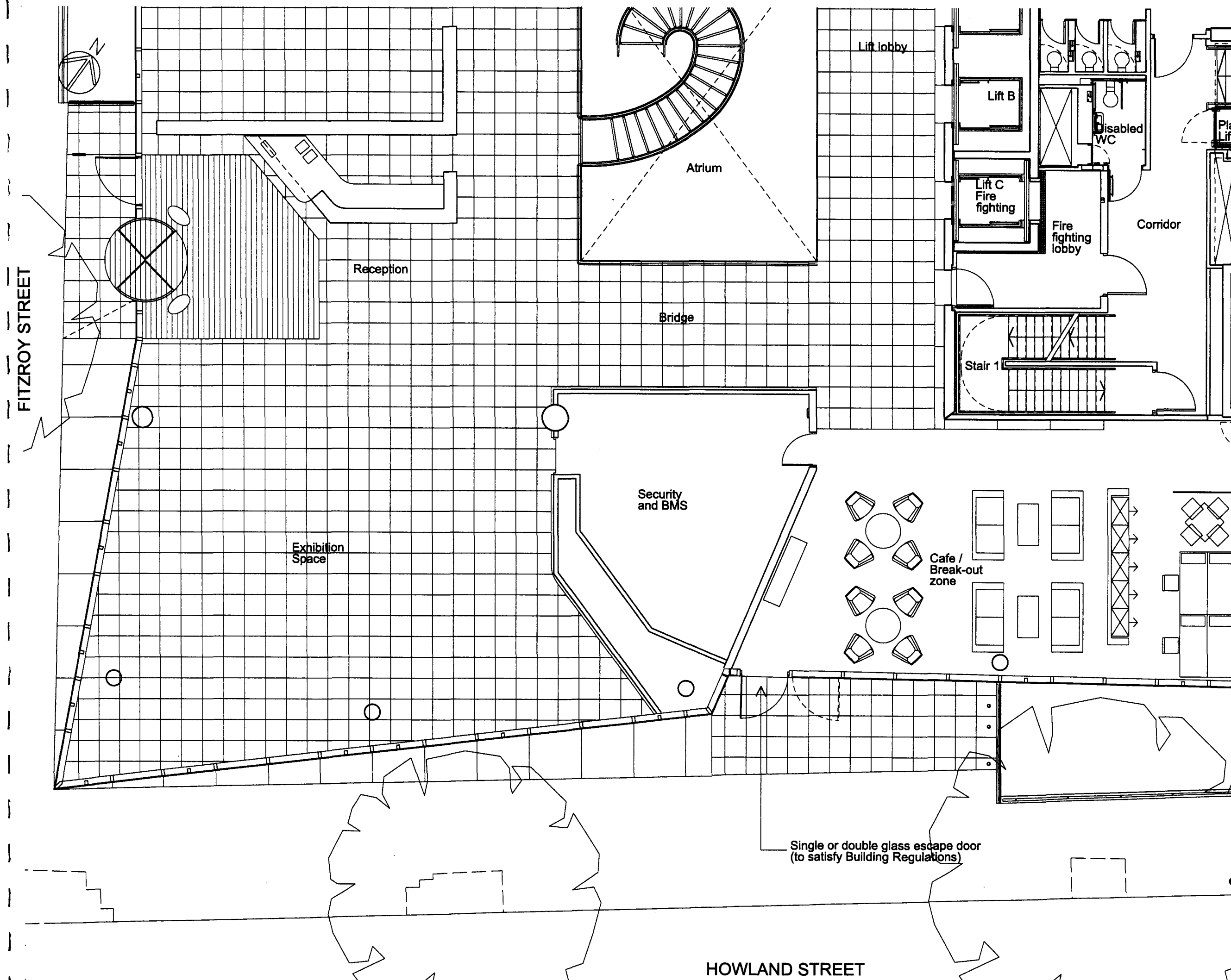
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GROUND FLOOR PLAN
 PROPOSED SCHEME

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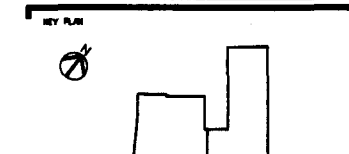
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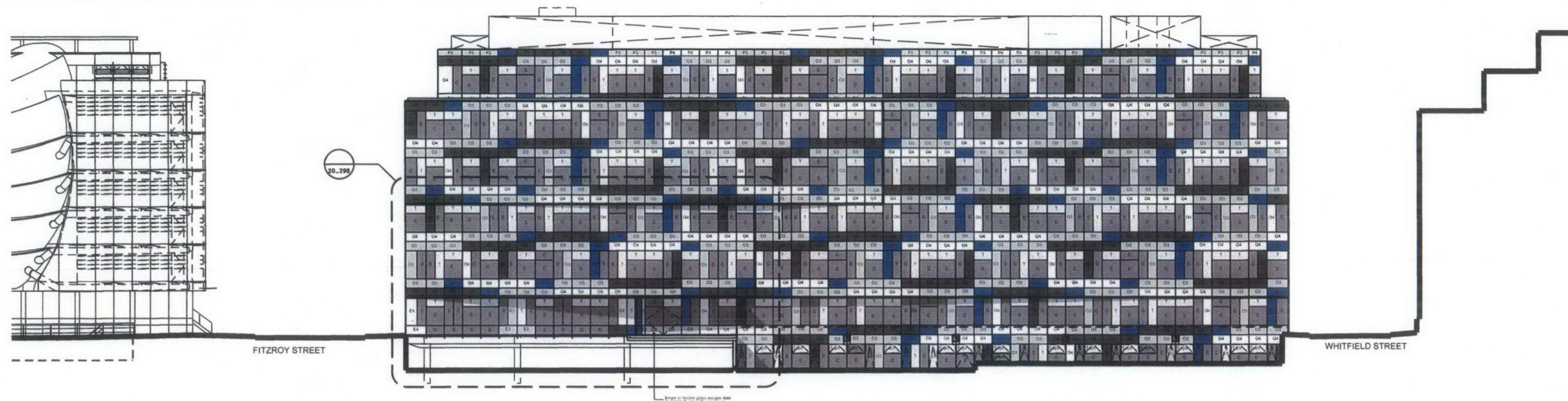
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DATE
PART GROUND FLOOR PLAN
PROPOSED SCHEME
SOUTH WEST CORNER

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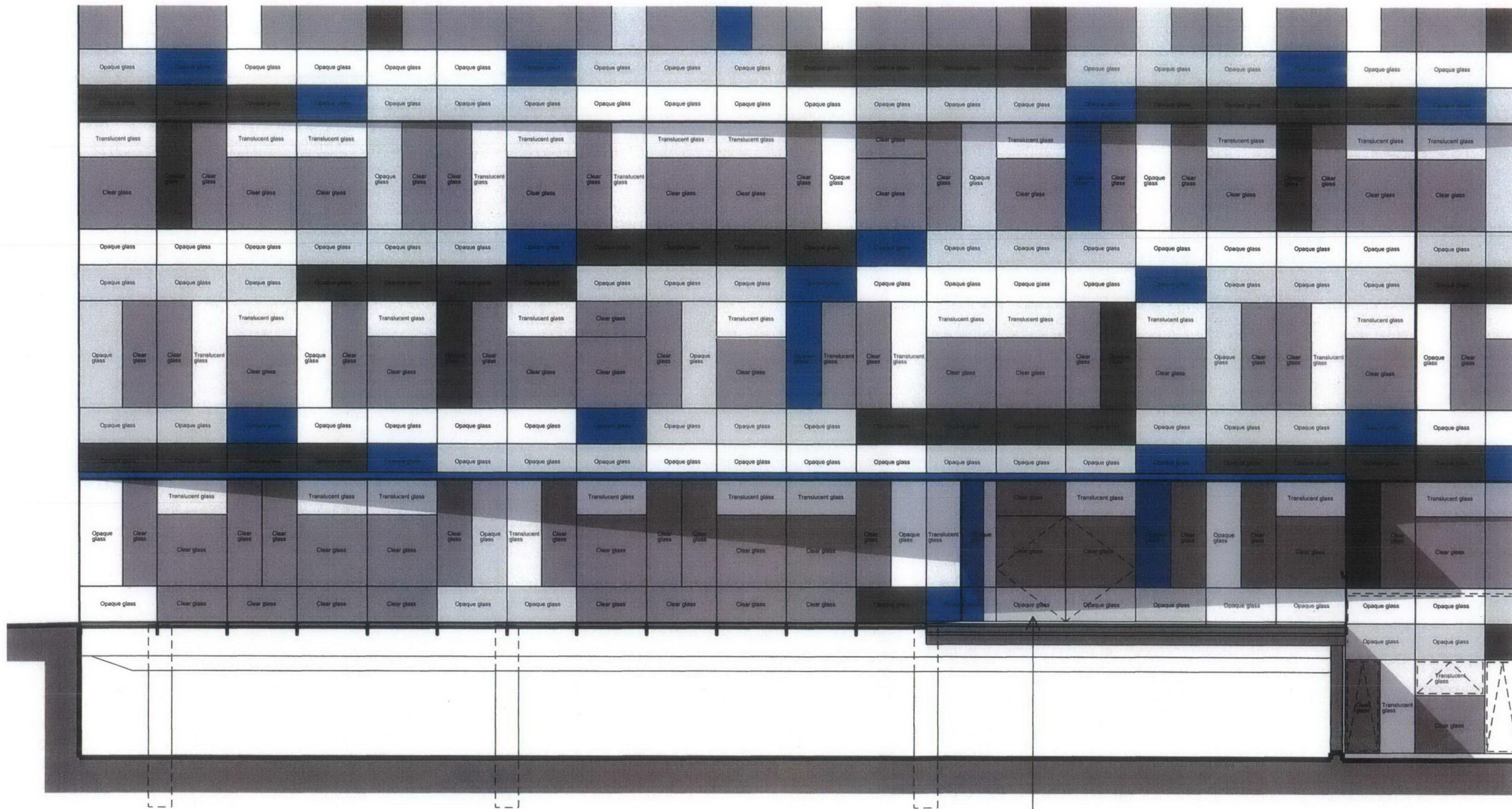
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PROPOSED SCHEME
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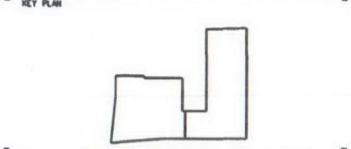
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Single or double glass escape door
(to satisfy Building Regulations)

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PHASES 2 & 3

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PROPOSED SCHEME CLADDING PANEL:
SOUTH WEST CORNER

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STATUS
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